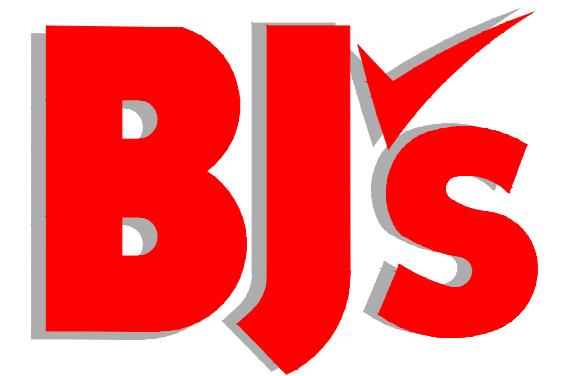


SITE DEVELOPMENT PLANS

FOR



PROPOSED

RETAIL STORE

LOCATION OF SITE

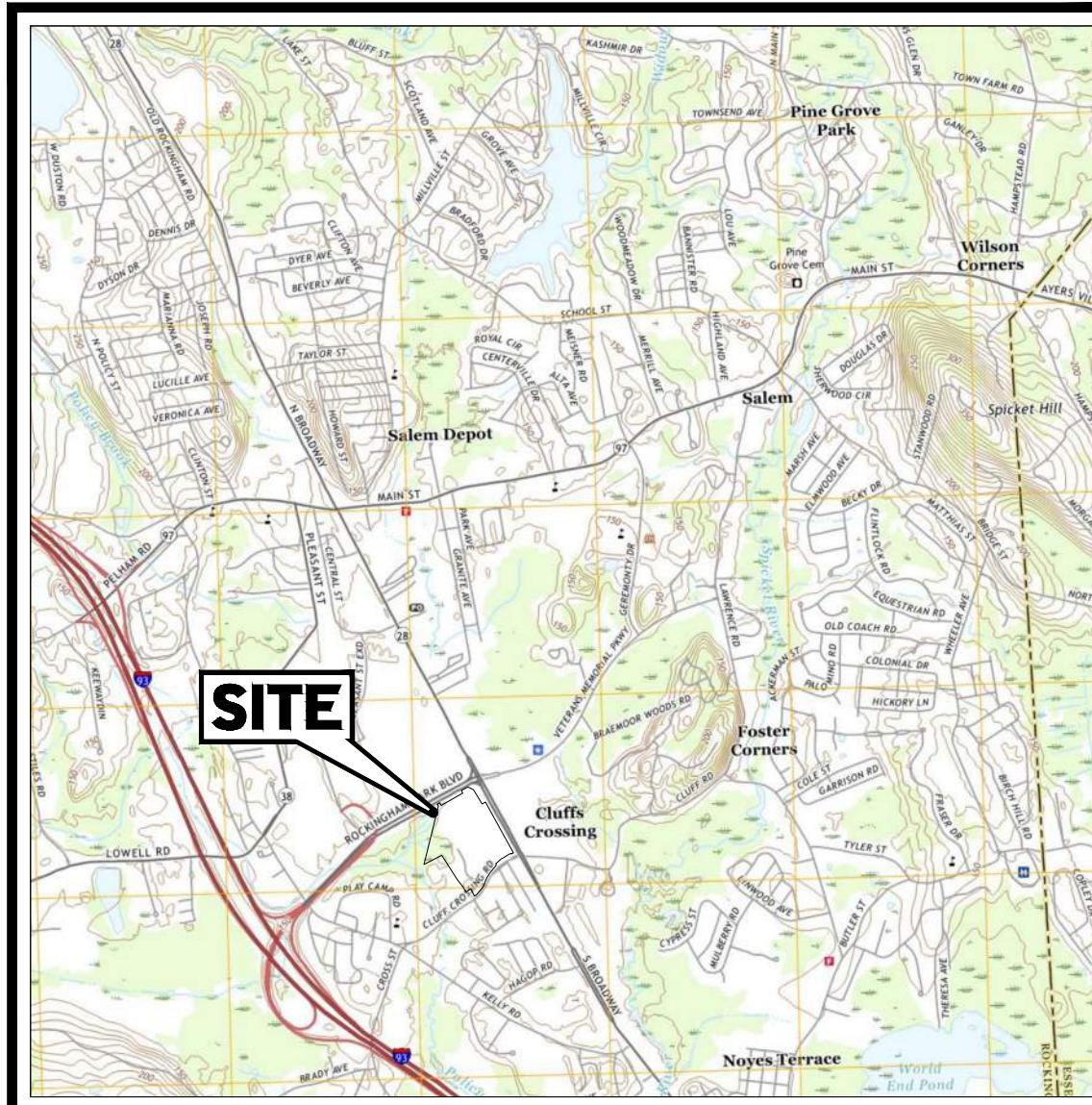
92 CLUFF CROSSING ROAD, TOWN OF SALEM
ROCKINGHAM COUNTY, NEW HAMPSHIRE

MAP 117, LOT 7880

REFERENCES AND CONTACTS

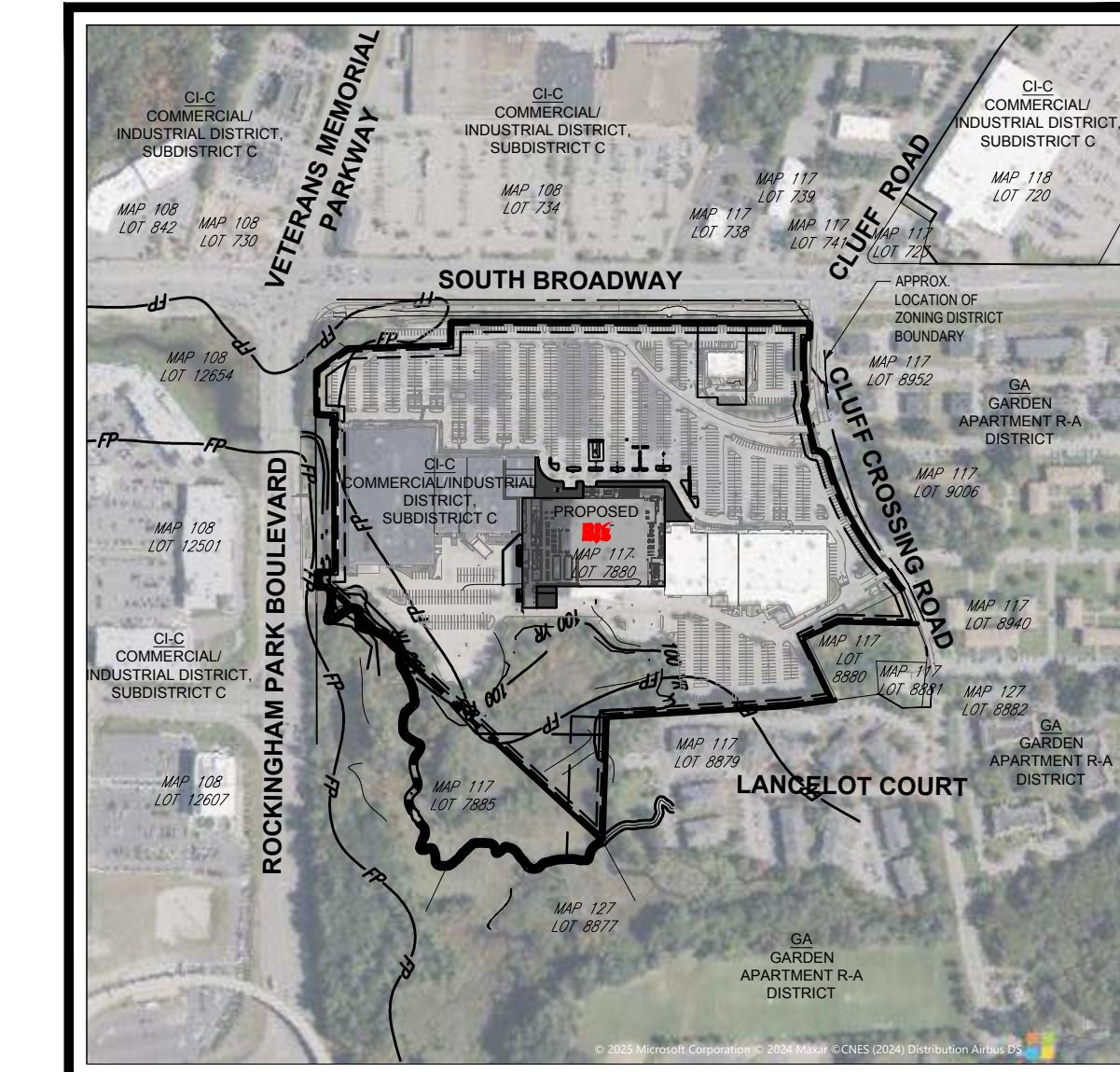
REFERENCES
• BOUNDARY, PARTIAL TOPOGRAPHIC & UTILITY SURVEY: CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 DATED: 06/02/2024 JOB # / SURVEY JOB #03-240302-01 ELEVATIONS: NAVD 1988
• ALTA/NSPS LAND TITLE SURVEY CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 DATED: 09/10/2024; REV.: 03/18/2025 JOB # / SURVEY JOB #03-240302-00 ELEVATIONS: NAVD 1988
• ARCHITECTURAL PLAN: BJ'S WHOLESALE CLUB PROPERTY DEVELOPMENT 350 CAMPUS DRIVE PO BOX 9010 MARLBOROUGH, MA 01752 DATED: 07/19/2024
• LOT LINE ADJUSTMENT PLAN: CONTROL POINT ASSOCIATES, INC. 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 DATED: 02/07/2025

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.



USGS MAP

SCALE: 1" = 2,000'
SOURCE: SALEM DEPOT QUADRANGLE



AERIAL MAP

SCALE: 1" = 500'
SOURCE: MICROSOFT CORPORATION

OWNER

ROCKINGHAM 620 INC
C/O KIMCO REALTY CORP
P.O. BOX 9010
JERICHO, NY 11753

DEVELOPER

BJ'S WHOLESALE CLUB, INC.
350 CAMPUS DRIVE
MARLBOROUGH, MA 01752

PREPARED BY

BOHLER //

GENERAL NOTE
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT
IN ADVANCE PRIOR TO THE INITIATION OF CONSTRUCTION. IF THERE IS A CONFLICT WITH THE DOCUMENTS RELATED TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR FOR CONSTRUCTION AND WORK IN CONFORMANCE WITH THE DRAWINGS AND IN CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

REVISIONS			
REV	DATE	COMMENT	DRAWN BY CHECKED BY



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PROJECT No.: MAA240148.01
DRAWN BY: OEH
CHECKED BY: MKB
DATE: 05/05/2025
CAD I.D.: ---

BOHLER //	
352 TURNPIKE ROAD, 3rd FLOOR SOUTHBOROUGH, MA 01772 Phone: (508) 480-9900	
www.BohlerEngineering.com	

SITE DEVELOPMENT PLANS



92 CLUFF CROSSING ROAD
ROCKINGHAM COUNTY
SALEM, NH
ASSESSOR'S MAP 117, LOT 7880

FOR PROFESSIONAL SEAL	RECORD OWNER MAP 117, LOT 7880 92 CLUFF CROSSING ROAD N/R ROCKINGHAM 620, INC. c/o KIMCO REALTY CORP. BK. 3047, PG. 2541 P.O. BOX 9010 JERICHO, NY 11753-8910	SALEM PLANNING BOARD APPROVAL
ZONING CLASSIFICATION COMMERCIAL - INDUSTRIAL DISTRICT SUB-DISTRICT (CI-C)		
SHEET TITLE:		
COVER SHEET	C-101	

STANDARD ABBREVIATIONS		STANDARD DRAWING LEGEND		
FOR ENTIRE PLAN SET		FOR ENTIRE PLAN SET		
AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	LSA	LANDSCAPE AREA	LIMIT OF WORK
AC	ACRE / ACRES	MAX	MAXIMUM	LOW
AD	AREA DRAIN	ME	MATCH EXISTING	LOW
ADA	ACCESSIBLE / AMERICANS WITH DISABILITIES ACT	MEP	MECHANICAL, ELECTRICAL, AND PLUMBING	LOD
AG	ABOVE GROUND	MH	MANHOLE	LOD
APPROX	APPROXIMATE	MIN	MINIMUM	SAWCUT LINE
ARCH	ARCHITECTURAL	MJ	MECHANICAL JOINT	EXISTING NOTE
ASPH	ASPHALT	MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES	TYPICAL NOTE TEXT
ASSF	AREA SUBJECT TO STORMWATER FLOWAGE	NOAA	NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION	PROPOSED NOTE
ASSOC	ASSOCIATION	NRCS	NATIONAL RESOURCE CONSERVATION SERVICE	
BC	BOTTOM OF CURB	O&M	OPERATIONS AND MAINTENANCE	
BF	BASEMENT FLOOR	OC	ON CENTER	
BIO	BIOGARDEN	OCS	OUTLET CONTROL STRUCTURE	
BIT	BITUMINOUS	OGS	OIL AND GRIT SEPARATOR	
BK	BLOCK	ORD	ORDINANCE	
BL	BASELINE	PA / POA	POINT OF ANALYSIS	
BLDG	BUILDING	PC	POINT OF CURVATURE	
BM	BENCH MARK	PCCR	POINT OF CURVATURE, CURB RETURN	
BRL	BUILDING RESTRICTION LINE	PERF	PERFORATED	
BVW	BORDERING VEGETATIVE WETLAND	PG	PROPOSED GRADE	
CB	CATCH BASIN	PI	POINT OF INTERSECTION	
CF	CUBIC FEET	POG	POINT OF GRADE	
CI	CURB INLET	PP	POLYPROPYLENE PIPE	
CIT	CHANGE IN TYPE	PROP	PROPOSED	
CL	CENTER LINE	PT	POINT OF TANGENCY	
CMP	CORRUGATED METAL PIPE	PTCR	POINT OF TANGENCY, CURB RETURN	
CO	CLEAN OUT	PVI	POINT OF VERTICAL INTERSECTION	
CONC	CONCRETE	PVMT	PAVEMENT	
CONN	CONNECTION	PVT	POINT OF VERTICAL TANGENCY	
COORD	COORDINATE	R	RADIUS / RADII	
CPP	CORRUGATED PLASTIC PIPE	R/W	RIGHT-OF-WAY / RIGHTS-OF-WAY	
CY	CUBIC YARD	RCP	REINFORCED CONCRETE PIPE	
DEC	DECORATIVE	RD	ROOF DRAIN	
DEP	DEPARTMENT OF ENVIRONMENTAL PROTECTION	REGS	REGULATIONS	170
DET	DETENTION	RELO	TO BE RELOCATED	169
DIA	DIAMETER	REQ	REQUIRED	TC 516.4 OR 516.4
DMH	DRAINAGE MANHOLE	RET	RETENTION	SPOT ELEVATIONS
DOM	DOMESTIC	RET WALL	RETAINING WALL	190
DOT	DEPARTMENT OF TRANSPORTATION	RETO	TO BE RETURNED TO OWNER	187
DP	DESIGN POINT	RG	RAIN GARDEN	FF 517.00
DWL	DASHED WHITE LINE	S	SLOPE	TC 516.00
DYL	DOUBLE YELLOW LINE	SAN	SANITARY SEWER	BC 515.55
EG	EXISTING GRADE	SESC	SOIL EROSION AND SEDIMENT CONTROL	ME(G 516.00)
ELEC	ELECTRIC	SF	SQUARE FEET	
ELEV	ELEVATION	SHLO	STATE HIGHWAY LAYOUT	
EOR	ENGINEER OF RECORD	SMH	SANITARY MANHOLE	
EP / EOP	EDGE OF PAVEMENT	STA	STATION	
ES / EOS	EDGE OF SHOULDER	STM	STORM WATER / STORM SEWER	
EW	END WALL	SWL	SINGLE/SOLID WHITE LINE	
EX	EXISTING	SWPPP	STORMWATER POLLUTION PREVENTION PLAN	
FDC	FIRE DEPARTMENT CONNECTION	TBA	TO BE ABANDONED	
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY	TBR	TO BE REMOVED	
FES	FLARED END SECTION	TBV	TO BE VACATED	
FF	FINISH / FIRST FLOOR	TC	TOP OF CURB	
FFE	FINISH / FIRST FLOOR ELEVATION	Tc	TIME OF CONCENTRATION	
FG	FINISH GRADE	TD	TRENCH DRAIN	
FH	FIRE HYDRANT	TELE	TELECOMMUNICATIONS / TELEDATA	
FM	FORCE MAIN	TPF	TREE PROTECTION FENCE	
FO	FIBER OPTIC	TR	TO REMAIN	
G	GRADE	TRANS	TRANSITION	
GC	GENERAL CONTRACTOR	TYP	TYPICAL	
GEO	GEOTECH/GEOTECHNICAL	UG	UNDERGROUND	
GF / GFE	GARAGE FLOOR ELEVATION (AT DOOR)	UP	UTILITY POLE	
GFA	GROSS FLOOR AREA	USGS	UNITED STATES GEOLOGICAL SURVEY	
GH	GRADE HIGH (WALL)	VERT	VERTICAL	
GL	GRADE LOW (WALL)	VIF	VERIFY IN FIELD	
GRT	GRATE	W	WIDE / WIDTH	
GT	GREASE TRAP	W/L	WATER LINE	
GV	GATE VALVE	WM	WATER METER	
HDPE	HIGH DENSITY POLYETHYLENE	WQU	WATER QUALITY UNIT	
HOR	HORIZONTAL	YD	YARD DRAIN	
HP	HIGH POINT	#	NUMBER	
HW	HEADWALL	#:#	SLOPE EXPRESSED IN HORIZONTAL:VERTICAL IN FEET	
ICS	INLET CONTROL STRUCTURE	±	PLUS OR MINUS	
INF	INFILTRATION	°	DEGREE	
INT	INTERSECTION	Ø	DIAMETER	
INV	INVERT	'	FEET/FOOT	
LF	LINEAR FOOT	"	INCHES	
LOC	LIMIT OF CLEARING			
LOD	LIMIT OF DISTURBANCE			
LOS	LINE OF SIGHT			
LOW	LIMIT OF WORK			
LP	LOW POINT			

STANDARD DRAWING LEGEND

SOIL EROSION & SEDIMENT CONTROL PLAN NOTES

(Rev. 12/2024) 1. EROSION CONTROL MEASURES MUST CONFORM TO THE NEW HAMPSHIRE GUIDELINES FOR EROSION AND SEDIMENT CONTROL UNLESS OTHERWISE NOTED, OR UNLESS ENGINEER CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE

1. EROSION CONTROL MEASURES MUST CONFORM TO THE NEW HAMPSHIRE GUIDELINES FOR EROSION AND SEDIMENT CONTROL UNLESS OTHERWISE NOTED, OR UNLESS ENGINEER CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
2. THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:
 - a. STABILIZE CONSTRUCTION ENTRANCE/ EXIT - A TEMPORARY STONE CONSTRUCTION ACCESS IS TO BE INSTALLED AT THE DESIGNATED LOCATION AS SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE.
 - b. SILT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK(S) AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE, TEMPORARY FILL AREAS, AND SOIL STOCKPILES.
 - c. INLET PROTECTION - IN ORDER TO REDUCE THE POTENTIAL FOR SEDIMENT TO ENTER THE STORMWATER SYSTEM, THE CONTRACTOR SHALL INSTALL INLET PROTECTION AROUND EACH INLET AS DRAINAGE STRUCTURES ARE INSTALLED. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA.
 - d. TREE PROTECTION FENCE – THROUGH THE USE OF TREE PROTECTION FENCE, THE CONTRACTOR MUST MARK ALL EXISTING TREES AND SHRUBS WITHIN AND AROUND THE WORK AREA THAT ARE TO REMAIN. THE CONTRACTOR SHALL REFER TO THE TREE PROTECTION FENCE DETAILS HEREIN.
 - e. SOIL STOCKPILES – STOCKPILES SHALL BE LIMITED TO 35' MAX. HEIGHT AND SHOULD BE REMOVED OR UTILIZED FOR SITE CONSTRUCTION AS SOON AS PRACTICABLE.
 - f. DUST CONTROL – SHOULD EXCESSIVE DUST BE GENERATED, THE CONTRACTOR MUST PROMPTLY USE AND APPLY WATER TO BARE SOIL SURFACES TO ELIMINATE, OR IF NOT POSSIBLE, MINIMIZE, BLOWING DUST.
 - g. DEWATERING – THE CONTRACTOR MUST PERFORM DEWATERING IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS AND APPROVED PERMITS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME.
 - h. CONSTRUCTION WASTE MATERIAL STORAGE – THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER. CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. CONTRACTOR MUST MAINTAIN SPILL PREVENTION & RESPONSE EQUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE ON-SITE FOR USE BY CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION & RESPONSE PROCEDURES.
3. THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. CONTRACTOR MUST IMMEDIATELY CLEAR ANY SILT GREATER THAN 6" BEHIND THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION.
4. THE TERM 'PERMANENT STABILIZATION' USED THROUGHOUT THIS SEQUENCE IS MEANT TO DESCRIBE THE PROPER PLACING, GRADING, CONSTRUCTING, REINFORCING, LINING, AND COVERING OF SOIL, ROCK, OR EARTH TO ENSURE THEIR PERMANENT RESISTANCE TO EROSION, SLIDING OR OTHER MOVEMENT. FOR AN EARTH DISTURBANCE TO BE PERMANENTLY STABILIZED, THE DISTURBED AREA SHALL BE COVERED WITH ONE OF THE FOLLOWING: A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION; OR AN ACCEPTABLE BMP THAT PERMANENTLY MINIMIZES ACCELERATED EROSION AND SEDIMENTATION.
5. BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE CONSERVATION DISTRICT. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
6. THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
7. AS SOON AS SLOPES, CHANNELS, DITCHES, AND OTHER DISTURBED AREAS REACH FINAL GRADE, THEY MUST BE STABILIZED. WHEN FINAL GRADE IS ACHIEVED DURING NON-GERMINATING MONTHS, THE AREA SHOULD BE MULCHED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON. AS DISTURBED AREAS WITHIN A PROJECT APPROACH FINAL GRADE, PREPARATIONS SHOULD BE MADE FOR SEEDING AND MULCHING TO BEGIN (I.E., ANTICIPATE THE COMPLETION DATE AND SCHEDULE THE SEEDER). IN NO CASE SHOULD AN AREA EXCEEDING 15,000 SQUARE FEET, WHICH IS TO BE STABILIZED BY VEGETATION, REACH FINAL GRADE WITHOUT BEING SEDED AND MULCHED. WAITING UNTIL EARTHMOVING IS COMPLETED BEFORE MAKING PREPARATIONS FOR SEEDING AND MULCHING IS NOT ACCEPTABLE. SEEDING AND MULCHING REQUIREMENTS ARE SPECIFIED HEREIN.
8. ONCE AREAS HAVE REACHED PERMANENT STABILIZATION AND PRIOR TO DEMOBILIZATION, THE CONTRACTOR MUST REMOVE ALL TEMPORARY EROSION CONTROL MEASURES, AND ANY ACCUMULATED SILT OR DEBRIS.
9. THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT.
10. A SITE CONSTRUCTION SEQUENCE IS PROVIDED AS A GUIDE FOR THE CONTRACTOR DURING CONSTRUCTION. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR MUST REVIEW THE SEQUENCE, AND ANY REQUESTED CHANGES AND THOSE REQUESTED CHANGES MUST BE REVIEWED AND APPROVED BY THE JURISDICTIONAL AGENCY.
11. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN AND CONTRACTOR MUST REFER TO THEM. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
12. INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.
13. CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF ENGINEER OR JURISDICTIONAL AGENCY SO REQUIRES, TO PREVENT THE DISCHARGE OF SEDIMENT LADEN RUNOFF FROM EXITING THE SITE.
14. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT STABILIZATION IS ESTABLISHED UNLESS INDICATED OTHERWISE IN LOCAL, STATE AND/OR FEDERAL PROJECT APPROVALS. THE COST OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS.

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CT No.: MAA240148.01
BY: OEH
ED BY: MKB
05/05/2025

The OHLER logo is displayed in a large, bold, dark blue sans-serif font. The letters are thick and blocky. To the right of the 'R', there are two parallel diagonal red lines of varying lengths. A thin horizontal line is positioned below the address text.

SITE DEVELOPMENT PLANS

BJ's

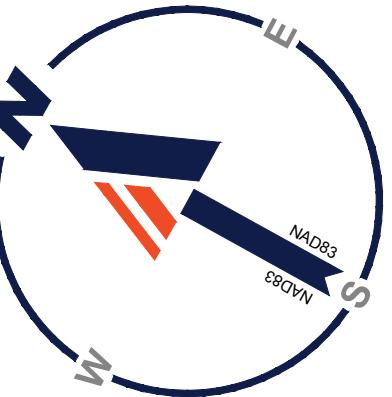
92 CLUFF CROSSING ROAD
ROCKINGHAM COUNTY
SALEM, NH
ASSSESSOR'S MAP 117 | LOT 7880

10 of 10 | Page

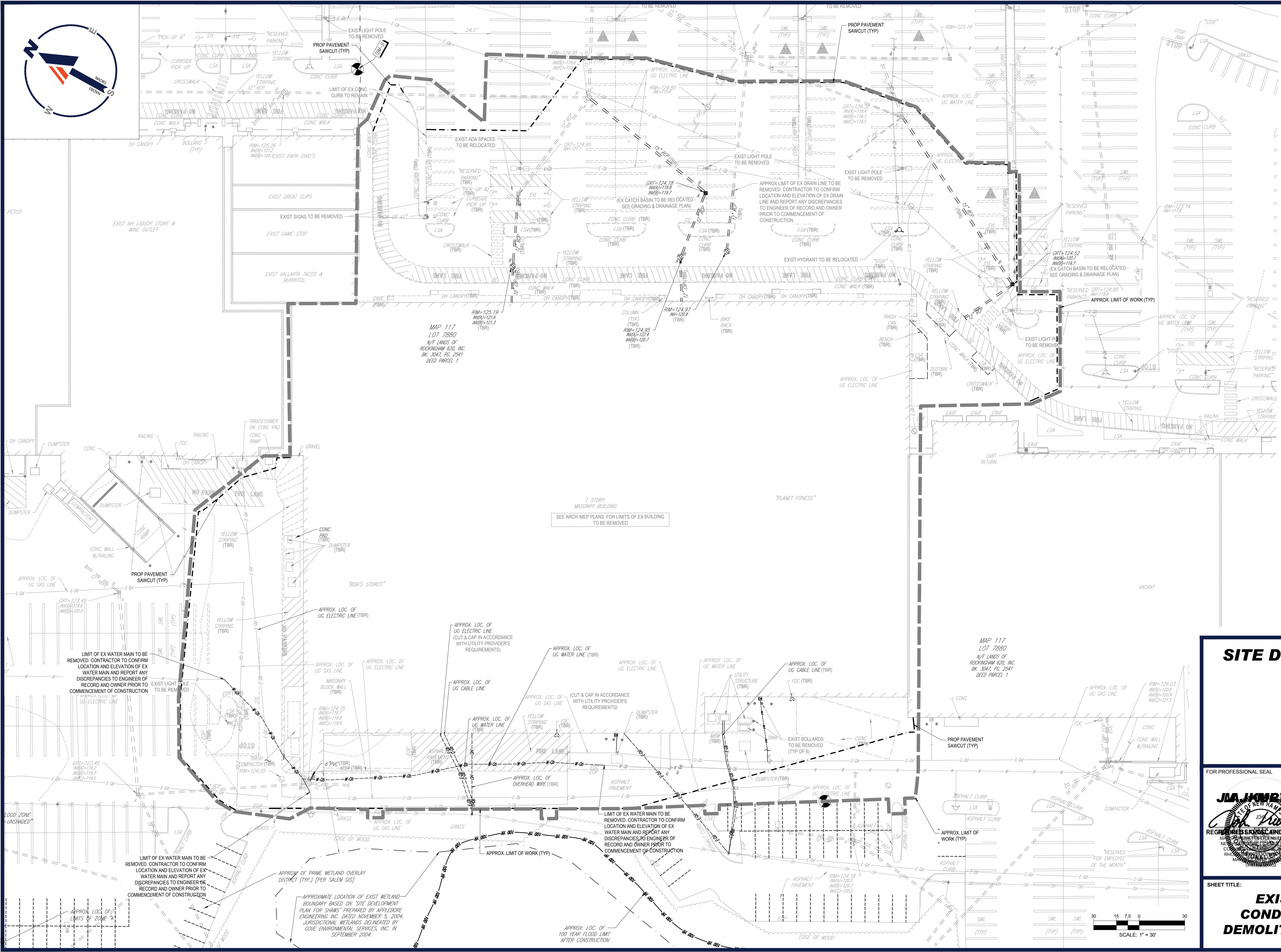
<p>OR PROFESSIONAL SEAL</p> <p>JMA KIMCO JERICHO</p> <p>JOHN M. KIMCO, INC.</p> <p>STATE OF NEW HAMPSHIRE</p> <p>JOHN M. KIMCO, INC.</p> <p>EGRESS ADDRESS STAMPS ARE NOT DIRECT</p> <p>KIMCO NO. 5370</p> <p>MAP SALES LICENSE NUMBER 45-30 NEW HAMPSHIRE PLATE NUMBER 476 COMMERCIAL PLATE NUMBER 550 RHO 2000 PLATE NUMBER 577 RHODE ISLAND PLATE NUMBER 9616 MAP SALES LICENSE NUMBER 2553</p>	<p><u>RECORD OWNER</u></p> <p>MAP 117, LOT 7880</p> <p>92 CLUFF CROSSING ROAD</p> <p>N/F ROCKINGHAM 620, INC.</p> <p>c/o KIMCO REALTY CORP.</p> <p>BK. 3047, PG. 2541</p> <p>P.O. BOX 9010</p> <p>JERICHO, NY 11753-8910</p>	<p>SALEM PLANNING BOARD APPROVAL</p>
<p><u>ZONING CLASSIFICATION</u></p> <p>COMMERCIAL - INDUSTRIAL DISTRICT SUB-DISTRICT (CI-C)</p>		

HEET TITLE: **GENERAL NOTES AND LEGEND**

SHEET NUMBER: **C-103**



תְּמִימָנָה וְתְּמִימָנָה בְּבֵין כָּלִים וְבֵין מִזְרָחָה וְבֵין מִזְרָחָה



DEMOLITION ABBREVIATIONS

ABBREVIATION	DESCRIPTION
(TBA)	TO BE ABANDONED
(TBR)	TO BE REMOVED
(TBV)	TO BE VACATED
(RELO)	TO BE RELOCATED

**THIS PLAN TO BE UTILIZED
FOR DEMOLITION PURPOSES
ONLY**

REVISIONS

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ECT No.: MAA240148.01
VN BY: OEH
CKED BY: MKB
: 05/05/2025
P:

BOHLER //

ITE DEVELOPMENT PLANS



CLUFF CROSSING ROAD
ROCKINGHAM COUNTY
SALEM, NH
EASING MAP 117, LOT 7000

ORD OWNER
1117, LOT 7880
BLUFF CROSSING ROAD
ROCKINGHAM 620, INC.
IMCO REALTY CORP.
047, PG. 2541
BOX 9010

CHO, NY 11753-8910

CLASSIFICATION
COMMERCIAL - INDUSTRIAL DISTR

SET TITLE:

EXISTING CONDITIONS / DEMOLITION PLAN

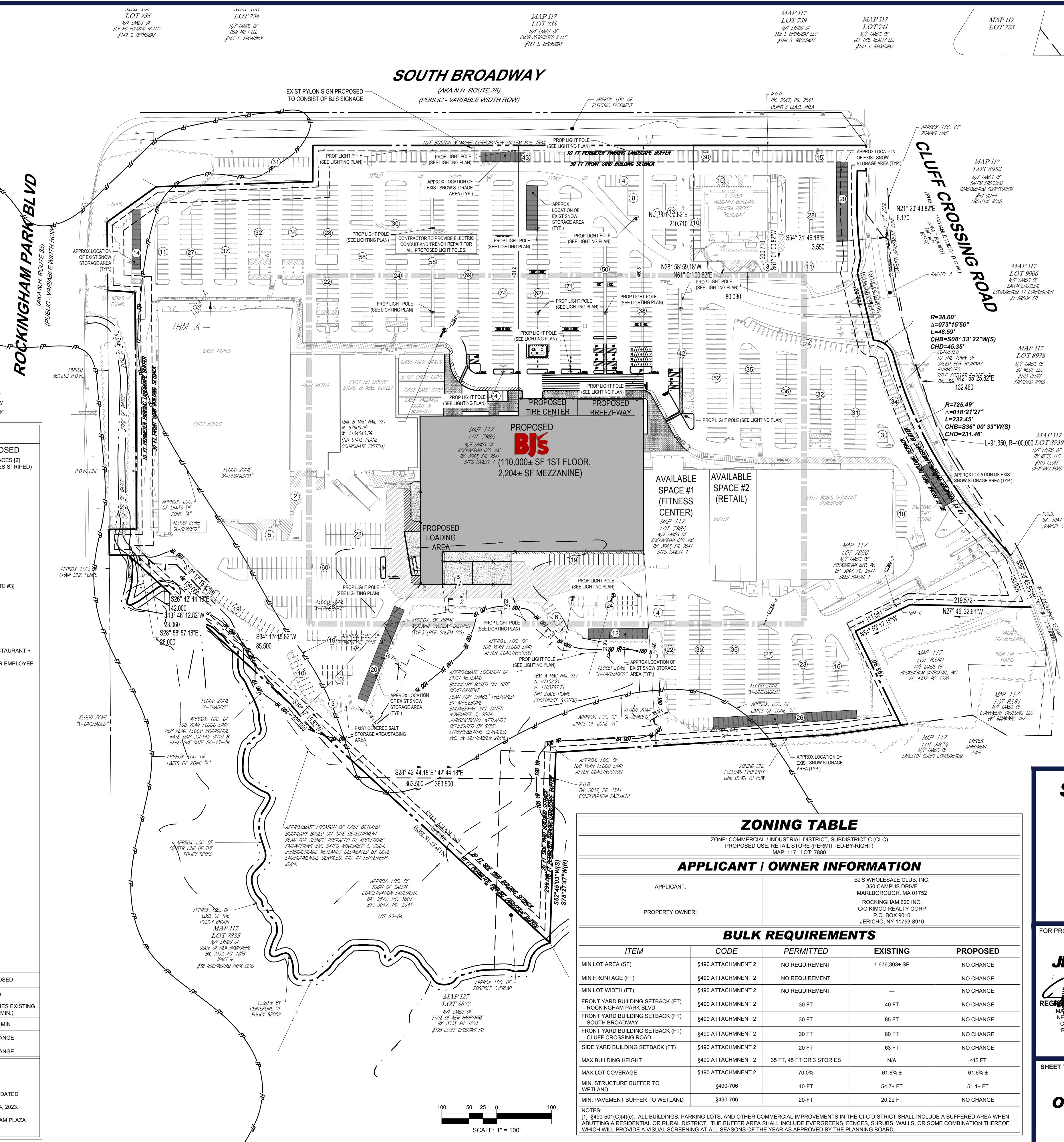
HEET NUMBER:



ITEM	CODE	REQUIRED	EXISTING	PROPOSED
NUMBER OF PARKING SPACES	\$490-701(E)	1,780± SPACES	1,794± SPACES (1,667± SPACES STRIPED)	1,733 SPACES [2] (1,606± SPACES STRIPED)
PARKING TABLE				
PANERA BREAD (EXISTING) - 4,200± SF / 150 SEATS: [SEE PARKING CALC NOTE #4]				
USE / CATEGORY: RETAIL SALES				
CRITERIA: 1 SPACE PER 75 SF GFA OR 1 SPACE PER 2 SEATS, WHICHEVER IS GREATER (MIN 25 SPACES FOR ALL RESTAURANTS)				
CALCULATION: 150 SEATS X 1 SPACE PER 2 SEATS = 75 SPACES REQUIRED (56 SPACES REQUIRED BASED UPON FLOOR AREA)				
VERIZON (EXISTING) - 3,500± SF: [SEE PARKING CALC NOTE #4]				
USE / CATEGORY: RETAIL SALES				
CRITERIA: 1 SPACE PER 200 SF GROSS FLOOR AREA OF FIRST FLOOR AREA CALCULATION: 3,500± SF GROSS FLOOR AREA X 1 SPACE PER 200 SF = 18 SPACES REQUIRED				
BOB'S DISCOUNT FURNITURE (EXISTING) - 51,507± SF: [SEE PARKING CALC NOTE #1]				
USE / CATEGORY: RETAIL SALES OF FURNITURE				
CRITERIA: 1 SPACE PER 200 SF GROSS FLOOR AREA CALCULATION: 51,507± SF GROSS FLOOR AREA X 1 SPACE PER 200 SF = 103 SPACES REQUIRED				
AVAILABLE SPACE #1 - RETAIL USE - 15,698± SF 1ST FLOOR, 1,833± SF 2ND FLOOR: [SEE PARKING CALC NOTE #3]				
USE / CATEGORY: RETAIL SALES				
CRITERIA: 1 SPACE PER 200 SF GROSS FLOOR AREA OF 1ST FLOOR 1 SPACE PER 400 SF GROSS FLOOR AREA OF 2ND FLOOR CALCULATION: 15,698± SF GROSS FLOOR AREA 1ST FLOOR X 1 SPACE PER 200 SF = 80 SPACES REQUIRED 1,833± SF GROSS FLOOR AREA 2ND FLOOR X 1 SPACE PER 400 SF = 44 SPACES REQUIRED				
AVAILABLE SPACE #2 - FITNESS CENTER - 22,000± SF: [SEE PARKING CALC NOTE #3]				
USE / CATEGORY: MEMBERSHIP CLUB				
CRITERIA: 1 SPACE PER GROSS FLOOR AREA + 1 SPACE PER 3 SEATS FOR ANCILLARY RESTAURANT + 1 SPACE PER EMPLOYEE CALCULATION: 22,000± SF GROSS FLOOR AREA X 1 SPACE PER 150 SF + 15 EMPLOYEES X 1 SPACE PER EMPLOYEE = 162 SPACES REQUIRED				
BJS (PROPOSED) - 110,000± SF 1ST FLOOR, 2,204± SF MEZZANINE:				
USE / CATEGORY: RETAIL SALES				
CRITERIA: 1 SPACE PER 200 SF GROSS FLOOR AREA OF 1ST FLOOR 1 SPACE PER 400 SF GROSS FLOOR AREA OF 2ND FLOOR CALCULATION: 110,000± SF GROSS FLOOR AREA 1ST FLOOR X 1 SPACE PER 200 SF = 550 SPACES REQUIRED 2,204± SF GROSS FLOOR AREA MEZZANINE X 1 SPACE PER 400 SF = 56 SPACES REQUIRED				
VALLARTA TACOS & BURRITOS (EXISTING) - 2,400± SF / 50 SEATS: [SEE PARKING CALC NOTE #1 & #2]				
USE / CATEGORY: RESTAURANT				
CRITERIA: 1 SPACE PER 75 SF GFA OR 1 SPACE PER 2 SEATS, WHICHEVER IS GREATER (MIN 25 SPACES FOR ALL RESTAURANTS)				
CALCULATION: 2,400± SF GROSS FLOOR AREA X 1 SPACE PER 75 SF = 32 SPACES REQUIRED (25 SPACES REQUIRED BASED UPON NUMBER OF SEATS)				
GAME STOP (EXISTING) - 1,500± SF: [SEE PARKING CALC NOTE #1]				
USE / CATEGORY: RETAIL SALES				
CRITERIA: 1 SPACE PER 200 SF GROSS FLOOR AREA OF FIRST FLOOR AREA CALCULATION: 1,500± SF GROSS FLOOR AREA X 1 SPACE PER 200 SF = 11 SPACES REQUIRED				
GREAT CLIPS (EXISTING) - 1,500± SF: [SEE PARKING CALC NOTE #1 & #5]				
USE / CATEGORY: RETAIL HAIR SALON				
CRITERIA: 1 SPACE PER 200 SF GROSS FLOOR AREA OF FIRST FLOOR AREA CALCULATION: 1,500± SF GROSS FLOOR AREA X 1 SPACE PER 200 SF = 8 SPACES REQUIRED				
PAPA GINO'S (EXISTING) - 2,800± SF: [SEE PARKING CALC NOTE #1 & #5]				
USE / CATEGORY: RETAIL SALES				
CRITERIA: 1 SPACE PER 75 SF GFA OR 1 SPACE PER 2 SEATS, WHICHEVER IS GREATER (MIN 25 SPACES FOR ALL RESTAURANTS)				
CALCULATION: 2,800± SF GROSS FLOOR AREA X 1 SPACE PER 75 SF = 38 SPACES REQUIRED				
NH LIQUOR STORE (EXISTING) - 28,600± SF: [SEE PARKING CALC NOTE #1]				
USE / CATEGORY: RETAIL SALES				
CRITERIA: 1 SPACE PER 200 SF GROSS FLOOR AREA OF FIRST FLOOR AREA CALCULATION: 28,600± SF GROSS FLOOR AREA X 1 SPACE PER 200 SF = 143 SPACES REQUIRED				
PETCO (EXISTING) - 19,583± SF: [SEE PARKING CALC NOTE #1]				
USE / CATEGORY: RETAIL SALES				
CRITERIA: 1 SPACE PER 200 SF GROSS FLOOR AREA OF FIRST FLOOR AREA CALCULATION: 19,583± SF GROSS FLOOR AREA X 1 SPACE PER 200 SF = 98 SPACES REQUIRED				
KOHLS (EXISTING) - 2,800± SF: [SEE PARKING CALC NOTE #1]				
USE / CATEGORY: RETAIL SALES				
CRITERIA: 1 SPACE PER 200 SF GROSS FLOOR AREA OF FIRST FLOOR AREA CALCULATION: 1,600± SF GROSS FLOOR AREA X 1 SPACE PER 200 SF = 452 SPACES REQUIRED				
ITEM	CODE	REQUIRED	EXISTING	PROPOSED
NUMBER OF ACCESSIBLE PARKING SPACES	ADA	29	46	49
MIN PARKING SPACE DIMENSIONS	\$490-701(C)(1)(d)	9 FT X 20 FT	VARIES (9'X18' MIN.)	VARIES/MATCHES EXISTING (9'X18' MIN.)
MIN PARKING AISLE WIDTH [1]	\$490-701(C)(1)(d)	24 FT	VARIES (24'-FT MIN.)	24 FT MIN
PERIMETER PARKING LANDSCAPE BUFFER	\$490-701(C)(2)(b)	10 FT	VARIES (MIN. 0'-FEET)	NO CHANGE
FRONT PARKING LANDSCAPE BUFFER	\$490-701(C)(2)(d)	20 FT	VARIES (MIN. 0'-FEET)	NO CHANGE

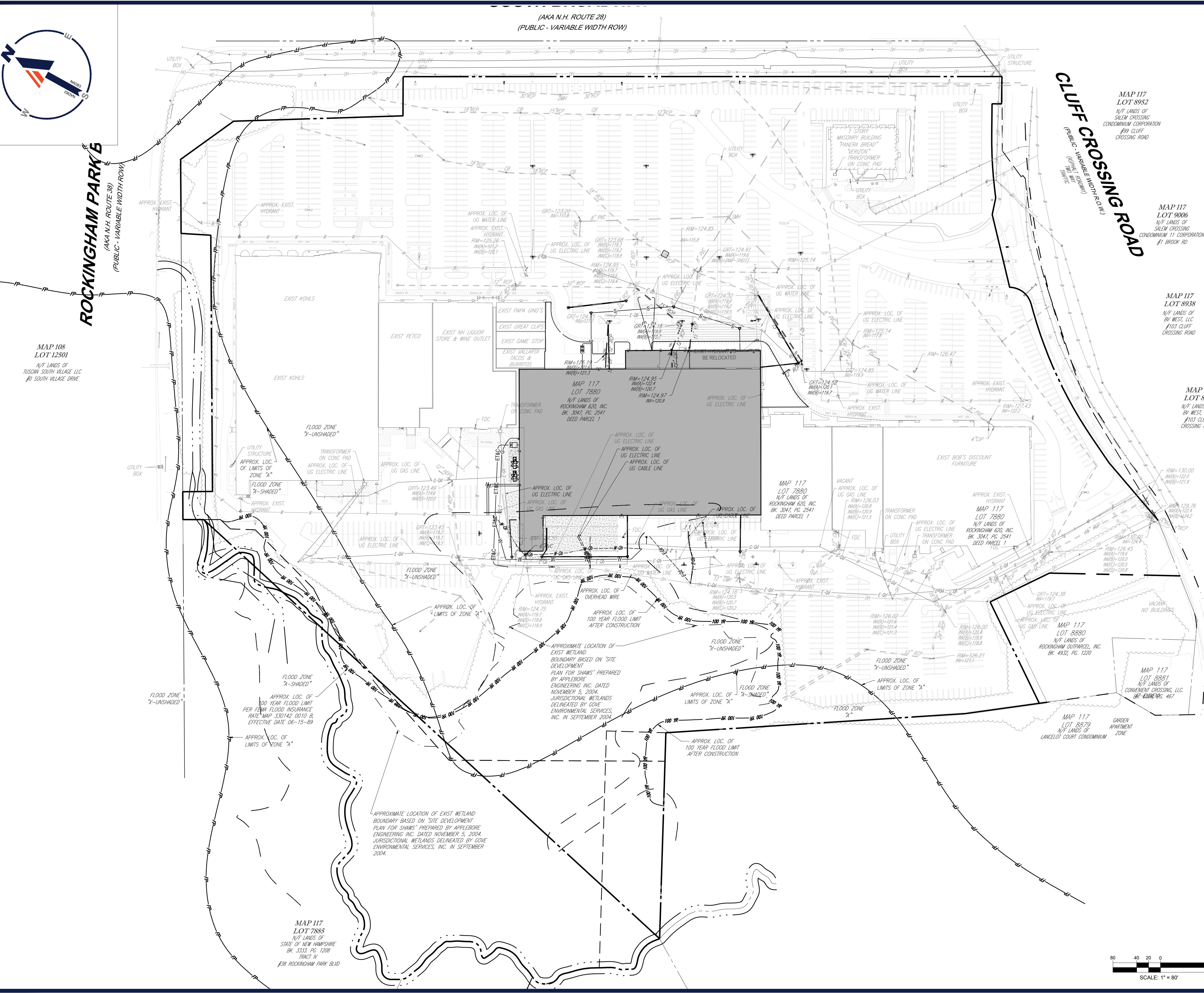
P:\\2024\\MAA\\40148.01\\CAD\\DRAWINGS\\PLAN SET\\CIVIL SITE PLANS\\CIVIL SITE PLANS\\C-301 - SITE OVERALL

[1] EXCEPT FOR EXPANSION OF EXISTING PARKING AREAS WHERE A TWENTY-TWO (22) FOOT WIDTH IS ALREADY PROVIDED.
[2] EXCLUDES TWELVE (12) PROPOSED CART CORRAL SPACES.
PARKING CALCULATION NOTES:
[1] FLOOR SPACE FOR EXISTING USE BASED UPON RECORD "SITE DEVELOPMENT PLAN FOR SHAW'S" PREPARED BY APPLEDORE ENGINEERING INC., DATED DECEMBER 30, 2004.
[2] NUMBER OF SEATS AT VALLARTA TACOS & BURRITOS BASED UPON BUILDING PERMIT APPLICATION AVAILABLE IN TOWN RECORDS, DATED APRIL 4, 2023.
[3] NUMBER OF SEATS AT PAPA GINO'S RESTAURANT BASED UPON RECORD "SITE DEVELOPMENT PLAN FOR PAPA GINO'S" PREPARED BY APPLEDORE ENGINEERING INC., DATED NOVEMBER 27, 2017.
[4] FLOOR SPACE AND NUMBER OF SEATS FOR EXISTING VERIZON AND PANERA BREAD USES BASED UPON PLANS ENTITLED "PROPOSED ROCKINGHAM PLAZA OUTPARCEL" PREPARED BY VANASSE HANGEN BRUNSTOCK, INC. DATED NOVEMBER 27, 2017.
[5] THE NUMBER OF SEATS AT EXISTING PAPA GINO'S RESTAURANT IS UNKNOWN AND PARKING CALCULATION IS BASED SOLELY ON FLOOR AREA.



SHEET NUMBER: C-301

NOTES:
[1] 110,000± SF GROSS FLOOR AREA
[2] 2,204± SF MEZZANINE
[3] 1,833± SF 2ND FLOOR
[4] 1,500± SF 1ST FLOOR
[5] 1,600± SF GROSS FLOOR AREA
[6] 1,794± SF GROSS FLOOR AREA
[7] 1,780± SF GROSS FLOOR AREA
[8] 1,500± SF 1ST FLOOR
[9] 1,833± SF 2ND FLOOR
[10] 1,600± SF GROSS FLOOR AREA
[11] 1,794± SF GROSS FLOOR AREA
[12] 1,780± SF GROSS FLOOR AREA
[13] 1,500± SF 1ST FLOOR
[14] 1,833± SF 2ND FLOOR
[15] 1,600± SF GROSS FLOOR AREA
[16] 1,794± SF GROSS FLOOR AREA
[17] 1,780± SF GROSS FLOOR AREA
[18] 1,500± SF 1ST FLOOR
[19] 1,833± SF 2ND FLOOR
[20] 1,600± SF GROSS FLOOR AREA
[21] 1,794± SF GROSS FLOOR AREA
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[175] 1,600± SF GROSS FLOOR



MAP 117
LOT 8952
N/F LANDS OF
SALEM CROSSING
CONDOMINIUM CORPORATION
#99 CLIFF
CROSSING ROAD

MAP 117
LOT 9006
N/F LANDS OF
SALEM CROSSING
CONDOMINIUM 11 CORPORATION
#1, BROOK RD.

MAP 117
LOT 8938
N/F LANDS OF
BV WEST, LLC
#103 CLUFF
CROSSING ROAD

MAP 117
LOT 8939
N/F LANDS OF
BV WEST, LLC
#103 CLUFF
CROSSING ROAD

REVISIONS	
DATE	COMMENT

REVISIONS

E	COMMENT	DRAWN BY CHECKED BY

A stylized graphic of a shovel digging into the ground, with the text "Know what's below. Call before you dig." overlaid.

**ALWAYS CALL 811
First. It's free. It's the law.**

PERMIT SET

IS INTENDED FOR MUNICIPAL AND/OR AGENCY
PROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
UMENT UNLESS INDICATED OTHERWISE.

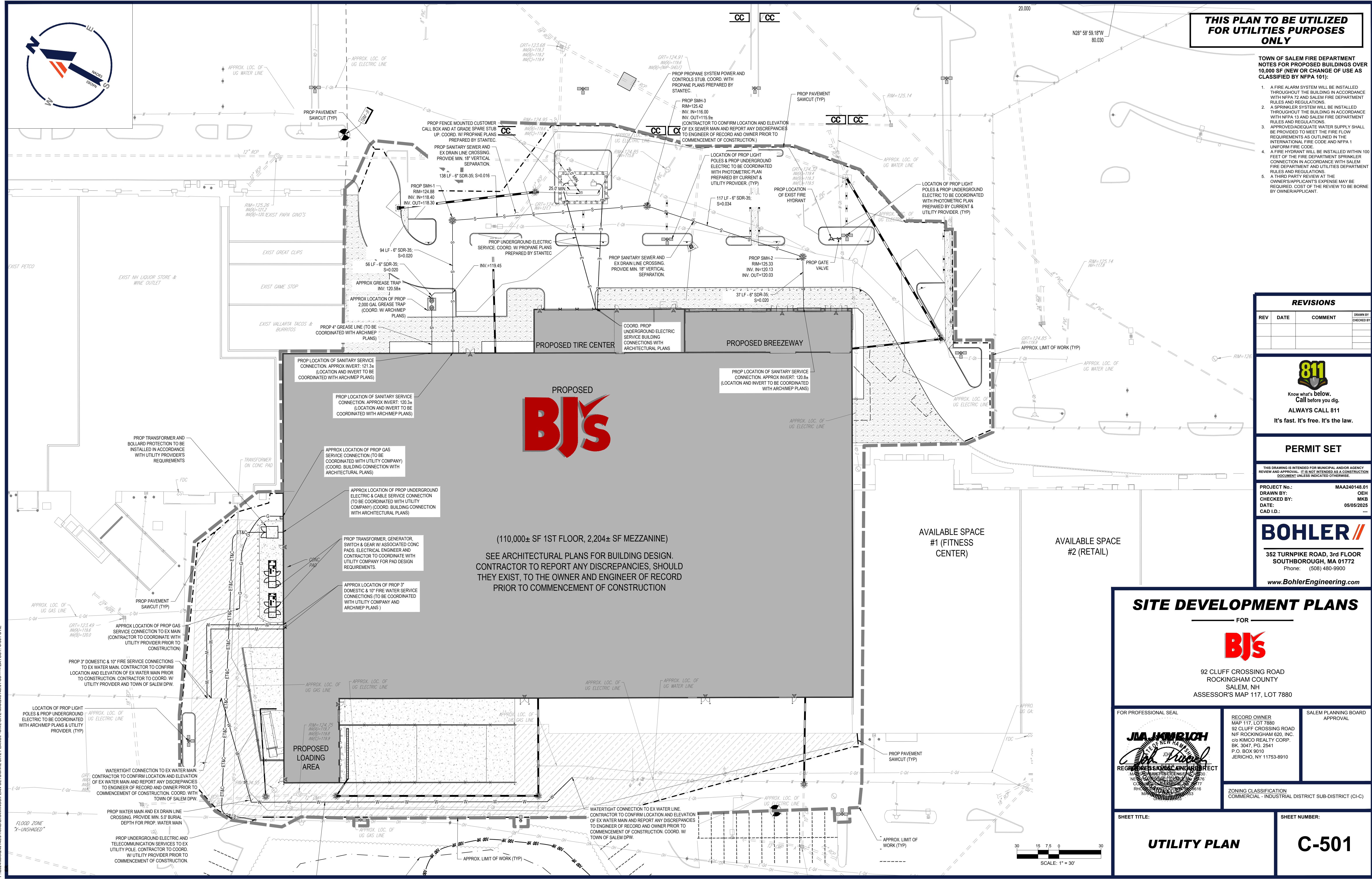
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BY: MKB
05/05/2025

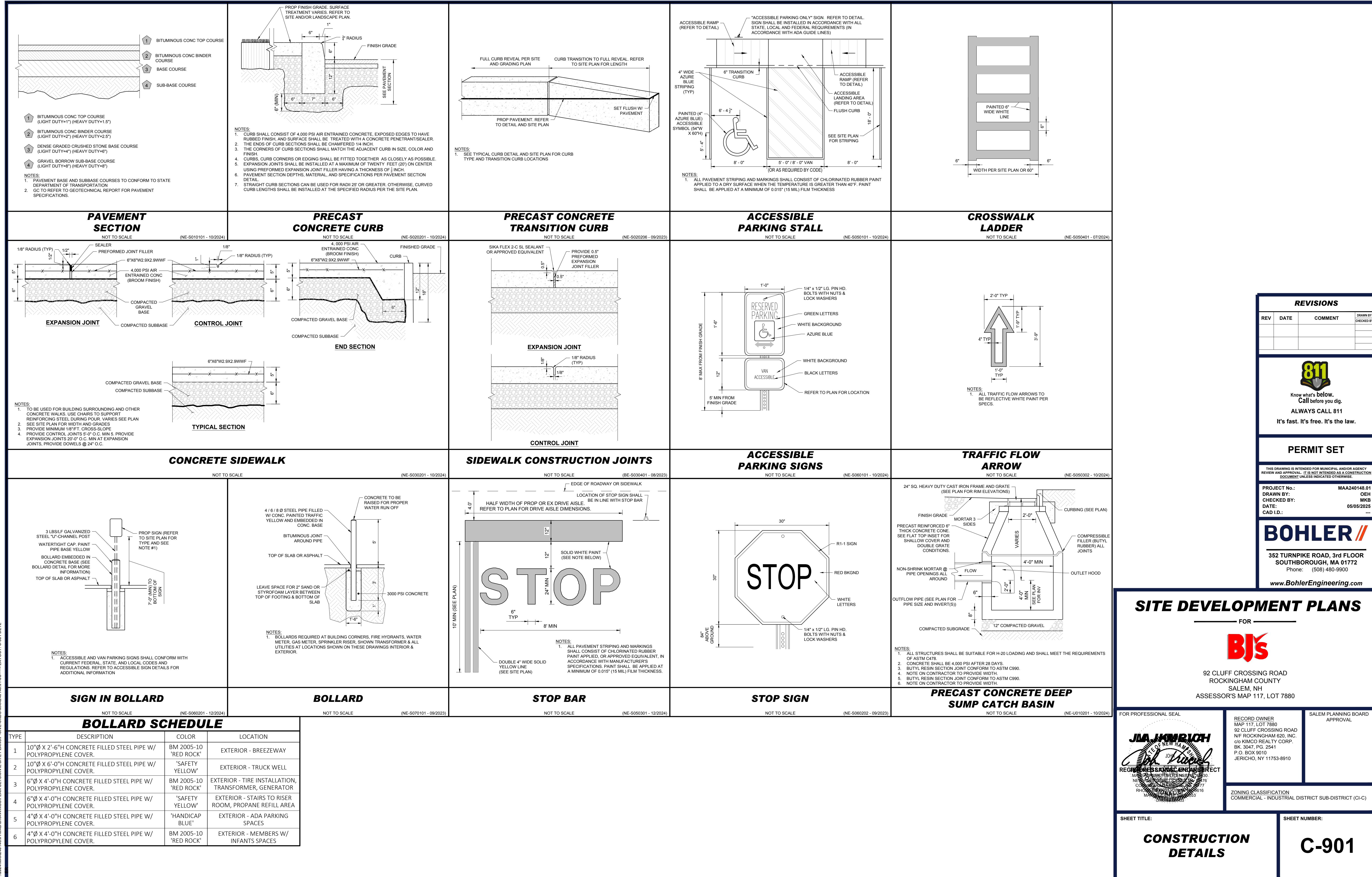
SITE DEVELOPMENT PLANS

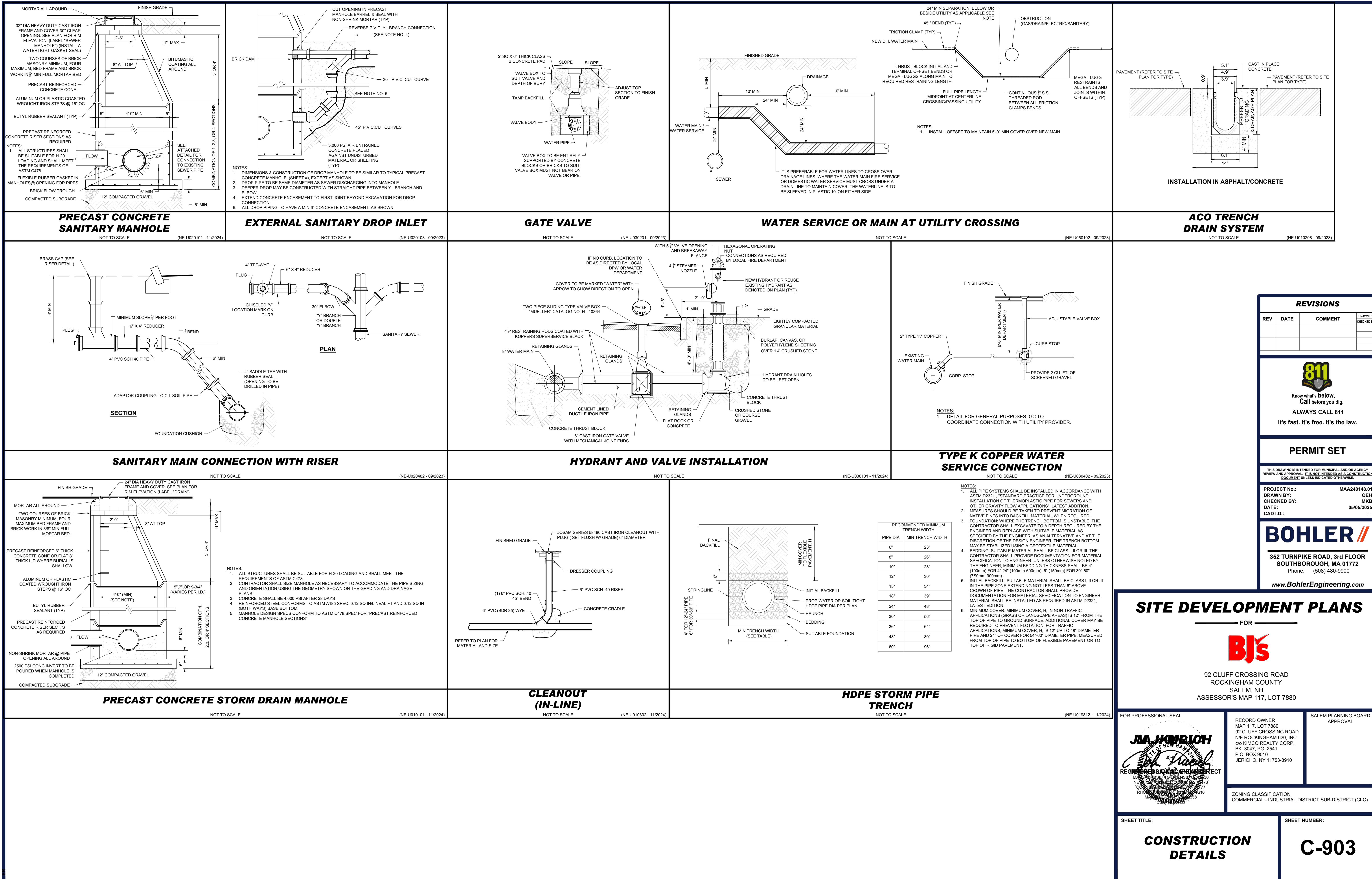


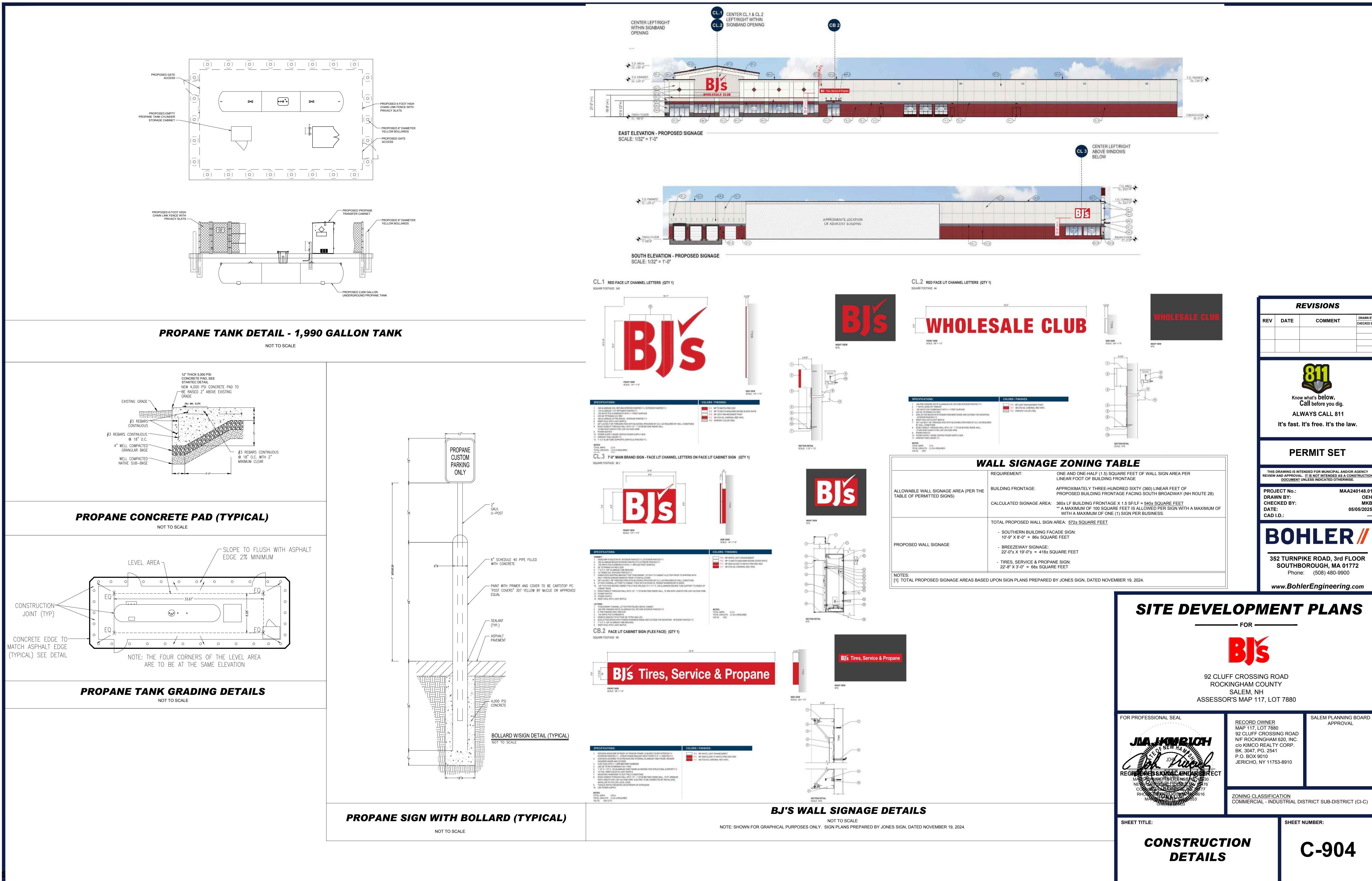
92 CLUFF CROSSING ROAD
ROCKINGHAM COUNTY
SALEM, NH
ASSessor's MAP 117, LOT 7880

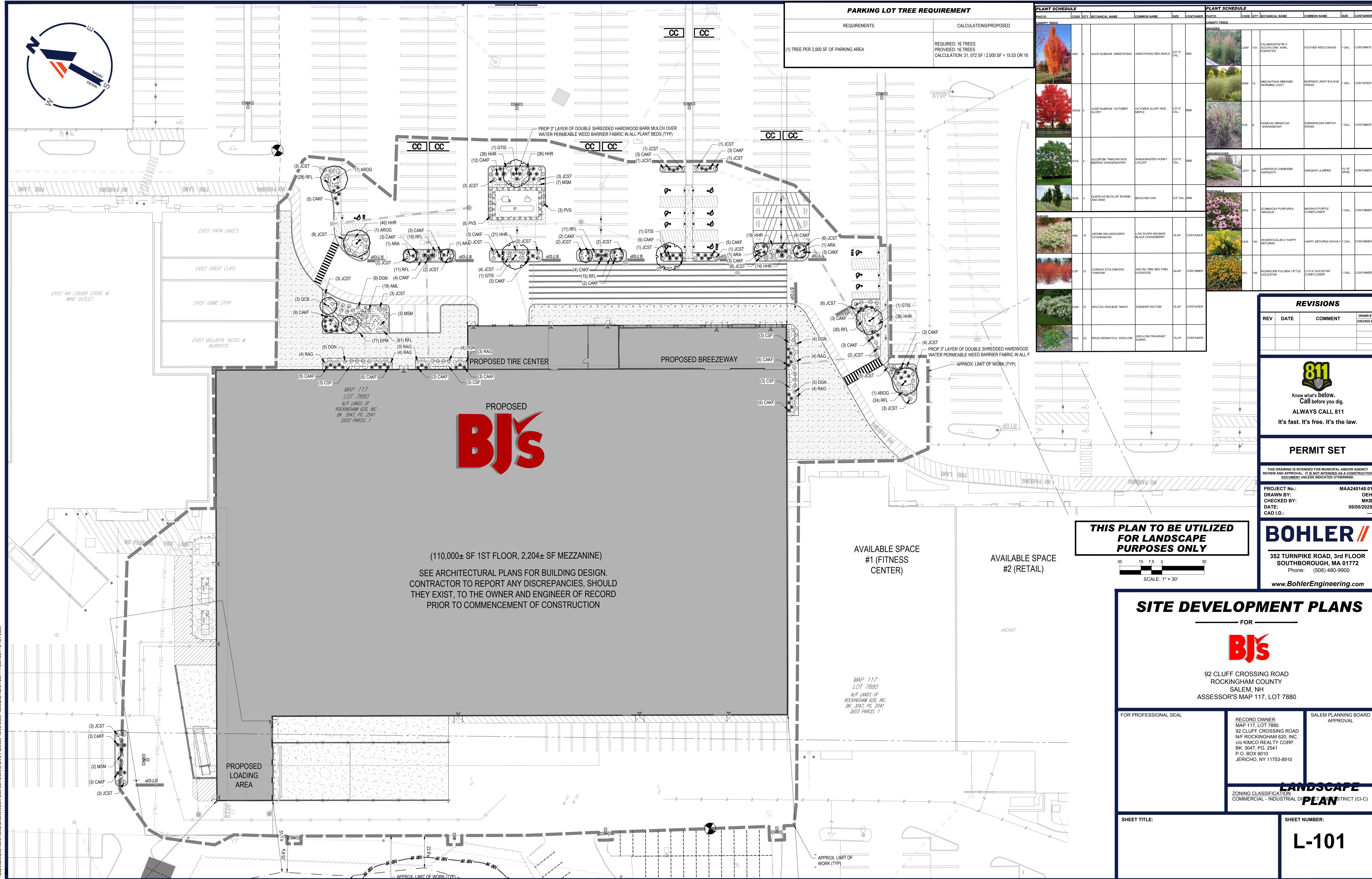
PROFESSIONAL SEAL		RECORD OWNER	SALEM PLANNING BOARD APPROVAL
 <p>KIMCO STATE OF NEW HAMPSHIRE JOHN J. KIMMICH KIMCO REALTY CORP. ADDRESS SIGNALS & CAR DIRECT MAIL: 1000 S. BEEFUS ST. STE 200, BLDG. 4, BOSTON, MA 02120 PHONE: 617-451-1776 FAX: 617-451-1777 E-MAIL: KIMCO@AOL.COM OFFICE: 617-451-1333</p>		<p>MAP 117, LOT 7880 92 CLUFF CROSSING ROAD N/F ROCKINGHAM 620, INC. c/o KIMCO REALTY CORP. BK. 3047, PG. 2541 P.O. BOX 9010 JERICHO, NY 11753-8910</p>	
<p><u>ZONING CLASSIFICATION</u> COMMERCIAL - INDUSTRIAL DISTRICT SUB-DISTRICT (CI-C)</p>			
LOT TITLE:		SHEET NUMBER:	

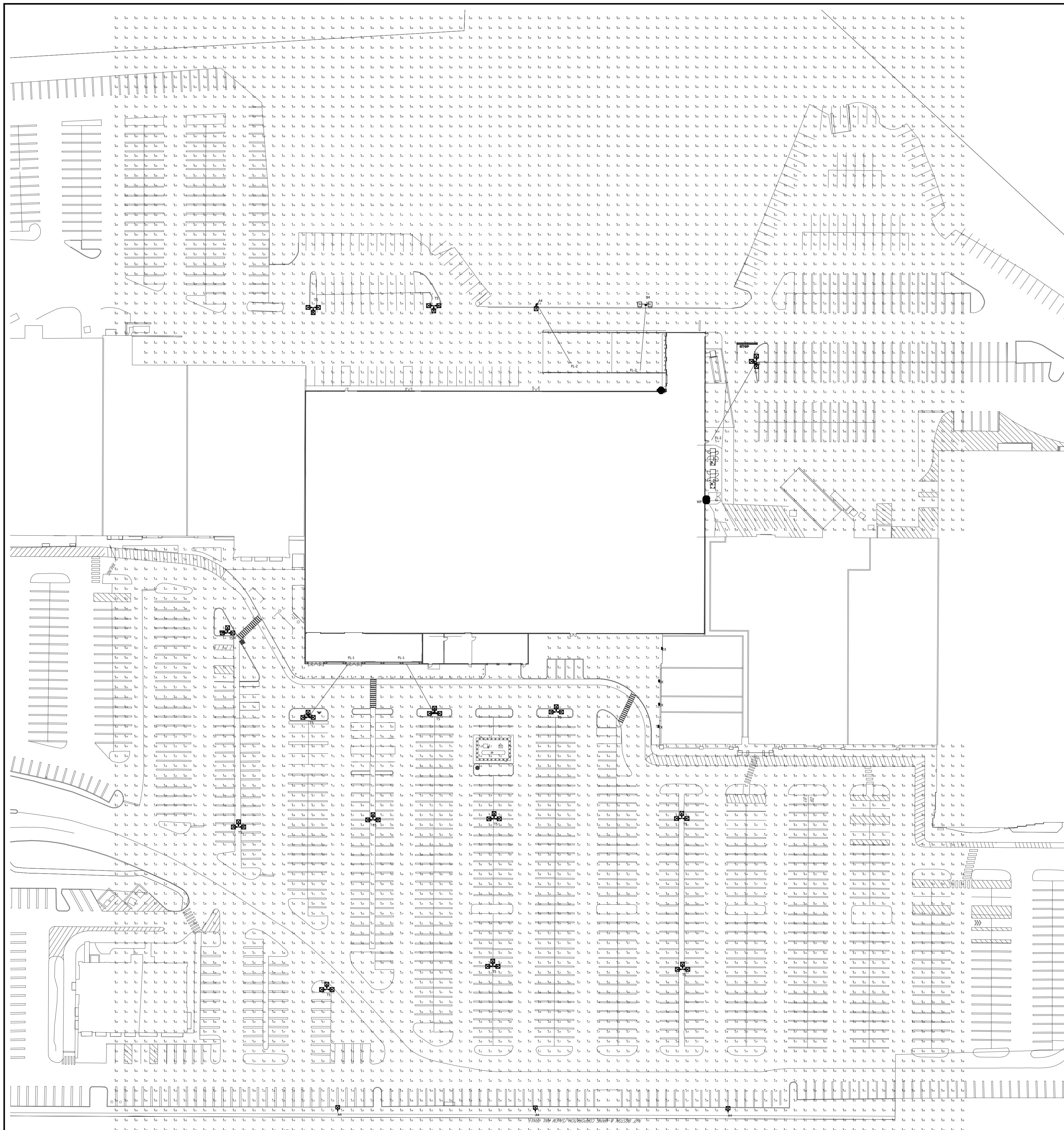






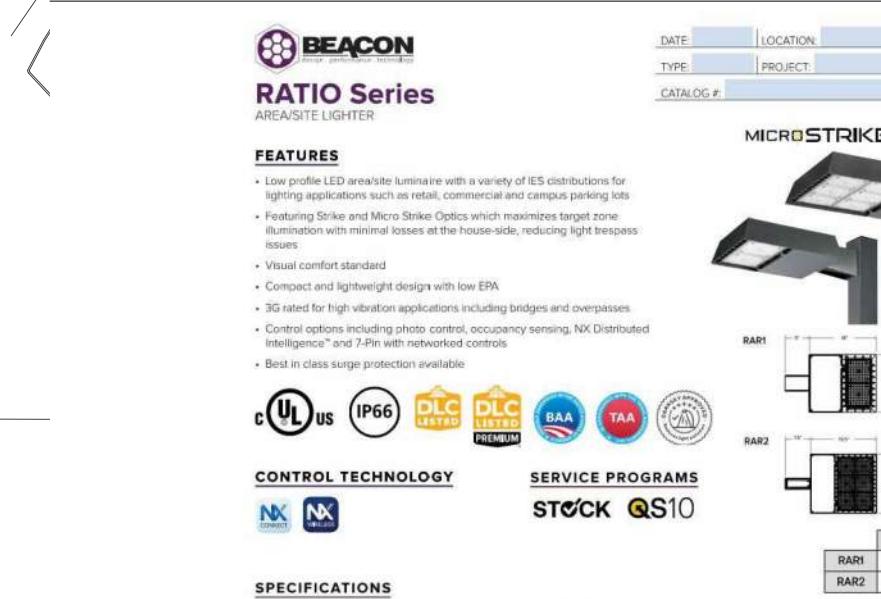
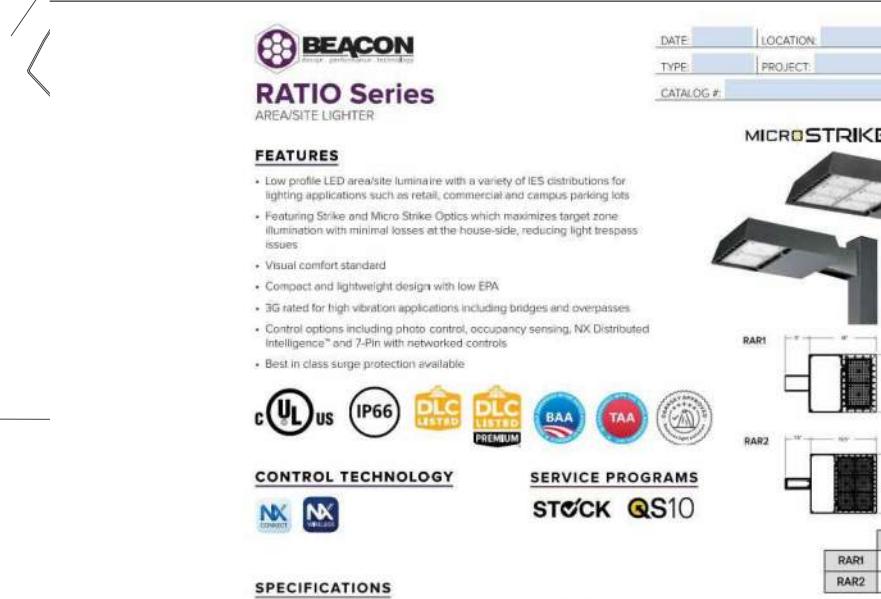


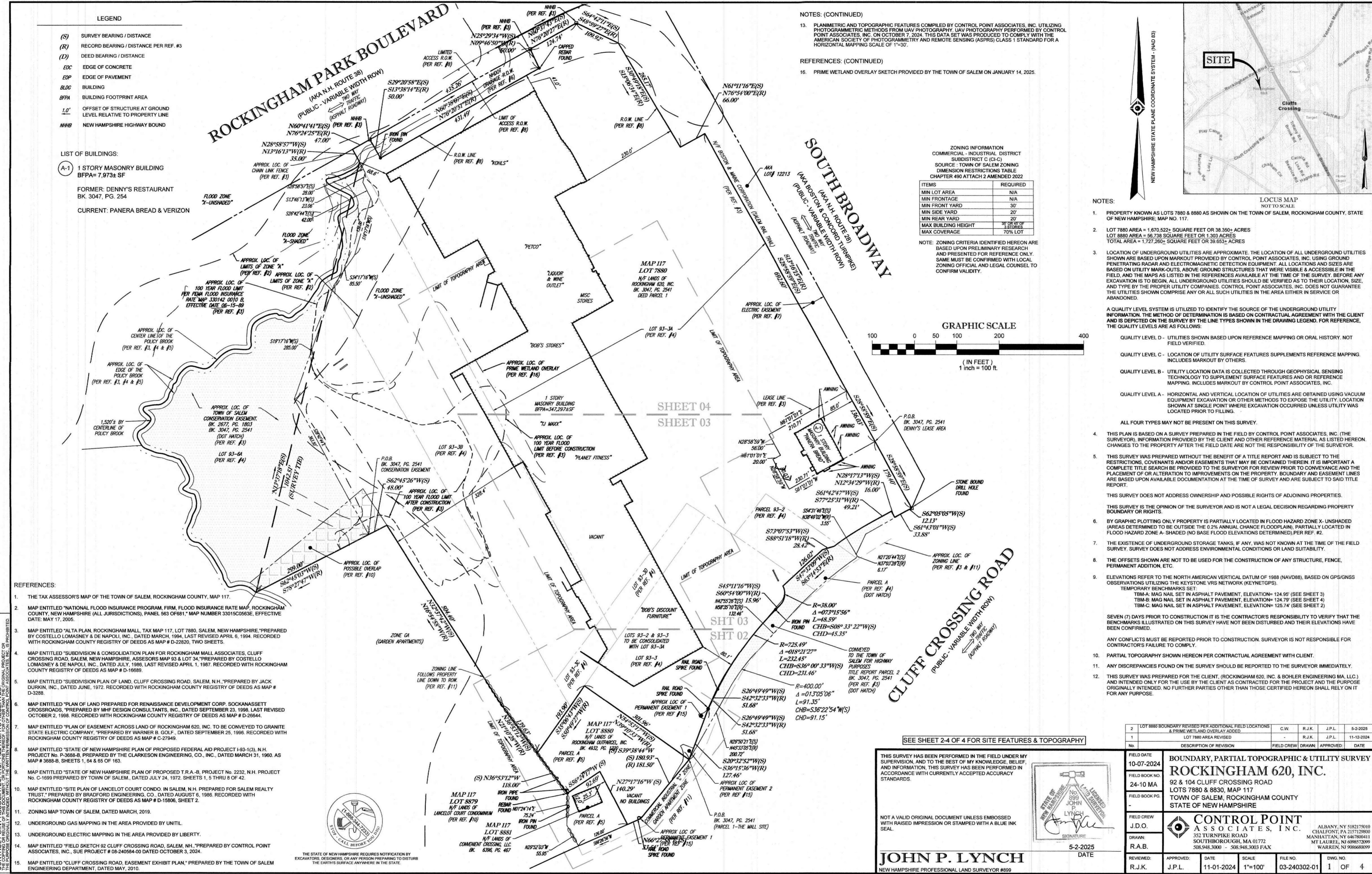


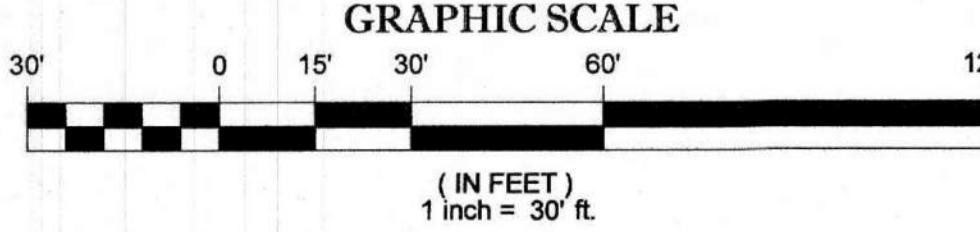
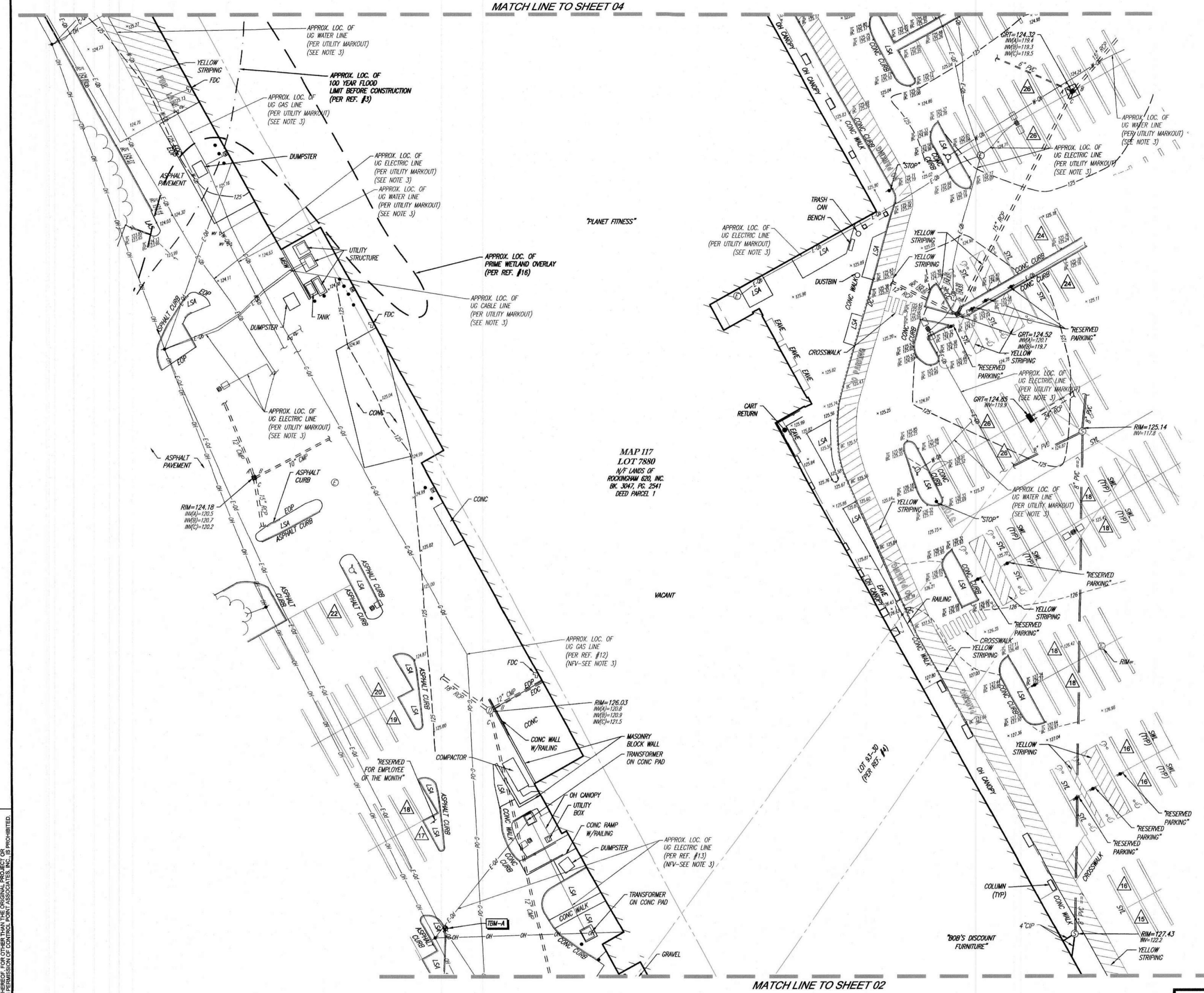


Luminaire Schedule								
Symbol	Qty	Label	Mounting Height	LLF	Lum. Lumens	Lum. Watts	Description	
EX	4	EX	10' - 0" AFG	0.900	1868	15	Existing Wall Pack	
A4	4	A4	35' - 0" AFG	0.900	36226	255	RAR2-480L-255-4K7-4W	
B4	1	B4	35' - 0" AFG	0.900	36226	255	RAR2-480L-255-4K7-4W (L/R)	
FL-1	2	FL-1	30' - 0" AFG	0.900	14679	120	RFL4-176L-120-5K7-W	
FL-2	3	FL-2	30' - 0" AFG	0.900	31102	265	RFL5-360L-265-4K7-N	
T5	14	T5	35' - 0" AFG	0.900	37426	255	RAR2-480L-255-5K7-5QW	
WP	2	WP	9' - 0" AFG	0.900	15355	115	RWL2-160L-115-5K7-3-U	

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Building Rear	Illuminance	Fc	4.56	22.0	0.2	22.80	110.00
Front Parking	Illuminance	Fc	4.27	8.1	1.4	3.05	5.79
Loading Dock	Illuminance	Fc	7.92	43.1	1.1	7.20	39.18
Member Entrance	Illuminance	Fc	6.17	10.1	2.4	2.57	4.21
Overall Area	Illuminance	Fc	1.88	36.9	0.0	N.A.	N.A.
Rear Parking	Illuminance	Fc	4.37	6.4	1.3	3.36	4.92







LEGEND	
—	124 EXISTING CONTOUR
—	123 EXISTING SPOT ELEVATION
×	TC 123.45 EXISTING TOP OF CURB ELEVATION
×	BC 123.45 EXISTING TOP OF CURB ELEVATION
HYDRANT	
WATER VALVE	
GAS METER	
EM ELECTRIC METER	
OH APPROX. LOC. UNDERGROUND GAS LINE	
E APPROX. LOC. UNDERGROUND ELECTRIC LINE	
C APPROX. LOC. UNDERGROUND CABLE LINE	
W APPROX. LOC. UNDERGROUND WATER LINE	
UP UTILITY POLE	
UPLP UTILITY POLE/LIGHT POLE	
GW GUY WIRE	
— AREA LIGHT	
— TRAFFIC SIGNAL POLE	
— TRAFFIC SIGNAL	
— SIGN	
● BOLLARD	
① DMY DRAINAGE/STORM MANHOLE	
CB CATCH BASIN OR INLET	
△ PARK SPACE COUNT	
UG UNDER GROUND	
CLF CHAIN LINK FENCE	
LSA LANDSCAPED AREA	
EDC EDGE OF CONCRETE	
EOP EDGE OF PAVEMENT	
SWL SOLID WHITE LINE	
SYL SOLID YELLOW LINE	
DYL DOUBLE YELLOW LINE	
GRT GRATE ELEVATION	
BLDG BUILDING	
BFPA BUILDING FOOTPRINT AREA	
-20 SUBSURFACE UTILITY QUALITY LEVEL B	
-30 SUBSURFACE UTILITY QUALITY LEVEL D	
1.0' OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE	
EL ELEVATION	
PVC POLYVINYL CHLORIDE PIPE	
HDPPE HIGH DENSITY POLYETHYLENE PIPE	
CP CAST IRON PIPE	
INV INVERT ELEVATION	
GRT GRATE ELEVATION	
-20 SUBSURFACE UTILITY QUALITY LEVEL B	
-30 SUBSURFACE UTILITY QUALITY LEVEL D	

2	LOT 8880 BOUNDARY REVISED PER ADDITIONAL FIELD LOCATIONS & PRIME WETLAND OVERLAY ADDED.	C.W.	R.J.K.	J.P.L.	5-2-2025
1	LOT 7880 AREA REVISED	-	R.J.K.	J.P.L.	
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN:	APPROVED:	DATE
5-2-2025					
FIELD DATE 10-07-2024					
FIELD BOOK NO. 24-10 MA					
FIELD BOOK PG. -					
FIELD CREW J.D.O.					
DRAWN: R.A.B.					
APPROVED: R.J.K.					
DATE 11-01-2024					
SCALE 1"=30'					
FILE NO. 03-240302-01					
DWG. NO. 3 OF 4					

THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

STATE OF NEW HAMPSHIRE
No. 899 JOHN LYNCH
LAW ENFORCED SURVEYOR
SIGNATURE

JOHN P. LYNCH
NEW HAMPSHIRE PROFESSIONAL LAND SURVEYOR #899

CONTROL POINT ASSOCIATES, INC.
ALBANY, NY 12217-5010
CHALFONTE, PA 21571-2900
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
MANHATTAN, NY 10036-0411
MT LAUREL, NJ 08043-2099
508.948.3000 - 508.948.3003 FAX
WARREN, NJ 07059-0009

