


_____ FOR _____



RETAIL STORE

MAP 117, LOT 7880

◆ LOT LINE ADJUSTMENT PLAN
CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
DATED: 02/07/2025

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS
HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR
DERIVED FROM THESE DOCUMENTS, BY OTHERS.



SCALE: 1" = 2,000'
SOURCE: SALEM DEPOT QUADRANGLE



SCALE: 1" = 500'
SOURCE: MICROSOFT CORPORATION

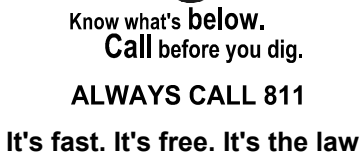
ROCKINGHAM 620 INC.
C/O KIMCO REALTY CORP
P.O. BOX 9010
JERICHO, NY 11753

BJ'S WHOLESALE CLUB, INC.
350 CAMPUS DRIVE
MARLBOROUGH, MA 01752

BOHLER //

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
GENERAL NOTES	C-102
GENERAL NOTES & LEGEND	C-103
EXISTING CONDITIONS/DEMOLITION PLAN	C-201
OVERALL SITE PLAN	C-301
SITE PLAN	C-302
OVERALL GRADING DRAINAGE AND UTILITY PLAN	C-401
GRADING AND DRAINAGE PLAN	C-402
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LANDSCAPE PLAN	L-101
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PHOTOMETRIC PLAN (BY OTHERS)	1 OF 1
BOUNDARY, PARTIAL TOPOGRAPHIC & UTILITY SURVEY (BY OTHERS)	1-4 OF 4

REV	DATE	COMMENT	DRAWN BY
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DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	MAA240148.01
DRAWN BY:	OEH
CHECKED BY:	MKB
DATE:	05/05/2025
CAD I.D.:	---

BOHLER //

352 TURNPIKE ROAD, 3rd FLOOR
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

www.BohlerEngineering.com

FOR



92 CLUFF CROSSING ROAD
ROCKINGHAM COUNTY
SALEM, NH
ASSESSOR'S MAP 117, LOT 7880

FOR PROFESSIONAL SEAL



RECORD OWNER
MAP 117, LOT 7880
92 CLUFF CROSSING ROAD
N/F ROCKINGHAM 620, INC
c/o KIMCO REALTY CORP.
BK. 3047, PG. 2541
P.O. BOX 9010
JERICHO, NY 11753-8910

SALEM PLANNING BOARD
APPROVAL

ZONING CLASSIFICATION
COMMERCIAL - INDUSTRIAL DISTRICT SUB-DISTRICT (CI-C)

SHEET TITLE:

COVER SHEET

SHEET NUMBER

C-101

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

P:\2024\MAA240148.01\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\SP-CIVL-CND5-MAA240148.01-40C---LAYOUT-C-103.NOTE


STANDARD ABBREVIATIONS		LSA	LANDSCAPE AREA
FOR ENTIRE PLAN SET		MAX	MAXIMUM
		ME	MATCH EXISTING
		MEP	MECHANICAL, ELECTRICAL, AND PLUMBING
AASHTO	AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	MH	MANHOLE
AC	ACRE / ACRES	MIN	MINIMUM
AD	AREA DRAIN	MJ	MECHANICAL JOINT
ADA	ACCESSIBLE / AMERICANS WITH DISABILITIES ACT	MUTCD	MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES
AG	ABOVE GROUND	NOAA	NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION
APPROX	APPROXIMATE	NRCS	NATIONAL RESOURCE CONSERVATION SERVICE
ARCH	ARCHITECTURAL	O&M	OPERATIONS AND MAINTENANCE
ASPH	ASPHALT	OC	ON CENTER
ASSF	AREA SUBJECT TO STORMWATER FLOWAGE	OCs	OUTLET CONTROL STRUCTURE
ASSOC	ASSOCIATION	OGS	OIL AND GRIT SEPARATOR
BC	BOTTOM OF CURB	ORD	ORDINANCE
BF	BASEMENT FLOOR	PA / POA	POINT OF ANALYSIS
BIO	BIOGARDEN	PC	POINT OF CURVATURE
BIT	BITUMINOUS	PCCR	POINT OF CURVATURE, CURB RETURN
BK	BLOCK	PERF	PERFORATED
BL	BASELINE	PG	PROPOSED GRADE
BLDG	BUILDING	PI	POINT OF INTERSECTION
BM	BENCH MARK	POG	POINT OF GRADE
BRL	BUILDING RESTRICTION LINE	PP	POLYPROPYLENE PIPE
CB	CATCH BASIN	PROP	PROPOSED
CF	CUBIC FEET	PT	POINT OF TANGENCY
CI	CURB INLET	PTCR	POINT OF TANGENCY, CURB RETURN
CIT	CHANGE IN TYPE	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTER LINE	PVMT	PAVEMENT
CMP	CORRUGATED METAL PIPE	PVT	POINT OF VERTICAL TANGENCY
CO	CLEAN OUT	R	RADIUS / RADII
CONC	CONCRETE	R/W	RIGHT-OF-WAY / RIGHTS-OF-WAY
CONN	CONNECTION	RCP	REINFORCED CONCRETE PIPE
COORD	COORDINATE	RD	ROOF DRAIN
CPP	CORRUGATED PLASTIC PIPE	REGS	REGULATIONS
CY	CUBIC YARD	RELO	TO BE RELOCATED
DEC	DECORATIVE	REQ	REQUIRED
DEP	DEPARTMENT OF ENVIRONMENTAL PROTECTION	RET	RETENTION
DET	DETENTION	RET WALL	RETAINING WALL
DIA	DIAMETER	RETO	TO BE RETURNED TO OWNER
DMH	DRAINAGE MANHOLE	RG	RAIN GARDEN
DOM	DOMESTIC	S	SLOPE
DOT	DEPARTMENT OF TRANSPORTATION	SAN	SANITARY SEWER
DP	DESIGN POINT	SESC	SOIL EROSION AND SEDIMENT CONTROL
DWL	DASHED WHITE LINE	SF	SQUARE FEET
DYL	DOUBLE YELLOW LINE	SHLO	STATE HIGHWAY LAYOUT
EG	EXISTING GRADE	SMH	SANITARY MANHOLE
ELEC	ELECTRIC	STA	STATION
ELEV	ELEVATION	STM	STORM WATER / STORM SEWER
EOR	ENGINEER OF RECORD	SWL	SINGLE/SOLID WHITE LINE
EP / EOP	EDGE OF PAVEMENT	SWPPP	STORMWATER POLLUTION PREVENTION PLAN
ES / EOS	EDGE OF SHOULDER	TBA	TO BE ABANDONED
EW	END WALL	TBR	TO BE REMOVED
EX	EXISTING	TBV	TO BE VACATED
FDC	FIRE DEPARTMENT CONNECTION	TC	TOP OF CURB
FEMA	FEDERAL EMERGENCY MANAGEMENT AGENCY	Tc	TIME OF CONCENTRATION
FES	FLARED END SECTION	TD	TRENCH DRAIN
FF	FINISH / FIRST FLOOR	TELE	TELECOMMUNICATIONS / TELEDATA
FFE	FINISH / FIRST FLOOR ELEVATION	TPF	TREE PROTECTION FENCE
FG	FINISH GRADE	TR	TO REMAIN
FH	FIRE HYDRANT	TRANS	TRANSITION
FM	FORCE MAIN	TYP	TYPICAL
FO	FIBER OPTIC	UG	UNDERGROUND
G	GRADE	UP	UTILITY POLE
GC	GENERAL CONTRACTOR	USGS	UNITED STATES GEOLOGICAL SURVEY
GEO	GEOTECH/GEOTECHNICAL	VERT	VERTICAL
GF / GFE	GARAGE FLOOR ELEVATION (AT DOOR)	VIF	VERIFY IN FIELD
GFA	GROSS FLOOR AREA	W	WIDE / WIDTH
GH	GRADE HIGH (WALL)	WL	WATER LINE
GL	GRADE LOW (WALL)	WM	WATER METER
GRT	GRATE	WQU	WATER QUALITY UNIT
GT	GREASE TRAP	YD	YARD DRAIN
GV	GATE VALVE	#	NUMBER
HDPE	HIGH DENSITY POLYETHYLENE	##	SLOPE EXPRESSED IN HORIZONTAL/VERTICAL IN FEET
HOR	HORIZONTAL	±	PLUS OR MINUS
HP	HIGH POINT	°	DEGREE
HW	HEADWALL	Ø	DIAMETER
ICS	INLET CONTROL STRUCTURE	'	FEET/FOOT
INF	INFILTRATION	"	INCHES
INT	INTERSECTION		
INV	INVERT		
LF	LINEAR FOOT		
LOC	LIMIT OF CLEARING		
LOD	LIMIT OF DISTURBANCE		
LOS	LINE OF SIGHT		
LOW	LIMIT OF WORK		
LP	LOW POINT		
LS	LANDSCAPE		

STANDARD DRAWING LEGEND		
FOR ENTIRE PLAN SET		
LIMIT OF WORK		
LIMIT OF DISTURBANCE		
SAWCUT LINE		
EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
-----	ON-SITE PROPERTY LINE / R.O.W. LINE	-----
-----	NEIGHBORING PROPERTY LINE / INTERIOR PARCEL LINE	-----
-----	EASEMENT LINE	-----
-----	SETBACK LINE	-----
CURB AND GUTTER		
CONCRETE CURB & GUTTER		
=====	UTILITY POLE WITH LIGHT	=====
=====	POLE LIGHT	=====
=====	TRAFFIC LIGHT	=====
=====	UTILITY POLE	=====
=====	TYPICAL LIGHT	=====
=====	ACORN LIGHT	=====
=====	TYPICAL SIGN	=====
=====	PARKING COUNTS	=====
CONTOUR LINE		
-----	SPOT ELEVATIONS	-----
SANITARY LABEL		
STORM LABEL		
SANITARY SEWER LATERAL		
UNDERGROUND WATER LINE		
UNDERGROUND ELECTRIC LINE		
UNDERGROUND GAS LINE		
OVERHEAD WIRE		
UNDERGROUND TELEPHONE LINE		
UNDERGROUND CABLE LINE		
STORM SEWER		
SANITARY SEWER MAIN		
HYDRANT		
SANITARY MANHOLE		
STORM MANHOLE		
WATER METER		
WATER VALVE		
GAS VALVE		
GAS METER		
TYPICAL END SECTION		
HEADWALL OR ENDWALL		
GRATE INLET		
CURB INLET		
CLEAN OUT		
ELECTRIC MANHOLE		
TELEPHONE MANHOLE		
ELECTRIC BOX		
ELECTRIC PEDESTAL		

SOIL EROSION & SEDIMENT CONTROL PLAN NOTES


- (Rev. 12/2024)
- EROSION CONTROL MEASURES MUST CONFORM TO THE NEW HAMPSHIRE GUIDELINES FOR EROSION AND SEDIMENT CONTROL UNLESS OTHERWISE NOTED. OR UNLESS ENGINEER CLEARLY AND SPECIFICALLY, IN WRITINGS, DIRECTS OTHERWISE. INSTALLATION OF EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
 - THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:
 - STABILIZE CONSTRUCTION ENTRANCE/EXIT - A TEMPORARY STONE CONSTRUCTION ACCESS IS TO BE INSTALLED AT THE DESIGNATED LOCATION AS SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE.
 - SILT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK(S) AROUND ALL OF THE DOWNSLOPE PERIMETERS OF THE SITE, TEMPORARY FILL AREAS, AND SOIL STOCKPILES.
 - INLET PROTECTION - IN ORDER TO REDUCE THE POTENTIAL FOR SEDIMENT TO ENTER THE STORMWATER SYSTEM, THE CONTRACTOR SHALL INSTALL INLET PROTECTION AROUND EACH INLET AS DRAINAGE STRUCTURES ARE INSTALLED. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA.
 - TREE PROTECTION FENCE - THROUGH THE USE OF TREE PROTECTION FENCE, THE CONTRACTOR MUST MARK ALL EXISTING TREES AND SHRUBS WITHIN AND AROUND THE WORK AREA THAT ARE TO REMAIN. THE CONTRACTOR SHALL REFER TO THE TREE PROTECTION FENCE DETAILS HEREIN.
 - SOIL STOCKPILES - STOCKPILES SHALL BE LIMITED TO 35' MAX. HEIGHT AND SHOULD BE REMOVED OR UTILIZED FOR SITE CONSTRUCTION AS SOON AS PRACTICABLE.
 - DUST CONTROL - SHOULD EXCESSIVE DUST BE GENERATED, THE CONTRACTOR MUST PROMPTLY USE AND APPLY WATER TO BARE SOIL SURFACES TO ELIMINATE, OR IF NOT POSSIBLE, MINIMIZE, BLOWING DUST.
 - DEWATERING - THE CONTRACTOR MUST PERFORM DEWATERING IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS AND APPROVED PERMITS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY THE COSTS ASSOCIATED WITH ANY AND ALL NECESSARY DISCHARGE PERMITS ASSOCIATED WITH SAME.
 - CONSTRUCTION WASTE MATERIAL STORAGE - THE CONTRACTOR MUST LOCATE CONSTRUCTION WASTE MATERIAL STORAGE AREAS TO MINIMIZE EXPOSURE TO STORMWATER. CONTRACTOR MUST IMMEDIATELY PLACE CONSTRUCTION WASTE IN ON-SITE STORAGE CONTAINERS UNTIL THAT CONSTRUCTION WASTE IS READY FOR OFF-SITE DISPOSAL. CONTRACTOR MUST MAINTAIN SPILL PREVENTION & RESPONSE EQUIPMENT AND MAKE SAME CONTINUOUSLY AVAILABLE ON-SITE FOR USE BY CONTRACTOR'S EMPLOYEES WHO MUST BE PROPERLY TRAINED IN THE APPLICATION OF SPILL PREVENTION & RESPONSE PROCEDURES.
 - THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. CONTRACTOR MUST IMMEDIATELY CLEAR ANY SILT GREATER THAN 6" BEHIND THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION.
 - THE TERM 'PERMANENT STABILIZATION' USED THROUGHOUT THIS SEQUENCE IS MEANT TO DESCRIBE THE PROPER PLACING, GRADING, CONSTRUCTING, REINFORCING, LINING, AND COVERING OF SOIL, ROCK, OR EARTH TO ENSURE THEIR PERMANENT RESISTANCE TO EROSION, SLIDING OR OTHER MOVEMENT. FOR AN EARTH DISTURBANCE TO BE PERMANENTLY STABILIZED, THE DISTURBED AREA SHALL BE COVERED WITH ONE OF THE FOLLOWING: A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION; OR AN ACCEPTABLE BMP THAT PERMANENTLY MINIMIZES ACCELERATED EROSION AND SEDIMENTATION.
 - BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED E&S CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE CONSERVATION DISTRICT. THE OPERATOR SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
 - THE CONTRACTOR MUST APPLY TEMPORARY SEED AND MULCH TO ALL DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
 - AS SOON AS SLOPES, CHANNELS, DITCHES, AND OTHER DISTURBED AREAS REACH FINAL GRADE, THEY MUST BE STABILIZED. WHEN FINAL GRADE IS ACHIEVED DURING NON-GERMINATING MONTHS, THE AREA SHOULD BE MULCHED UNTIL THE BEGINNING OF THE NEXT PLANTING SEASON. AS DISTURBED AREAS WITHIN A PROJECT APPROACH FINAL GRADE, PREPARATIONS SHOULD BE MADE FOR SEEDING AND MULCHING TO BEGIN (I.E., ANTICIPATE THE COMPLETION DATE AND SCHEDULE THE SEEDER). IN NO CASE SHOULD AN AREA EXCEEDING 15,000 SQUARE FEET, WHICH IS TO BE STABILIZED BY VEGETATION, REACH FINAL GRADE WITHOUT BEING SEEDED AND MULCHED. WAITING UNTIL EARTHMOVING IS COMPLETED BEFORE MAKING PREPARATIONS FOR SEEDING AND MULCHING IS NOT ACCEPTABLE. SEEDING AND MULCHING REQUIREMENTS ARE SPECIFIED HEREIN.
 - ONCE AREAS HAVE REACHED PERMANENT STABILIZATION AND PRIOR TO DEMOBILIZATION, THE CONTRACTOR MUST REMOVE ALL TEMPORARY EROSION CONTROL MEASURES, AND ANY ACCUMULATED SILT OR DEBRIS.
 - THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT.
 - A SITE CONSTRUCTION SEQUENCE IS PROVIDED AS A GUIDE FOR THE CONTRACTOR DURING CONSTRUCTION. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR MUST REVIEW THE SEQUENCE, AND ANY REQUESTED CHANGES AND THOSE REQUESTED CHANGES MUST BE REVIEWED AND APPROVED BY THE JURISDICTIONAL AGENCY.
 - THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN AND CONTRACTOR MUST REFER TO THEM. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
 - INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.
 - CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF ENGINEER OR JURISDICTIONAL AGENCY SO REQUIRES, TO PREVENT THE DISCHARGE OF SEDIMENT LADEN RUNOFF FROM EXITING THE SITE.
 - THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT STABILIZATION IS ESTABLISHED UNLESS INDICATED OTHERWISE IN LOCAL, STATE AND/OR FEDERAL PROJECT APPROVALS. THE COST OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS.

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ROCKINGHAM, MA 01772
Phone: (508) 480-9900
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SITE DEVELOPMENT PLANS

FOR



92 CLUFF CROSSING ROAD
ROCKINGHAM COUNTY
SALEM, NH
ASSESSOR'S MAP 117, LOT 7880

FOR PROFESSIONAL SEAL



RECORD OWNER
MAP 117, LOT 7880
92 CLUFF CROSSING ROAD
N/F ROCKINGHAM 620, INC.
C/O KIMCO REALTY CORP.
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SALEM PLANNING BOARD
APPROVAL

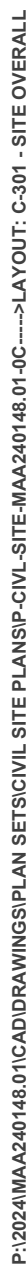
ZONING CLASSIFICATION
COMMERCIAL - INDUSTRIAL DISTRICT SUB-DISTRICT (CI-C)

SHEET TITLE:

GENERAL NOTES AND LEGEND

SHEET NUMBER:

C-103



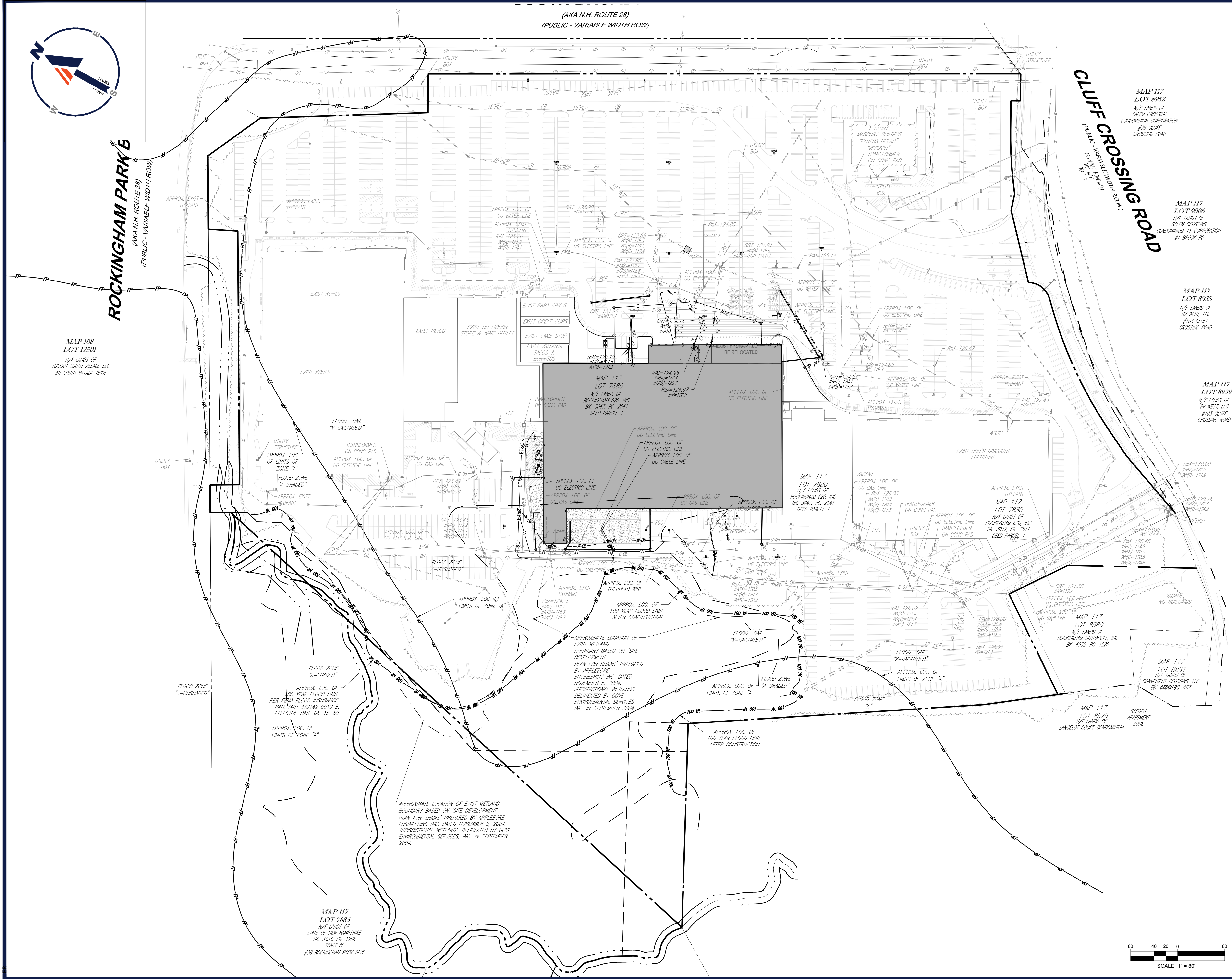
P:\2024\MAA240148.01\CADD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\IP-CIVL-SITE-MAA240148.01-0C----->LAYOUT-C-301 - SITE OVERALL

CLASSIFICATION
AL - INDUSTRIAL DISTRICT SUB-DISTRICT (CI-C)

SHEET NUMBER:
C-301

<h2 style="margin: 0;">ZONING ZONE TABLE</h2>				
ZONE: COMMERCIAL / INDUSTRIAL DISTRICT, SUBDISTRICT C (C-IC) PROPOSED USE: RETAIL STORE (PERMITTED BY-RIGHT) MAP: 117 LOT: 7880				
<h3 style="margin: 0;">APPLICANT / OWNER INFORMATION</h3>				
APPLICANT: PROPERTY OWNER:	<div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> B.J'S WHOLESALE CLUB, INC. 350 CAMPUS DRIVE MARLBOROUGH, MA 01752 </div> <div style="width: 45%;"> ROCKINGHAM 620 INC. C/O KIMCO REALTY CORP P.O. BOX 9910 JERICHO, NY 11753-9910 </div> </div>			
<h3 style="margin: 0;">BULK REQUIREMENTS</h3>				
ITEM	CODE	PERMITTED	EXISTING	PROPOSED
MIN LOT AREA (SF)	\$490 ATTACHMENT 2	NO REQUIREMENT	1,676,393± SF	NO CHANGE
MIN FRONTAGE (FT)	\$490 ATTACHMENT 2	NO REQUIREMENT	---	NO CHANGE
MIN LOT WIDTH (FT)	\$490 ATTACHMENT 2	NO REQUIREMENT	---	NO CHANGE
FRONT YARD BUILDING SETBACK (FT) - ROCKINGHAM PARK BLVD	\$490 ATTACHMENT 2	30 FT	40 FT	NO CHANGE
FRONT YARD BUILDING SETBACK (FT) - SOUTH BROADWAY	\$490 ATTACHMENT 2	30 FT	85 FT	NO CHANGE
FRONT YARD BUILDING SETBACK (FT) - CLUFF CROSSING ROAD	\$490 ATTACHMENT 2	30 FT	80 FT	NO CHANGE
SIDE YARD BUILDING SETBACK (FT)	\$490 ATTACHMENT 2	20 FT	63 FT	NO CHANGE
MAX BUILDING HEIGHT	\$490 ATTACHMENT 2	35 FT, 45 FT OR 3 STORIES	N/A	<45 FT
MAX LOT COVERAGE	\$490 ATTACHMENT 2	70.0%	61.8% ±	61.6% ±
MIN. STRUCTURE BUFFER TO WETLAND	\$490-706	40-FT	54.7± FT	51.1± FT
MIN. PAVEMENT BUFFER TO WETLAND	\$490-706	20-FT	20.2± FT	NO CHANGE

<h1 style="margin: 0;">SITE DEVELOPMENT PLANS</h1> <hr style="width: 50%; margin: 10px auto;"/> <div style="text-align: center; font-weight: bold; font-size: 1.2em;">FOR _____</div> <div style="text-align: center; margin-top: 20px;">  </div> <p style="text-align: center; margin-top: 20px;">92 CLUFF CROSSING ROAD ROCKINGHAM COUNTY SALEM, NH ASSESSOR'S MAP 117, LOT 7880</p>	
<p>FOR PROFESSIONAL SEAL</p> <div style="text-align: center; margin-top: 20px;">  </div>	<div style="border: 1px solid black; padding: 5px; margin-bottom: 5px;"> <p>RECORD OWNER MAP 117, LOT 7880 92 CLUFF CROSSING ROAD N/F ROCKINGHAM 620, INC. c/o KIMCO REALTY CORP. BK. 3047, PG. 2541 P.O. BOX 9010 JERICHO, NY 11753-8910</p> </div> <div style="border: 1px solid black; padding: 5px;"> <p>SALEM PLANNING BOARD APPROVAL</p> </div>
<p>REGISTERED PROFESSIONAL ENGINEER</p>	<div style="border: 1px solid black; padding: 5px;"> <p>ZONING CLASSIFICATION COMMERCIAL - INDUSTRIAL DISTRICT SUB-DISTRICT (CI-C)</p> </div>
<p>SHEET TITLE:</p> <div style="text-align: center; margin-top: 20px; font-size: 1.5em; font-weight: bold;">OVERALL SITE PLAN</div>	<p>SHEET NUMBER:</p> <div style="text-align: center; margin-top: 20px; font-size: 2em; font-weight: bold;">C-301</div>



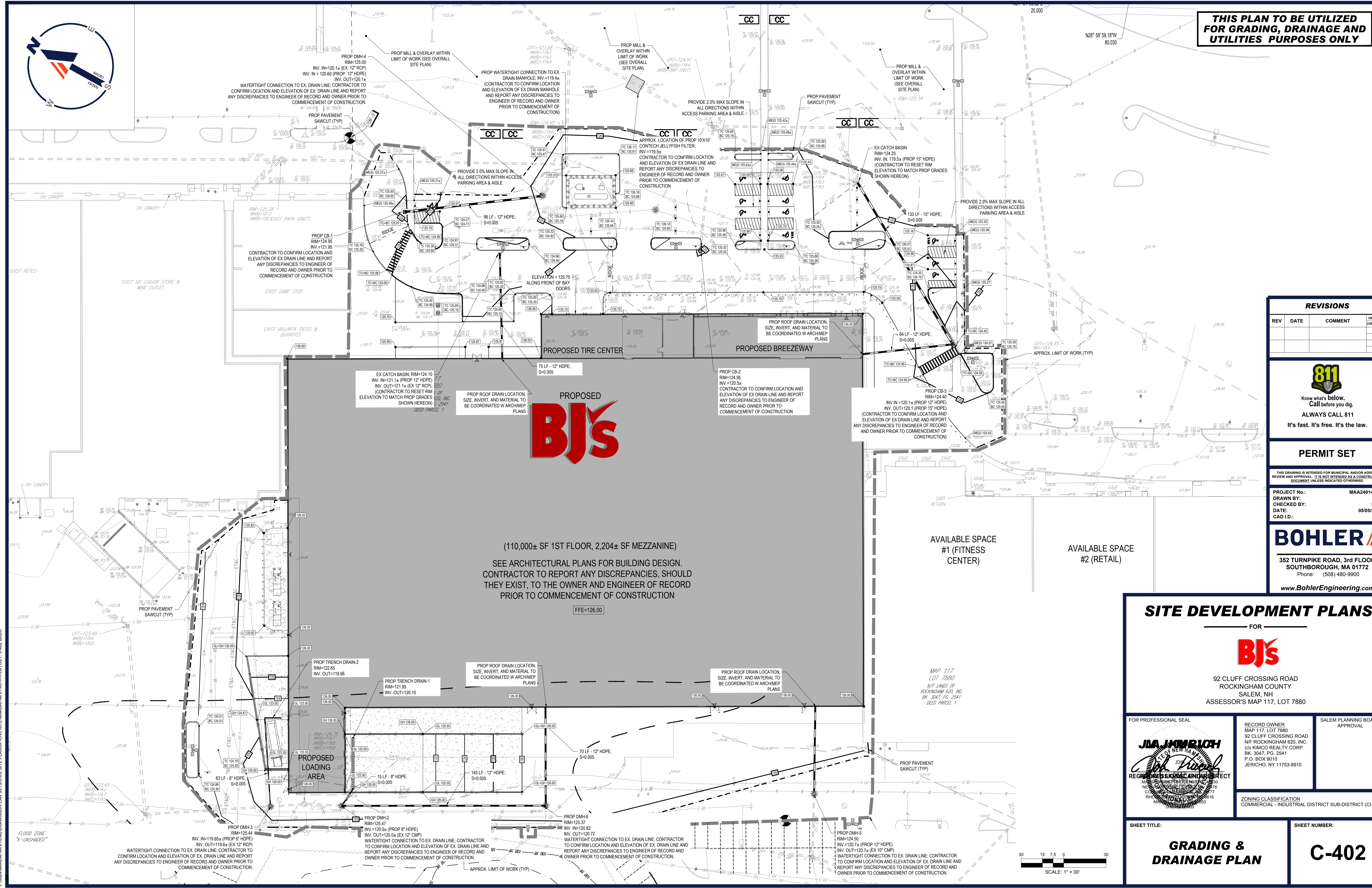
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SITE DEVELOPMENT PLANS		
FOR		
BJ's		
92 CLUFF CROSSING ROAD ROCKINGHAM COUNTY SALEM, NH ASSESSOR'S MAP 117, LOT 7880		
FOR PROFESSIONAL SEAL	RECORD OWNER	SALEM PLANNING BOARD
	MAP 117, LOT 7880 92 CLUFF CROSSING ROAD N/F ROCKINGHAM 620, INC. C/O KIMCO REALTY CORP. BK. 3047, PG. 2541 P.O. BOX 9010 JERICHO, NY 11753-8910	APPROVAL
SHEET TITLE:		ZONING CLASSIFICATION COMMERCIAL - INDUSTRIAL DISTRICT SUB-DISTRICT (CI-C)
SHEET NUMBER:		



THIS PLAN TO BE UTILIZED
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UTILITIES PURPOSES ONLY

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PROJECT No.: MAA240148.01
DRAWN BY: OEH
CHECKED BY: MFB
DATE: 05/05/2025
CAD I.D.: ---

BOHLER

352 TURNPIKE ROAD, 3rd FLOOR
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

www.BohlerEngineering.com

SITE DEVELOPMENT PLANS

FOR



92 CLUFF CROSSING ROAD
ROCKINGHAM COUNTY
SALEM, NH
ASSESSOR'S MAP 117, LOT 7880

FOR PROFESSIONAL SEAL



RECORD OWNER
MAP 117, LOT 7880
92 CLUFF CROSSING ROAD
N/F ROCKINGHAM 620, INC.
C/O KIMCO REALTY CORP.
BK. 3047, PG. 2541
P.O. BOX 9010
JERICHO, NY 11753-8910

SALEM PLANNING BOARD
APPROVAL

ZONING CLASSIFICATION
COMMERCIAL - INDUSTRIAL DISTRICT SUB-DISTRICT (CI-C)

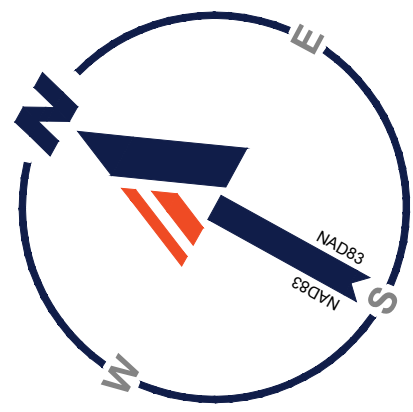
SHEET TITLE:

**GRADING &
DRAINAGE PLAN**

SHEET NUMBER:

C-402

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**THIS PLAN TO BE UTILIZED
FOR UTILITIES PURPOSES
ONLY**

**TOWN OF SALEM FIRE DEPARTMENT
NOTES FOR PROPOSED BUILDINGS OVER
10,000 SF (NEW OR CHANGE OF USE AS
CLASSIFIED BY NFPA 101):**

1. A FIRE ALARM SYSTEM WILL BE INSTALLED THROUGHOUT THE BUILDING IN ACCORDANCE WITH NFPA 72 AND SALEM FIRE DEPARTMENT RULES AND REGULATIONS.
2. A SPRINKLER SYSTEM WILL BE INSTALLED THROUGHOUT THE BUILDING IN ACCORDANCE WITH NFPA 13 AND SALEM FIRE DEPARTMENT RULES AND REGULATIONS.
3. APPROVED/ADEQUATE WATER SUPPLY SHALL BE PROVIDED TO MEET THE FIRE FLOW REQUIREMENTS AS OUTLINED IN THE INTERNATIONAL FIRE CODE AND NFPA 1 UNIFORM FIRE CODE.
4. A FIRE HYDRANT WILL BE INSTALLED WITHIN 100 FEET OF THE FIRE DEPARTMENT SPRINKLER CONNECTION IN ACCORDANCE WITH SALEM FIRE DEPARTMENT AND UTILITIES DEPARTMENT RULES AND REGULATIONS.
5. A THIRD PARTY REVIEW AT THE OWNER/APPLICANT'S EXPENSE MAY BE REQUIRED. COST OF THE REVIEW TO BE BORNE BY OWNER/APPLICANT.

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



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PROJECT No.: MAA240148.01
DRAWN BY: OEH
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SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

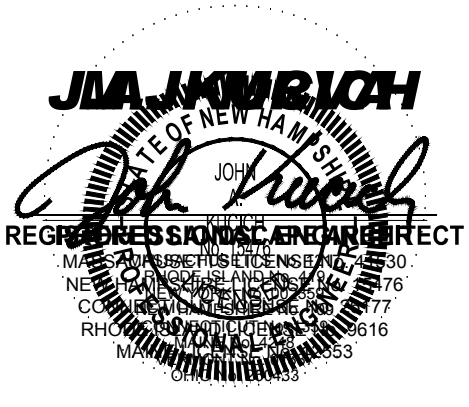
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SITE DEVELOPMENT PLANS



92 CLUFF CROSSING ROAD
ROCKINGHAM COUNTY
SALEM, NH
ASSESSOR'S MAP 117, LOT 7880

FOR PROFESSIONAL SEAL



RECORD OWNER
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SALEM PLANNING BOARD
APPROVAL

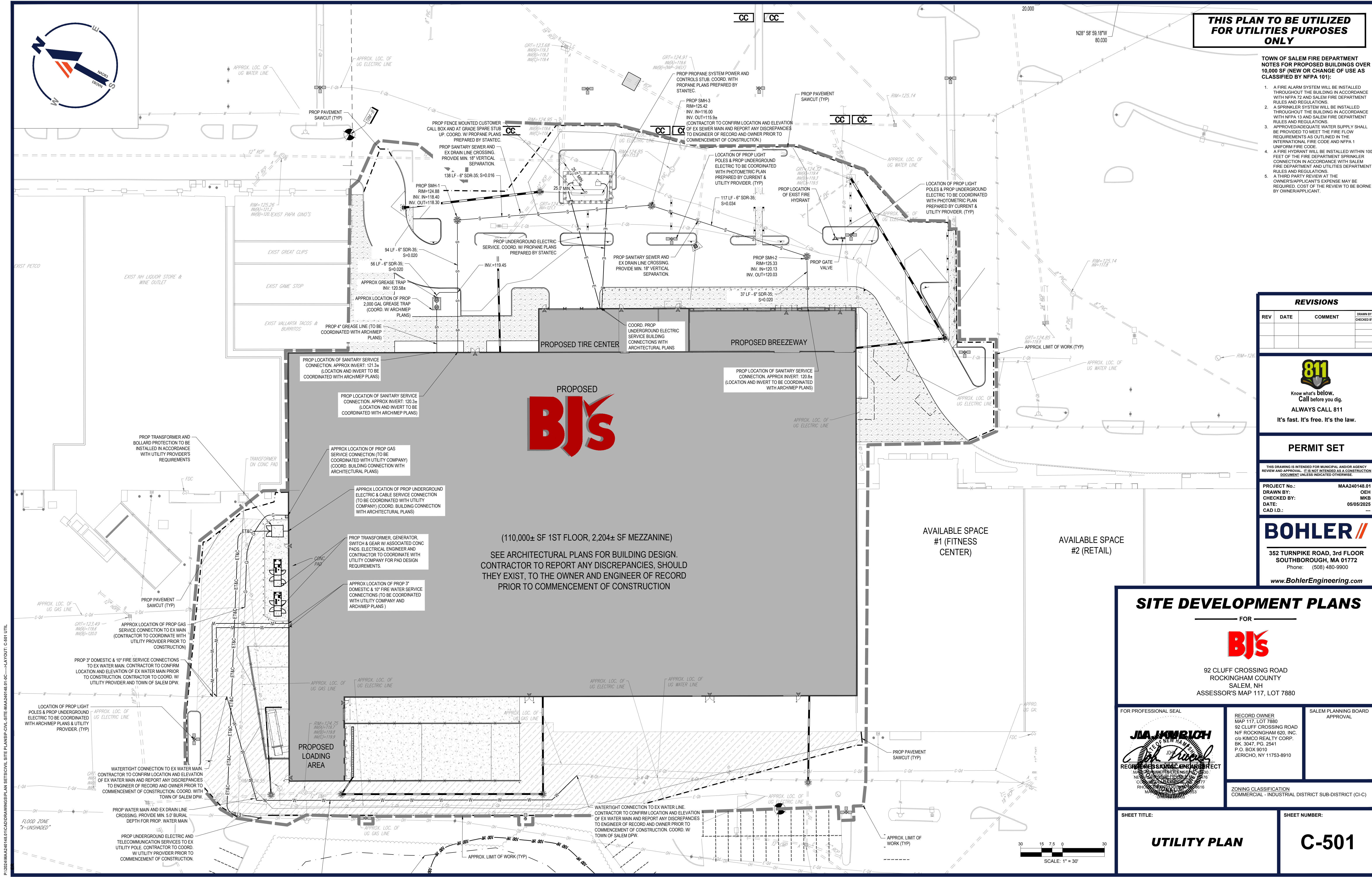
ZONING CLASSIFICATION
COMMERCIAL - INDUSTRIAL DISTRICT SUB-DISTRICT (CI-C)

SHEET TITLE:

UTILITY PLAN

SHEET NUMBER:

C-501



P:\2024\MAA240148.01\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLAN\SP-CIVL SITE MAA240148.01.dwg - LAYOUT: C-501 UTIL

1. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
2. THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME PERIOD AND BE PERMANENTLY STABILIZED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REQUIREMENTS. AT A MINIMUM, AREAS SHALL BE PERMANENTLY STABILIZED ACCORDING TO THE CURRENT EDITION OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), OR IN THE ABSENCE OF A SWPPP, THEY SHALL BE PERMANENTLY STABILIZED WITHIN 14 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBED AREA IS THE BED OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
3. SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 8%.
4. INSTALL SILTATION BARRIER AT TIE POINT TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
5. ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SEVERABLE DUE TO SEDIMENT ACCUMULATION.
6. DEPOSITED SEDIMENT SHALL BE REMOVED AFTER EACH STORM EVENT. THE DEPOSITED SEDIMENT SHALL BE REMOVED BEFORE DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE PERMANENTLY STABILIZED. FOR SEDIMENT CONTROL DEVICES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE DEVICES SHALL REMAIN IN PLACE THROUGH THE SEEDING PERIOD.
7. NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1) UNLESS OTHERWISE INDICATED ON THE PLANS. SLOPE PROTECTION FOR SLOPES GREATER THAN 2:1 SHALL BE DESIGNED BY A GEOTECHNICAL ENGINEER.
8. IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
9. TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
10. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL STANDARDS.
11. REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - a. SIX INCHES, OR DEPTH SPECIFIED ON THE LANDSCAPE PLAN, OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED WITH A RAKE OR GRADER.
 - b. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - c. FALLOW SEED BEDS PREPARED FOR DITCHES AND BACK SLOPES WILL BE SEEDDED TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE-GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN. QUALITY SOD MAY BE SUBSTITUTED FOR SEED WHERE SLOPES DO NOT EXCEED 2:1, SOD ON SLOPES STEEPER THAN 3:1, AND 1.03 LBS PER 1,000 SF LAWN.
 - d. STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
12. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS 70% STABILIZED. FOR EROSION CONTROL MEASURES THAT ARE WITHIN AREAS SUBJECT TO CONSERVATION COMMISSION JURISDICTION, THE MEASURES SHALL REMAIN IN PLACE AND BE REMOVED IN ACCORDANCE WITH THE ORDINANCE OF CONDITION.
13. WETLANDS WILL BE PROTECTED WITH BARRIERS CONSISTING OF STRAW BALES, COMPOST TUBES, SILT FENCE OR A COMBINATION THEREOF.
14. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
15. ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

* A HYDRO-APPLICATION OF WOOD OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE NON-TOXIC BINDER SHALL BE USED TO ADDITIONAL WIND CONTROL.

* MULCH ANCHORING: ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LBS/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK. WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

a) TEMPORARY SEDIMENT TRAPS SHALL BE SIZED PER THE CURRENT EDITION OF THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" AND PROVIDE A MINIMUM OF 1,800 CF PER ACRE OF TRIBUTARY AREA WITH A MAXIMUM TRIBUTARY AREA OF 5 ACRES, MAINTAIN A 2:1 LENGTH TO WIDTH RATIO, AND NOT EXCEED 5 FT IN HEIGHT. UPON SITE STABILIZATION, ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE TEMPORARY SEDIMENT TRAP EXCAVATED TO 10 FOOT BELOW THE TRAP. THE AREA SHALL THEN BE SCARIFIED TO PREVENT COMPACTION AND PROMOTE INFILTRATION, AND GRADED AND STABILIZED IN ACCORDANCE WITH THE GRADING AND LANDSCAPE PLANS.

26. MULCHING REQUIREMENTS:
- a) BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBRE
- b) MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
- c) MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15%. AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
27. A MULCH AREA SHALL BE STABILIZED IN ACCORDANCE WITH THE STORMWATER PREVENTION PLAN
28. DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.

1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH ALL OF THE GENERAL NOTES. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES, AND ALL OF THE PLANS' SPECIFIC NOTES.
2. EROSION CONTROL MEASURES MUST CONFORM TO THE STATE, LOCAL, AND FEDERAL GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL UNLESS OTHERWISE NOTED, OR UNLESS THE PROFESSIONAL OF RECORD CLEARLY AND SPECIFICALLY, IN WRITING, DIRECTS OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL, CLEARING, AND SITE WORK MUST BE PERFORMED EXACTLY AS INDICATED IN THE EROSION CONTROL CONSTRUCTION NOTES.
3. THE DISTURBED LAND AREA OF THIS SITE IS APPROXIMATELY 5.10 ACRES.
4. THE FOLLOWING EROSION CONTROL MEASURES ARE PROPOSED FOR THIS SITE:
 - a) STABILIZED CONSTRUCTION ENTRANCE/ EXIT - A TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT IS TO BE INSTALLED AT THE DESIGNATED LOCATION SHOWN ON THE PLAN. THIS AREA MUST BE GRADED SO THAT RUNOFF WATER WILL BE RETAINED ON-SITE.
 - b) SEDIMENT FENCE - INSTALL SILT FENCE(S) AND/OR SILT SOCK AROUND INLET OF THE DOWNSLOPE PERIMETERS OF THE SITE, TEMPORARY FILL AND STOCK STOCKPILES.
 - c) INSURE PROPER FILTER FABRIC OR PROTECTION AROUND EACH DRAINAGE INLET AS DRAINAGE STRUCTURES ARE INSTALLED TO REDUCE THE QUANTITY OF SEDIMENT. INSTALL TEMPORARY INLET PROTECTION ON INLETS DOWNSLOPE FROM DISTURBANCE, WHICH MAY BE BEYOND THE LIMITS OF DISTURBED AREA.
 - d) INSTALLATION OF EROSION CONTROL DEVICES MUST BE IN ACCORDANCE WITH ALL OF THE MANUFACTURER'S RECOMMENDATIONS.
5. THE CONTRACTOR MUST INSPECT EROSION CONTROL MEASURES WEEKLY. THE CONTRACTOR MUST REMOVE ANY SILT DEPOSITS GREATER THAN 6 INCHES OR HALF THE EROSION CONTROL BARRIER'S HEIGHT COLLECTED ON THE FILTER FABRIC AND/OR SILT SOCK BARRIERS AND EXCAVATE AND REMOVE ANY SILT FROM DROP INLET PROTECTION.
6. THE CONTRACTOR MUST APPLY MULCH TO ALL EXPOSED AREAS THAT WILL NOT BE BROUGHT TO FINISHED GRADE AND VEGETATED WITHIN 7 DAYS. WHEN AREAS ARE DISTURBED AFTER THE GROWING SEASON, THE CONTRACTOR MUST STABILIZE SAME WITH GEOTEXTILE FABRIC AND MAINTAIN SAME IN STRICT ACCORDANCE WITH BEST MANAGEMENT PRACTICES.
7. THE CONTRACTOR MUST INSTALL ADDITIONAL EROSION CONTROL MEASURES IF THE PROFESSIONAL OF RECORD SO REQUIRES, TO PREVENT ANY, INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
8. THE CONTRACTOR MUST BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL EROSION CONTROL MEASURES ON THE SITE UNTIL PERMANENT PAVING AND TURF/LANDSCAPING IS ESTABLISHED. THE COSTS OF INSTALLING AND MAINTAINING THE EROSION CONTROL MEASURES MUST BE INCLUDED IN THE BID PRICE FOR THE SITE WORK AND THE CONTRACTOR IS RESPONSIBLE FOR ALL SUCH COSTS.
9. THE CONTRACTOR MUST CONTINUE TO MAINTAIN ALL EROSION CONTROL MEASURES UNTIL THE COMPLETION OF CONSTRUCTION AND THE ESTABLISHMENT OF VEGETATION.
10. THE CONTRACTOR MUST REMOVE ALL EROSION CONTROL MEASURES, SILT AND DEBRIS AFTER ESTABLISHING PERMANENT VEGETATION COVER OR OTHER INSTALLING A DIFFERENT, SPECIFIED METHOD OF STABILIZATION.
11. THIS PLAN REPRESENTS THE MINIMUM LEVEL OF IMPLEMENTATION OF TEMPORARY EROSION AND SEDIMENTATION CONTROL FACILITIES, MEASURES AND STRUCTURES. ADDITIONAL FACILITIES, MEASURES AND STRUCTURES MUST BE INSTALLED WHERE NECESSARY TO MEET OR EXCEED ALL APPLICABLE DESIGN AND INSTALLATION STANDARDS AND/OR TO PREVENT ANY, INCLUDING THE INCIDENTAL, DISCHARGE OF SILT-LADEN RUNOFF FROM EXITING THE SITE.
12. THE CONTRACTOR MUST PROTECT ALL EXISTING TREES AND SHRUBS. THE CONTRACTOR MUST REFER TO THE LANDSCAPE AND/OR DEMOLITION PLANS(S) FOR TREE PROTECTION, FENCE LOCATIONS AND DETAILS.
13. THE CONTRACTOR MUST REFER TO GRADING PLANS FOR ADDITIONAL INFORMATION.
14. THE CONTRACTOR MUST CLEAN EXISTING AND PROPOSED DRAINAGE STRUCTURES AND INTERCONNECTING PIPES ON OR OFF-SITE AS THE JURISDICTIONAL AGENCY REQUIRES, BOTH AT THE TIME OF SITE STABILIZATION AND AT END OF PROJECT.
15. SOIL EROSION CONTROL MEASURES MUST BE ADJUSTED OR RELOCATED BY THE CONTRACTOR AS IDENTIFIED DURING SITE WORK IN ORDER TO MAINTAIN THE EROSION CONTROL MEASURES.
16. THE CONTRACTOR MUST IDENTIFY, ON THE PLAN, THE LOCATION OF WASTE CONTAINERS, FUEL STORAGE TANKS, CONCRETE WASHOUT AREAS AND ANY OTHER LOCATIONS WHERE HAZARDOUS MATERIALS ARE STORED.

- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)
- INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN)
- DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)
- DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
- CLEARING AND GRUBBING
- INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- INSTALLATION OF INLET PROTECTION OF ON-SITE UTILITIES (AS SHOWN)
- CONSTRUCTION OF BUILDINGS
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 8" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
- REMOVAL OF THE TEMPORARY SEDIMENT BASINS
- PAVE PARKING LOT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER

MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE		
PROPERTIES	TEST METHOD	UNITS
GRAB TENSILE STRENGTH	ASTM D-4632	265 LBS
GRAB TENSILE ELONGATION	ASTM D-4632	20%
PUNCTURE	ASTM D-4833	135 LBS
LINE BURST	ASTM D-3786	420 PSI
TRAPEZOID TEAR	ASTM D-4533	200 LBS
UV RESISTANCE	ASTM D-3355	90%
APPARENT OPENING SIZE	ASTM D-4751	20 US SIEVE
FLOW RATE	ASTM D-4491	200 GAL/MIN/SQ FT
PERMITTIVITY	ASTM D-4491	1.5 SEC ⁻¹

NOT TO SCALE



— EXISTING GROUND

IC

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_____ FOR _____

MAP 117, LOT 7880
92 CLUFF CROSSING ROAD

TEOPHIL CAMPBELL
BR. 3047, PG. 2541
P.O. BOX 9010

MASSACHUSETTS LICENSE NO. 4130

ZONING CLASSIFICATION
COMMERCIAL - INDUSTRIAL DISTRICT SUB-DISTRICT (CI-

TITLE:

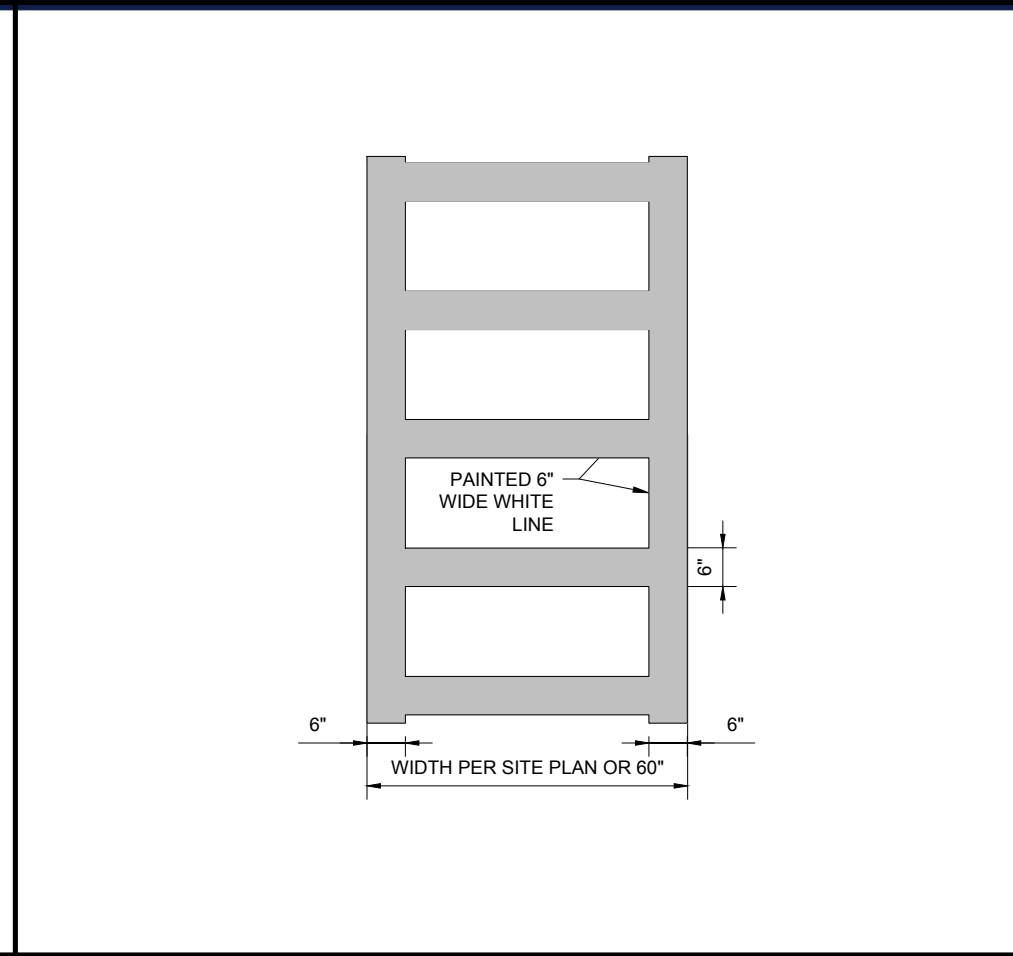
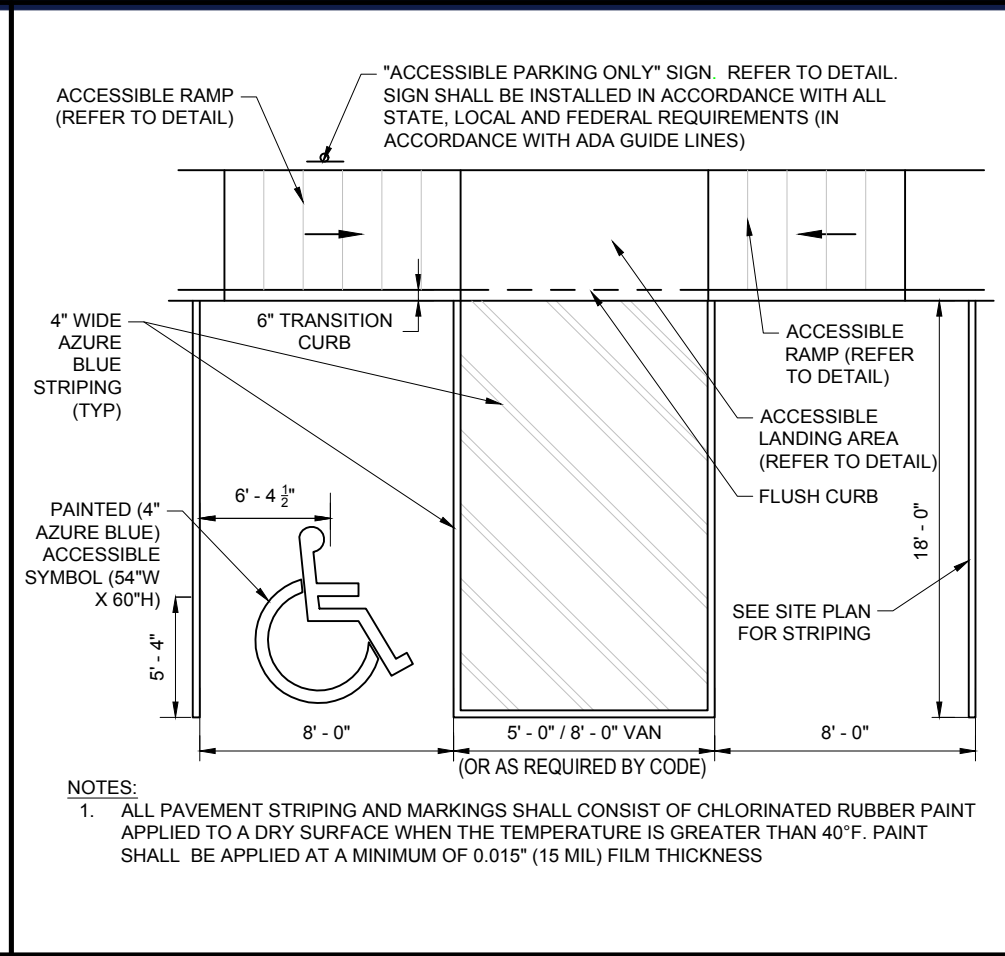
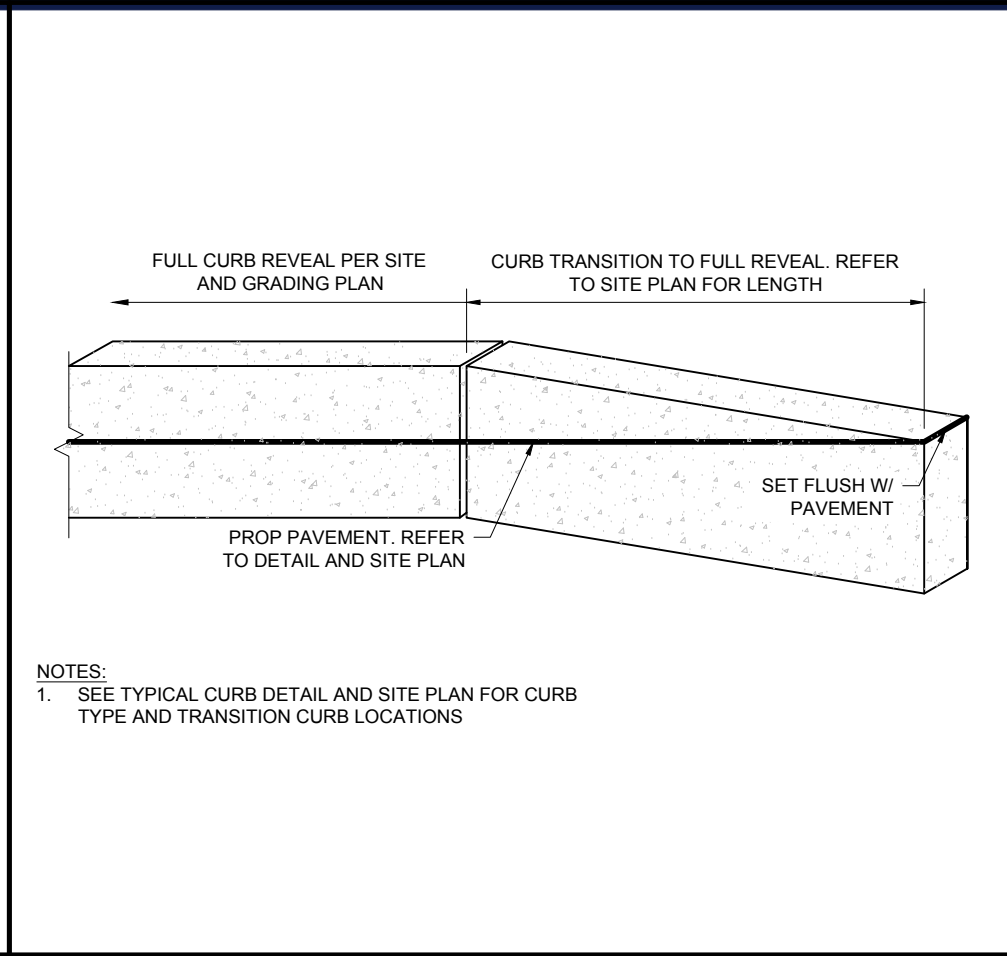
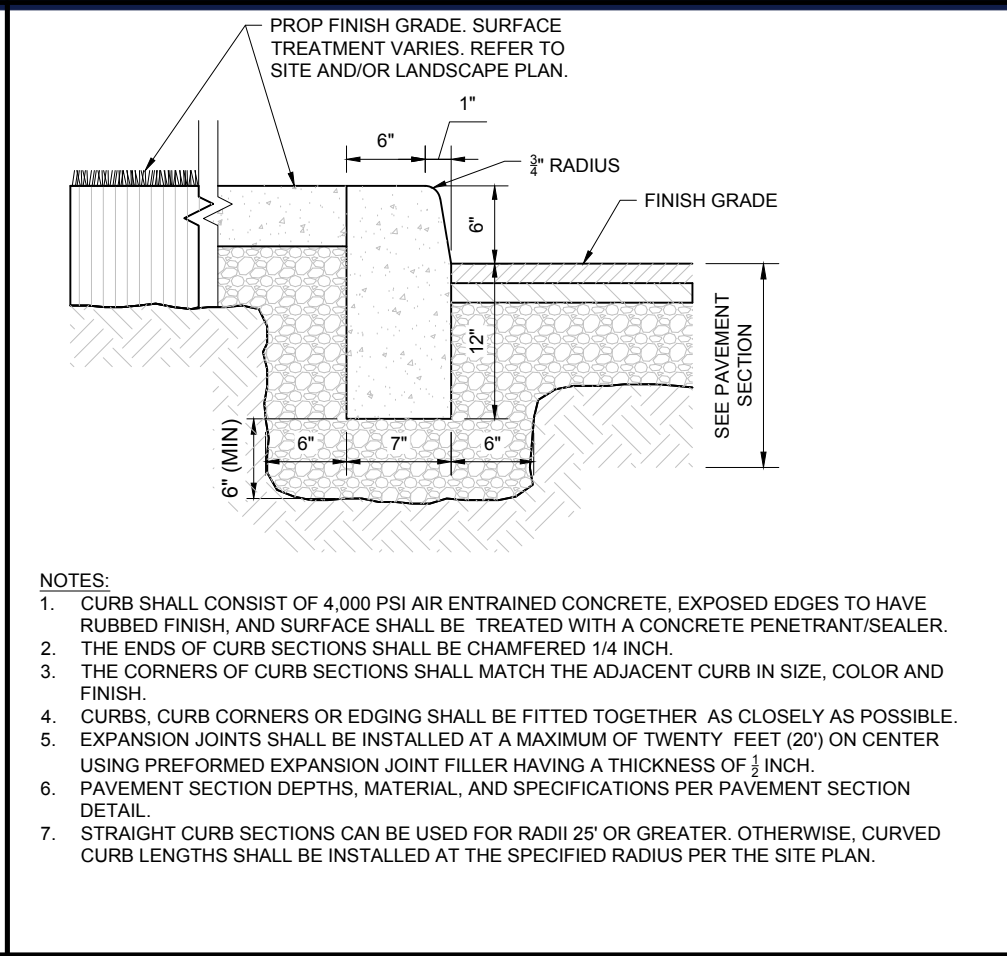
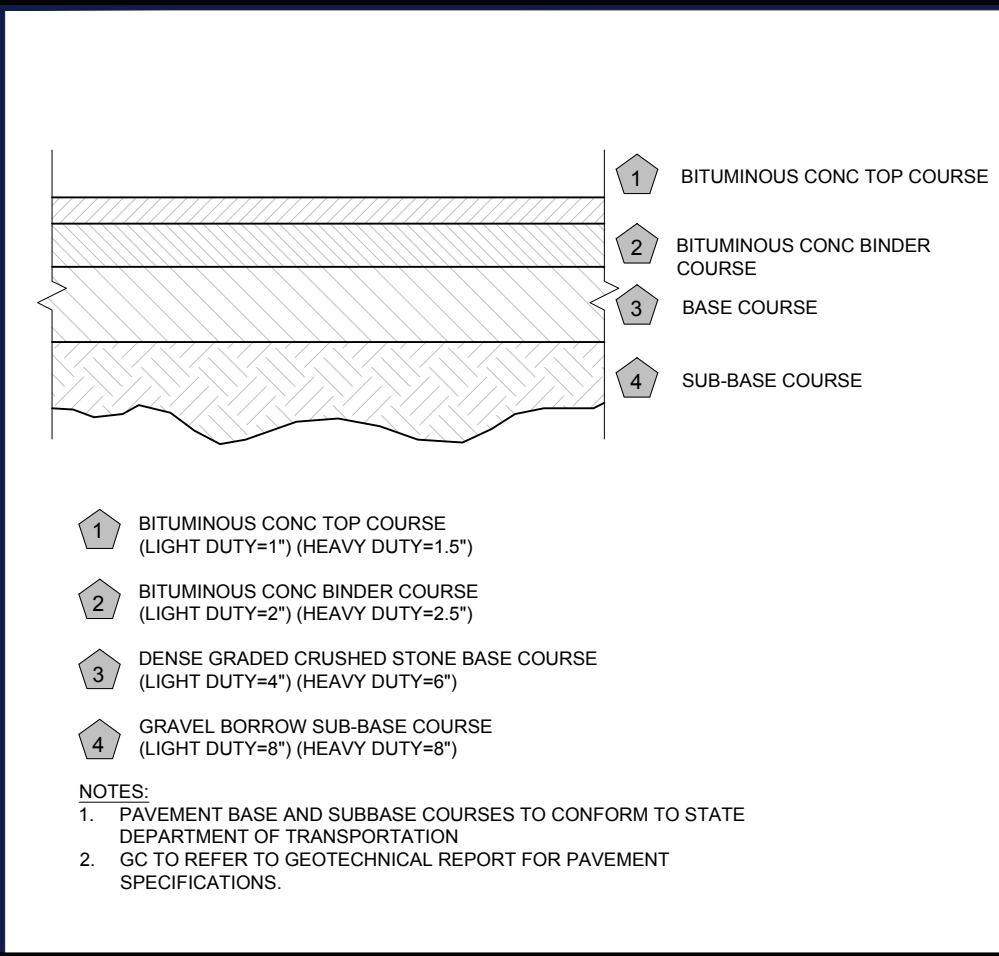
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CONTROL NOTES & C-802

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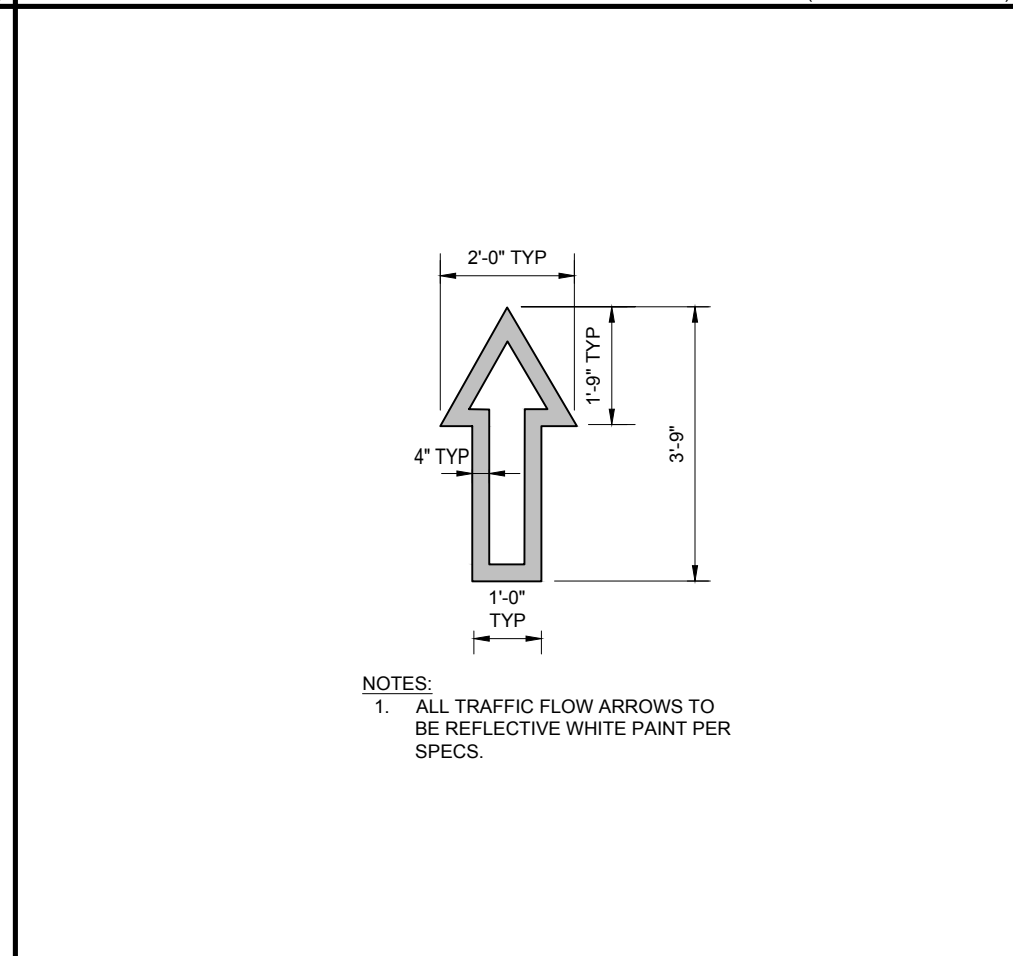
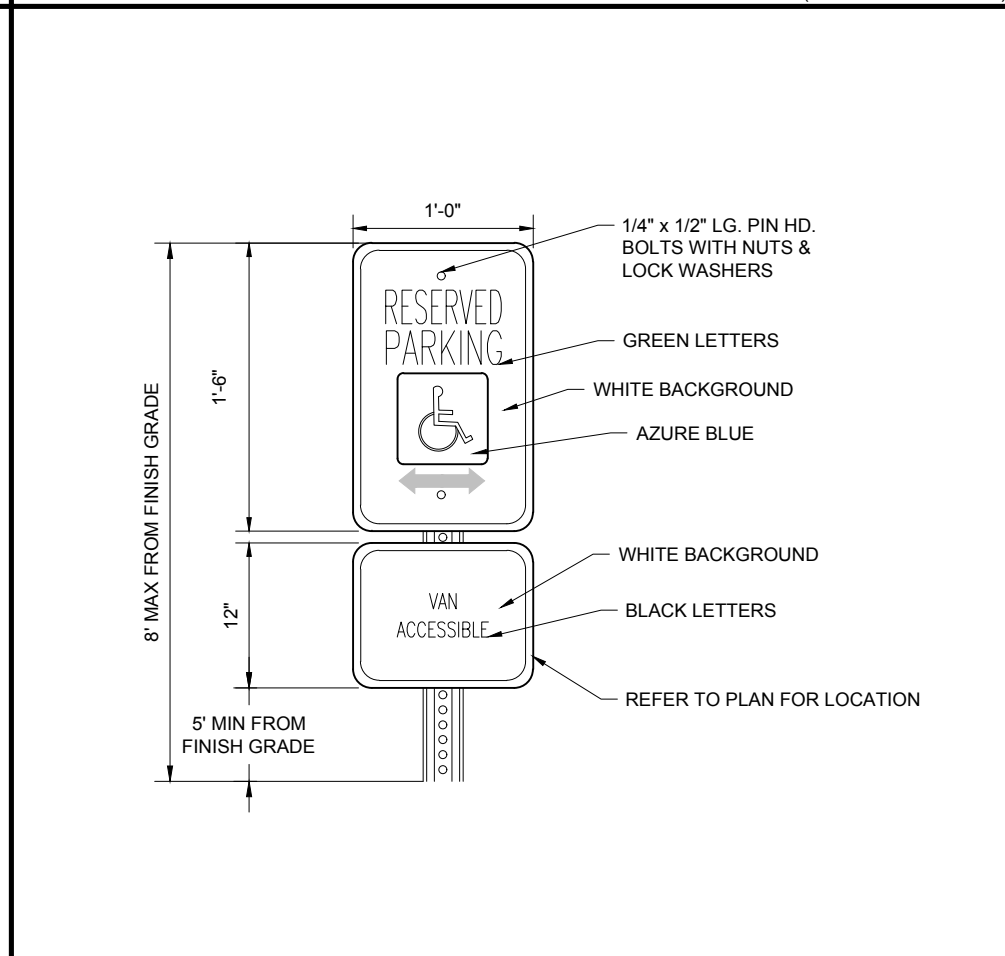
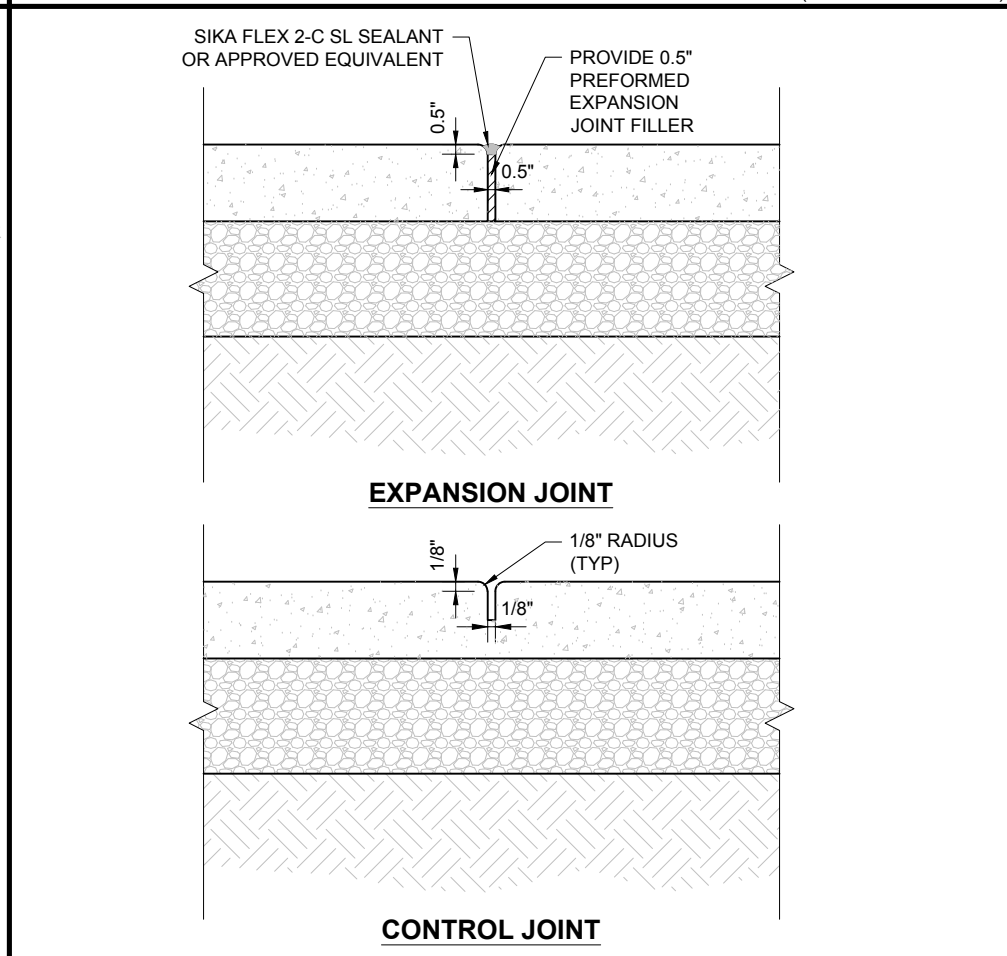
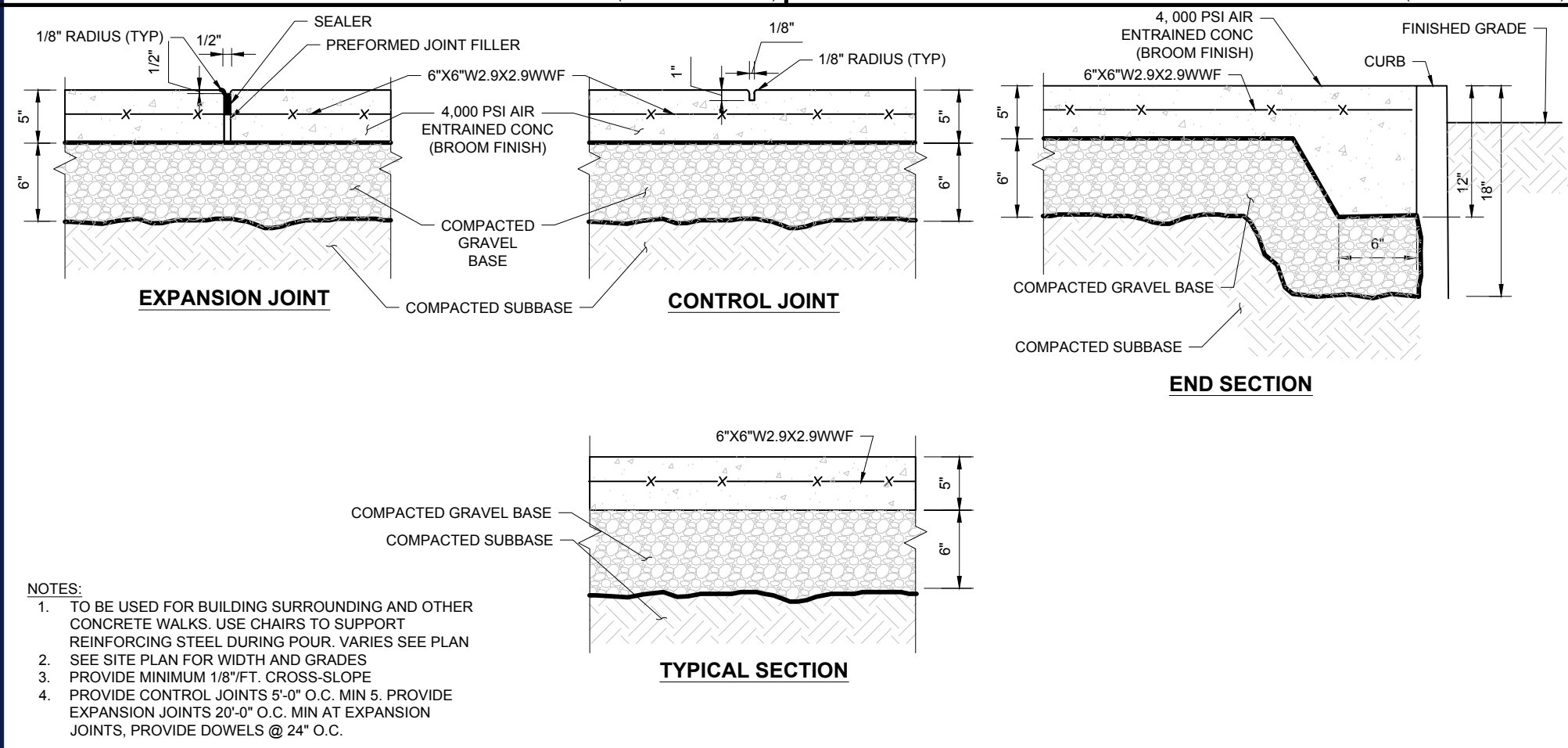
PAVEMENT SECTION
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PRECAST CONCRETE CURB
NOT TO SCALE (NE-S020201 - 10/2024)

PRECAST CONCRETE TRANSITION CURB
NOT TO SCALE (NE-S020206 - 09/2023)

ACCESSIBLE PARKING STALL
NOT TO SCALE (NE-S050101 - 10/2024)

CROSSWALK LADDER
NOT TO SCALE (NE-S050401 - 07/2024)

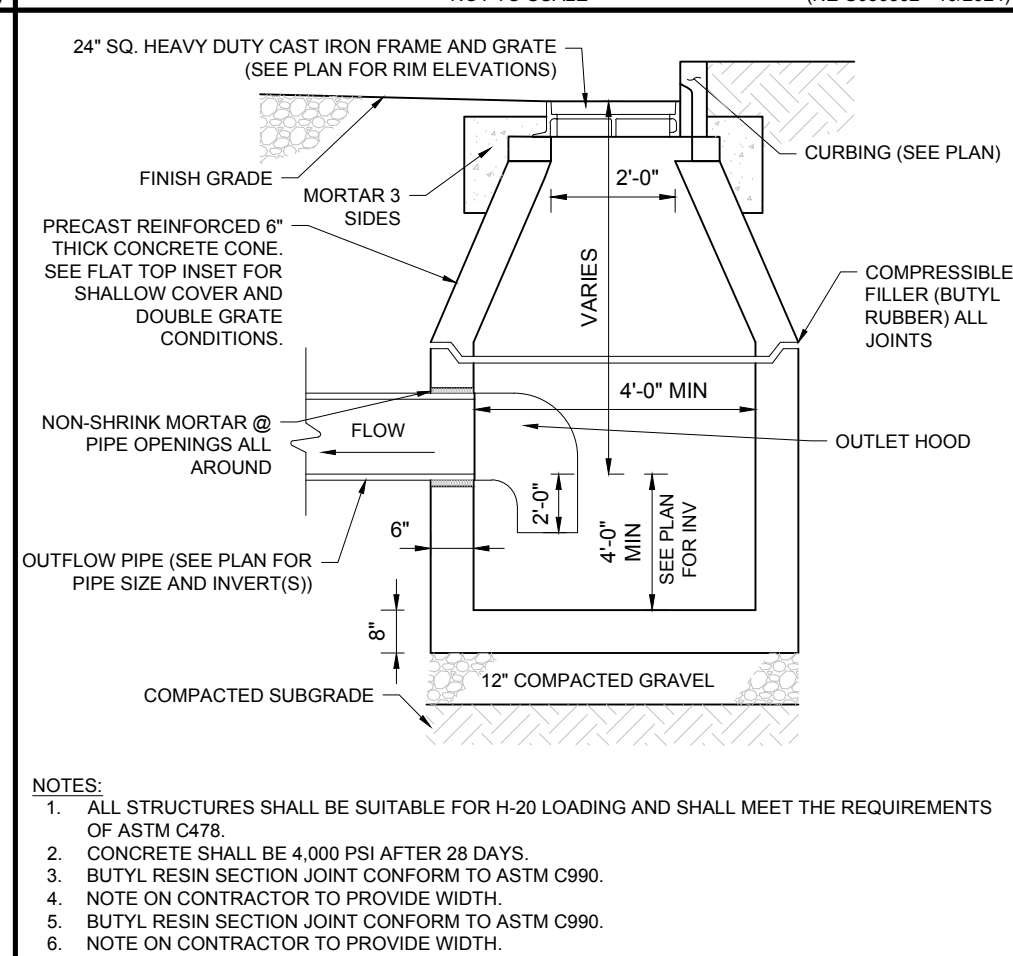
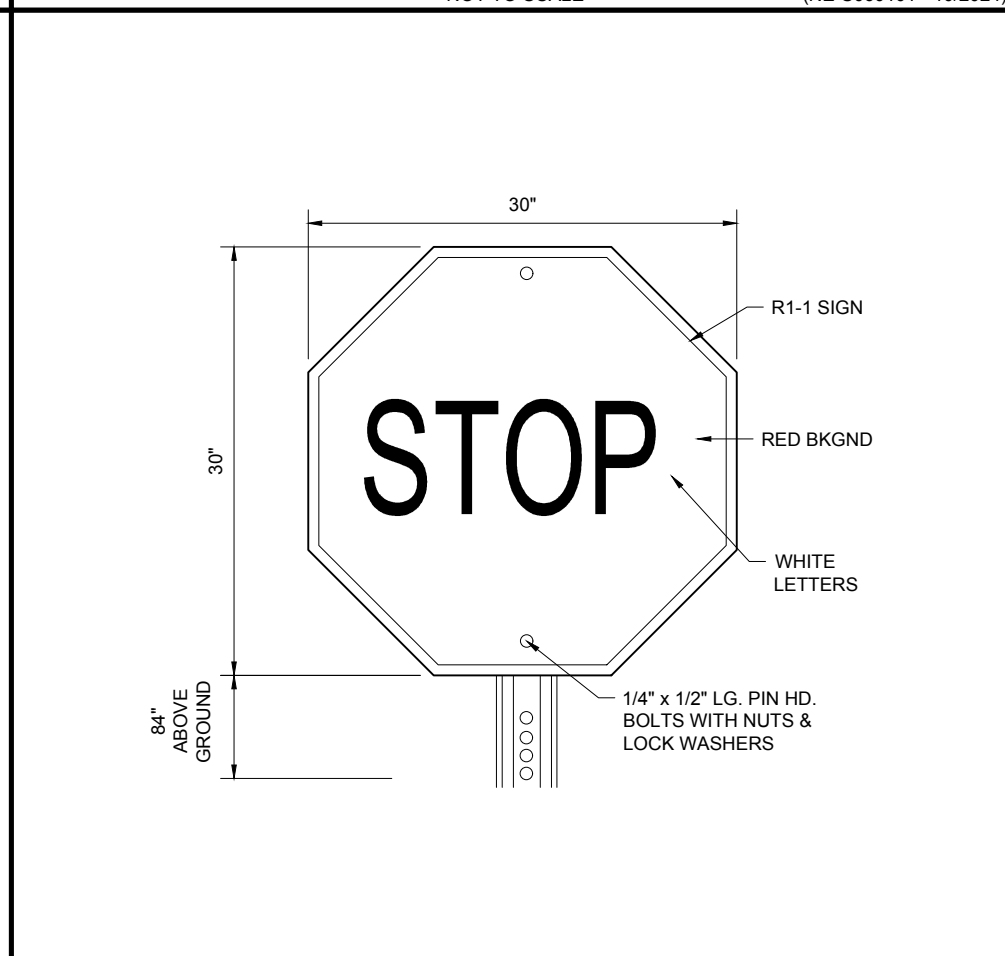
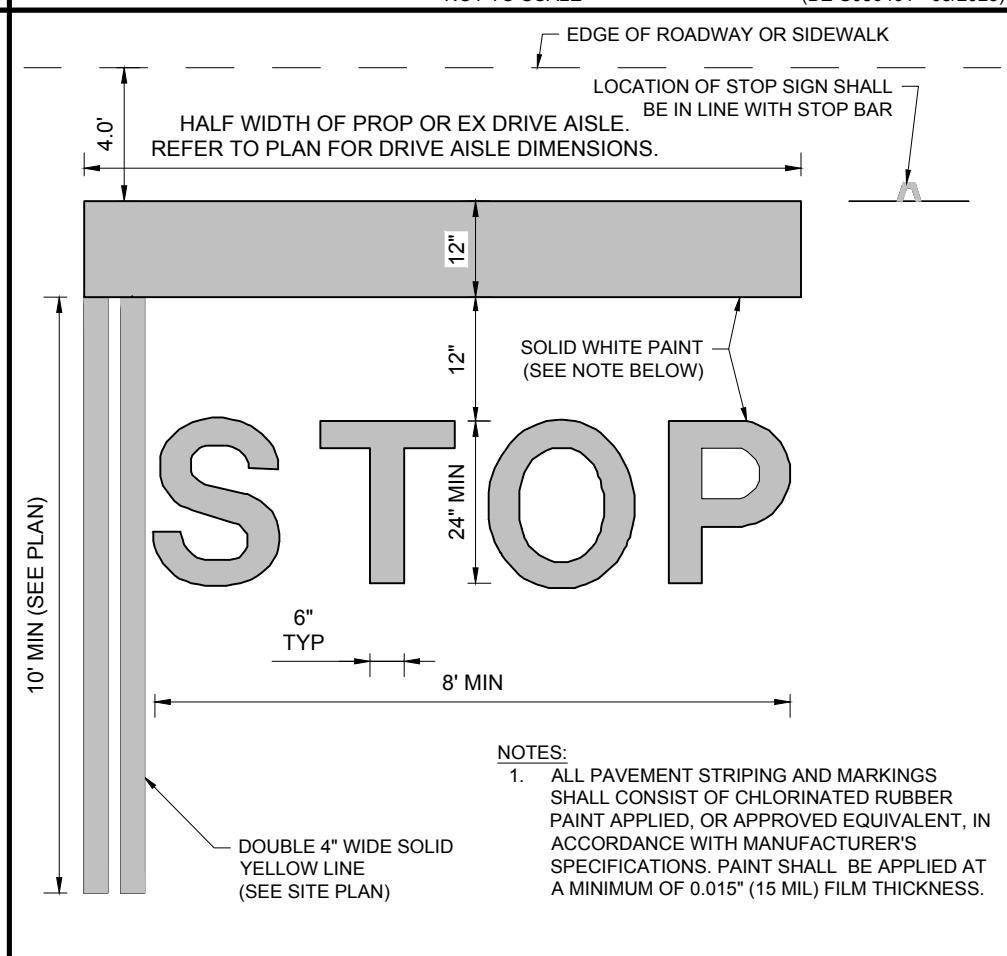
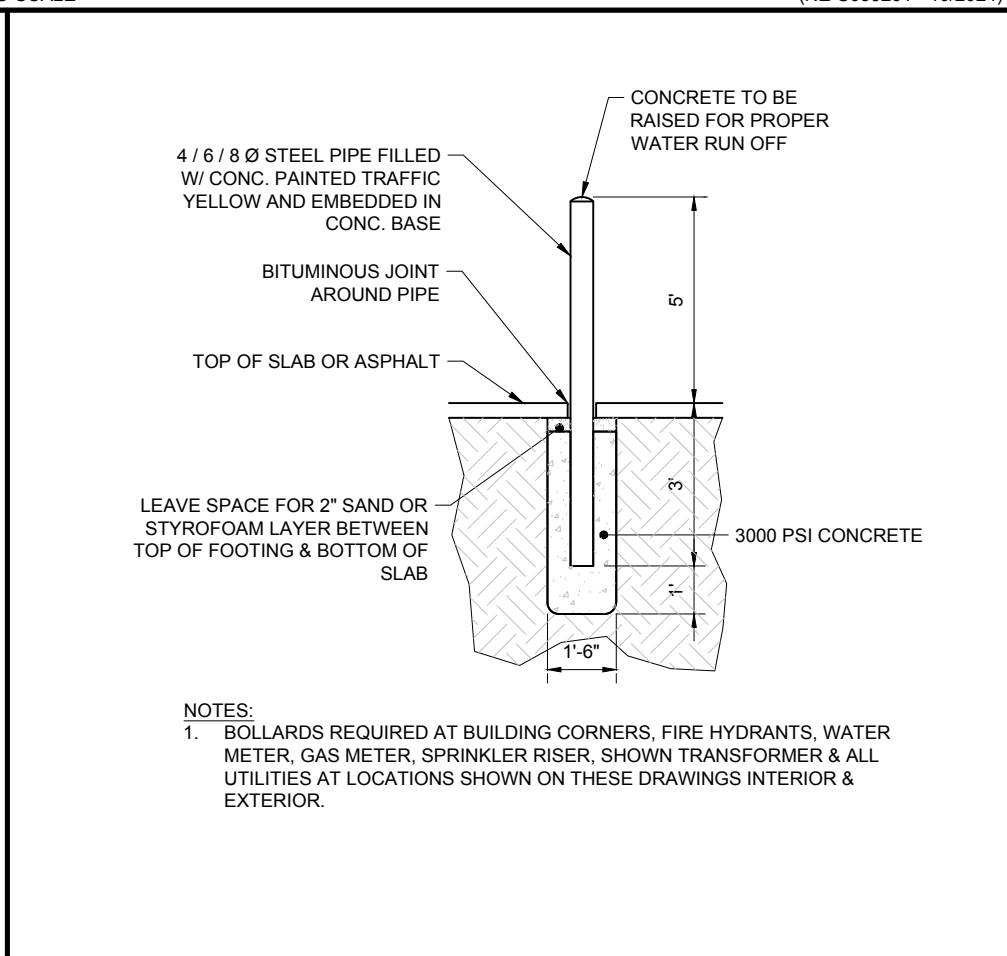
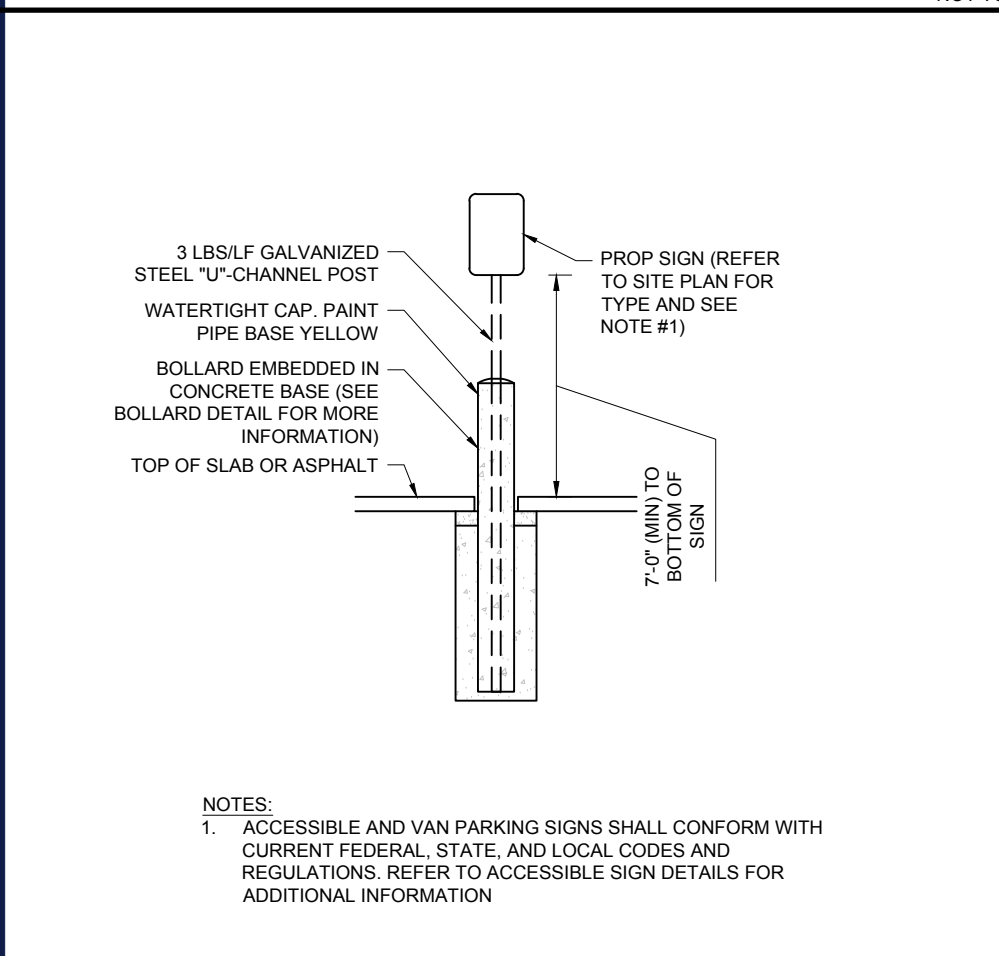


CONCRETE SIDEWALK
NOT TO SCALE (NE-S030201 - 10/2024)

SIDEWALK CONSTRUCTION JOINTS
NOT TO SCALE (BE-S030401 - 08/2023)

ACCESSIBLE PARKING SIGNS
NOT TO SCALE (NE-S060101 - 10/2024)

TRAFFIC FLOW ARROW
NOT TO SCALE (NE-S050302 - 10/2024)



SIGN IN BOLLARD
NOT TO SCALE (NE-S060201 - 12/2024)

BOLLARD
NOT TO SCALE (NE-S070101 - 09/2023)

STOP BAR
NOT TO SCALE (NE-S050301 - 12/2024)

STOP SIGN
NOT TO SCALE (NE-S060202 - 09/2023)

PRECAST CONCRETE DEEP SUMP CATCH BASIN
NOT TO SCALE (NE-U010201 - 10/2024)

BOLLARD SCHEDULE			
TYPE	DESCRIPTION	COLOR	LOCATION
1	10"Ø X 2'-6"H CONCRETE FILLED STEEL PIPE W/ POLYPROPYLENE COVER.	BM 2005-10 'RED ROCK'	EXTERIOR - BREEZEWAY
2	10"Ø X 6'-0"H CONCRETE FILLED STEEL PIPE W/ POLYPROPYLENE COVER.	'SAFETY YELLOW'	EXTERIOR - TRUCK WELL
3	6"Ø X 4'-0"H CONCRETE FILLED STEEL PIPE W/ POLYPROPYLENE COVER.	BM 2005-10 'RED ROCK'	EXTERIOR - TIRE INSTALLATION, TRANSFORMER, GENERATOR
4	6"Ø X 4'-0"H CONCRETE FILLED STEEL PIPE W/ POLYPROPYLENE COVER.	'SAFETY YELLOW'	EXTERIOR - STAIRS TO RISER ROOM, PROPANE REFILL AREA
5	4"Ø X 4'-0"H CONCRETE FILLED STEEL PIPE W/ POLYPROPYLENE COVER.	'HANDICAP BLUE'	EXTERIOR - ADA PARKING SPACES
6	4"Ø X 4'-0"H CONCRETE FILLED STEEL PIPE W/ POLYPROPYLENE COVER.	BM 2005-10 'RED ROCK'	EXTERIOR - MEMBERS W/ INFANTS SPACES

REVISIONS			
REV	DATE	COMMENT	DRAWN BY / CHECKED BY



Know what's below.
Call before you dig.
ALWAYS CALL 811
It's fast. It's free. It's the law.

PERMIT SET

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PROJECT No.: MAA240148.01
DRAWN BY: OEH
CHECKED BY: MKB
DATE: 05/05/2025
CAD I.D.: ---

BOHLER
352 TURNPIKE ROAD, 3rd FLOOR
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
www.BohlerEngineering.com

SITE DEVELOPMENT PLANS



92 CLUFF CROSSING ROAD
ROCKINGHAM COUNTY
SALEM, NH
ASSESSOR'S MAP 117, LOT 7880

FOR PROFESSIONAL SEAL



RECORD OWNER
MAP 117, LOT 7880
92 CLUFF CROSSING ROAD
N/F ROCKINGHAM 620, INC.
C/O KIMCO REALTY CORP.
BK. 3047, PG. 2541
P.O. BOX 9010
JERICHO, NY 11753-8910

SALEM PLANNING BOARD
APPROVAL

ZONING CLASSIFICATION
COMMERCIAL - INDUSTRIAL DISTRICT SUB-DISTRICT (CI-C)

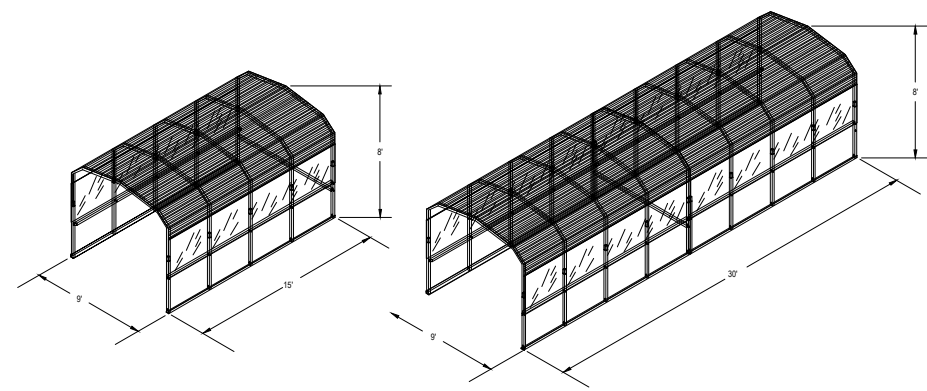
SHEET TITLE:

**CONSTRUCTION
DETAILS**

SHEET NUMBER:

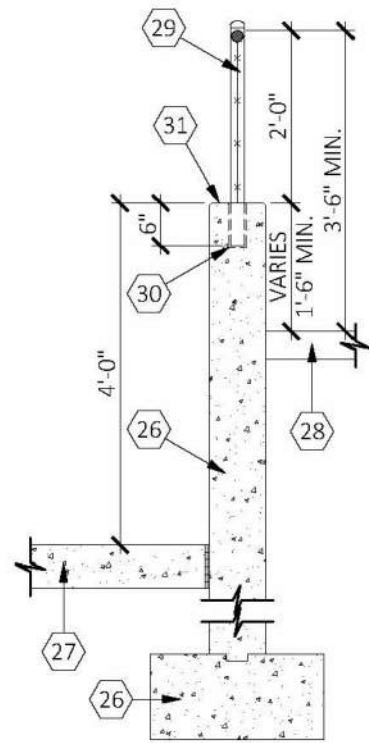
C-901

P:\2024\MAA240148.01\CAD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\SP-CIVL-CNDS-MAA240148.01-40C---LAYOUT-C-902.DETL 2



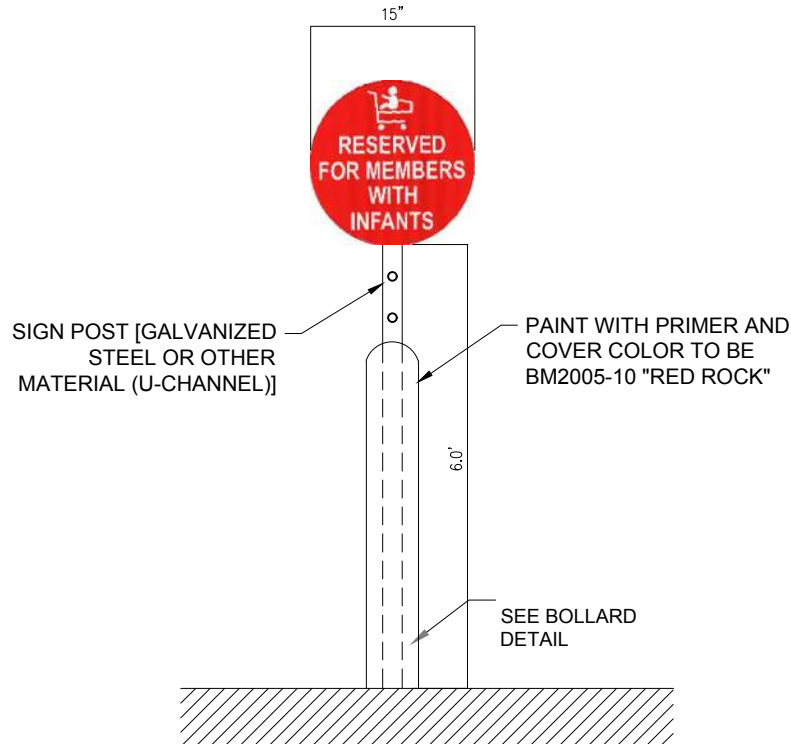
SINGLE AND DOUBLE CART CORRALS

NOT TO SCALE



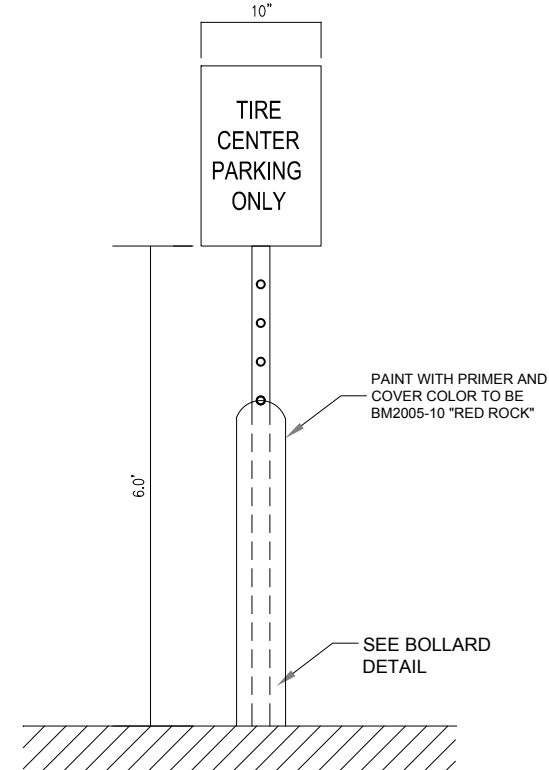
LOADING DOCK GUARDRAIL

NOT TO SCALE



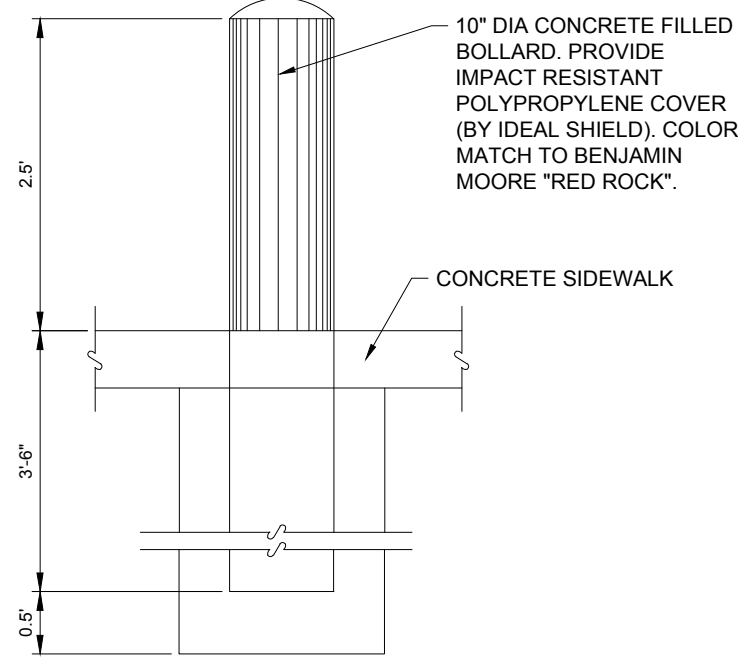
MEMBER WITH INFANT SIGN

NOT TO SCALE



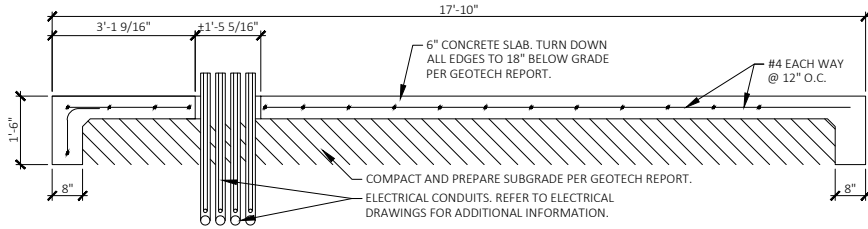
TIRE CENTER PARKING SIGN

NOT TO SCALE



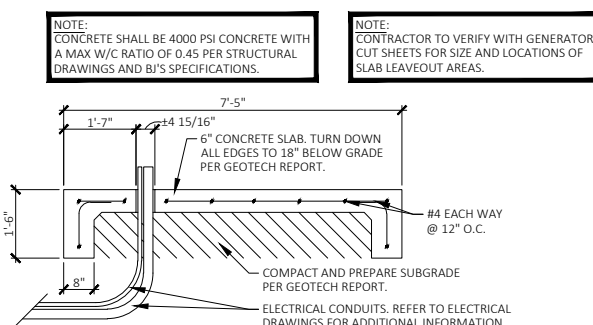
EXTERIOR BREEZEWAY BOLLARD

NOT TO SCALE



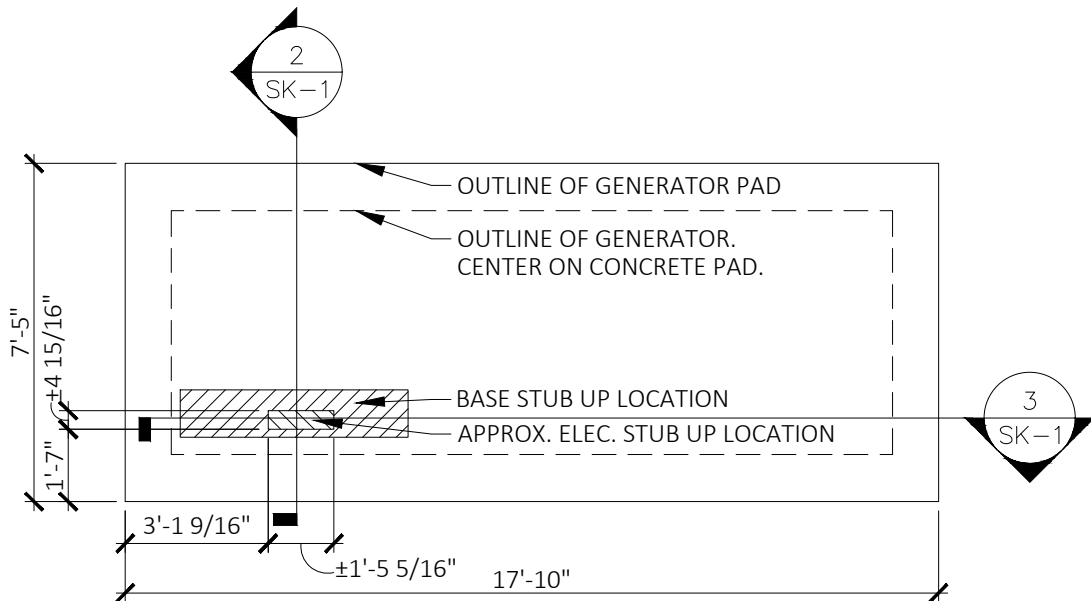
CATERPILLAR C-15-SA GENERATOR PAD SECTION (500KW)

NOT TO SCALE



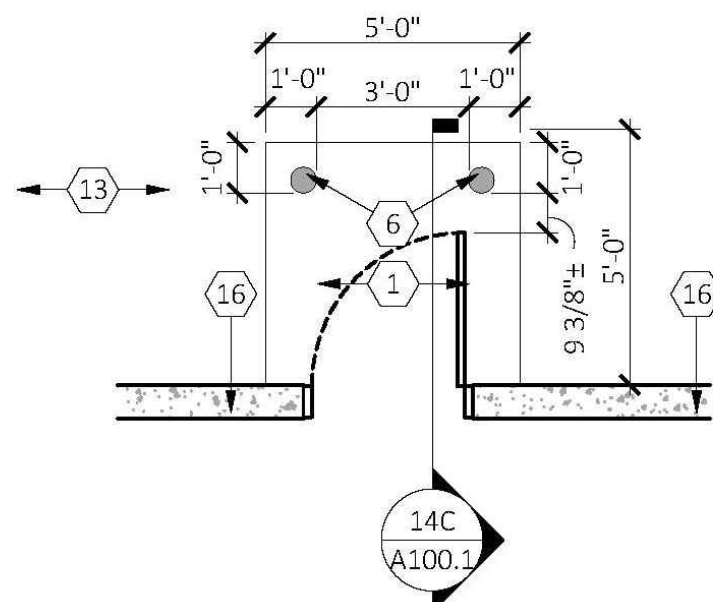
CATERPILLAR C-15-SA GENERATOR PAD SECTION (500KW)

NOT TO SCALE



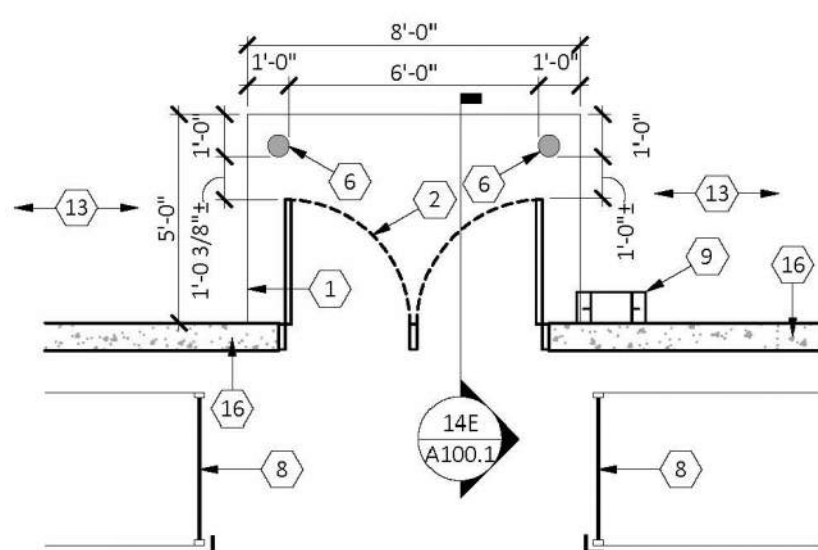
CATERPILLAR C-15-SA GENERATOR PAD PLAN (500KW)

NOT TO SCALE



CONCRETE STOOP SINGLE DOOR

NOT TO SCALE

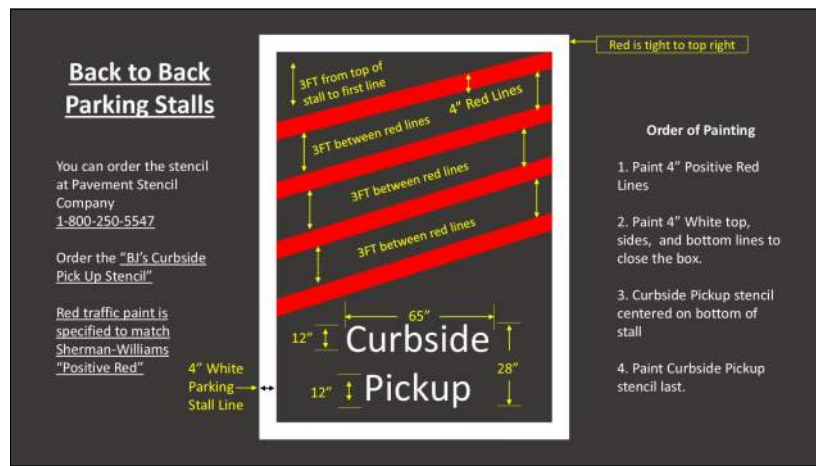
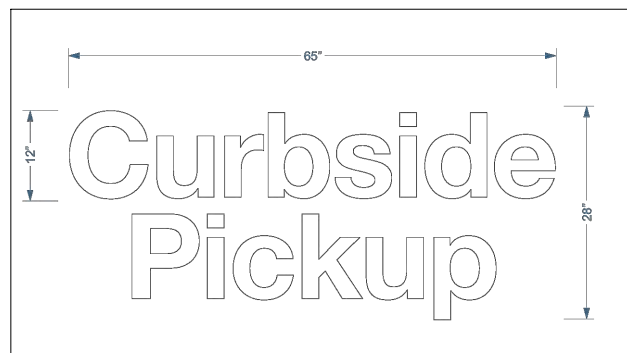


CONCRETE STOOP DOUBLE DOOR

NOT TO SCALE

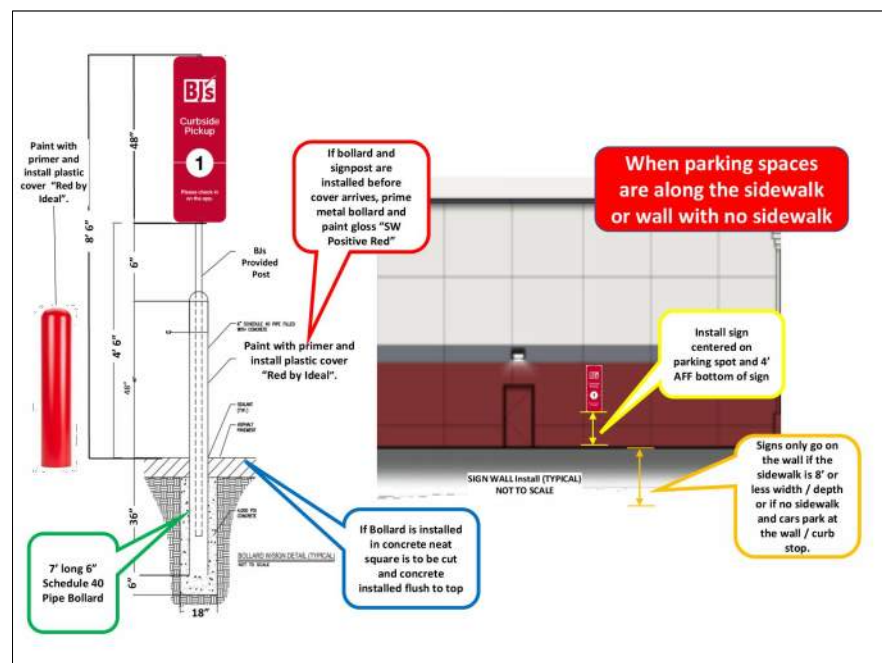
1. CONCRETE STOOP TO BE CENTERED ON DOOR OPENING (TYP), U.N.O.
2. EXTERIOR DOOR, REFER TO DOOR SCHEDULE ON SHEET A800 FOR TYPE & ADDITIONAL INFORMATION.
3. CHAIN LINK FENCE GUARD, REFER TO DETAIL 12/A100.1.
4. HANDRAIL, REFER TO DETAILS 9/A100.1 & 10/A100.1.
5. RETAINING WALL, REFER TO STRUCTURAL DRAWING.
6. 6"Ø BOLLARD, REFER TO BOLLARD SCHEDULE ON SHEET A100.
7. G.C. TO ENSURE CONCRETE LANDING IS LEVEL W/ GRADE PER ADA REQUIREMENTS. OUTER EDGE OF LANDING TO FOLLOW CURVE OF CURB BY OTHERS, REFER TO CIVIL DRAWINGS FOR CURB INFORMATION.
8. STORE FIXTURES (TYP), REFER TO FIXTURE PLAN.
9. DOWNSPOUT W/ GUARD, REFER TO DETAIL 5/A800.
10. GLAZING W/ AN ALUMINUM FRAME, REFER TO WINDOW SCHEDULE, SHEET A802, FOR ADDITIONAL INFORMATION.
11. ROOF DRAIN LEADER PIPE, REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
12. CONCRETE CURB, REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
13. ASPHALT PAVING, REFER TO A100 & CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
14. CONCRETE SIDEWALK, REFER TO SHEET A100 & CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
15. WALL MOUNTED HANDRAIL, REFER TO DETAIL 11/A100.1 FOR ADDITIONAL INFORMATION.
16. CONCRETE PANEL WALL BY OTHERS, REFER TO PANEL WALL MANUFACTURER'S DRAWINGS FOR ADDITIONAL INFORMATION.

CONCRETE STOOP NOTES



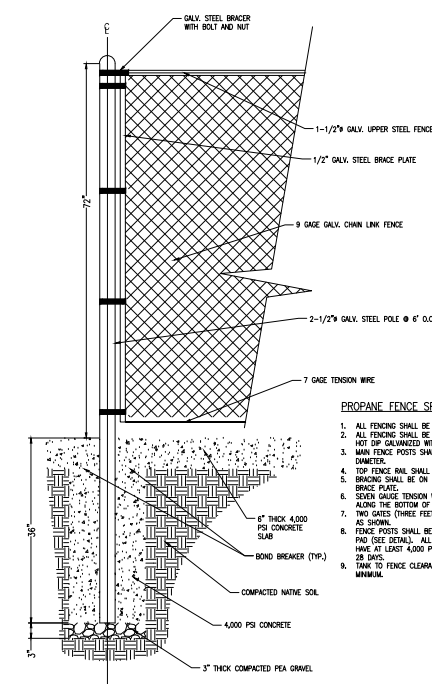
BOPIC PAVEMENT MARKING DETAIL

NOT TO SCALE



BOPIC SIGN DETAIL

NOT TO SCALE



FENCE

NOT TO SCALE

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



PERMIT SET

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PROJECT No.:	MAA240148.01
DRAWN BY:	OEH
CHECKED BY:	MPB
DATE:	05/05/2024
CAD I.D.:	---

BOHLER

352 TURNPIKE ROAD, 3rd FLOOR
SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900

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SITE DEVELOPMENT PLANS

FOR



92 CLUFF CROSSING ROAD
ROCKINGHAM COUNTY
SALEM, NH
ASSESSOR'S MAP 117, LOT 7880

FOR PROFESSIONAL SEAL



RECORD OWNER
MAP 117, LOT 7880
92 CLUFF CROSSING ROAD
N/F ROCKINGHAM S20, INC.
C/O KIMCO REALTY CORP.
BK. 3047, PG. 2541
P.O. BOX 9010
JERICHO, NY 11753-8910

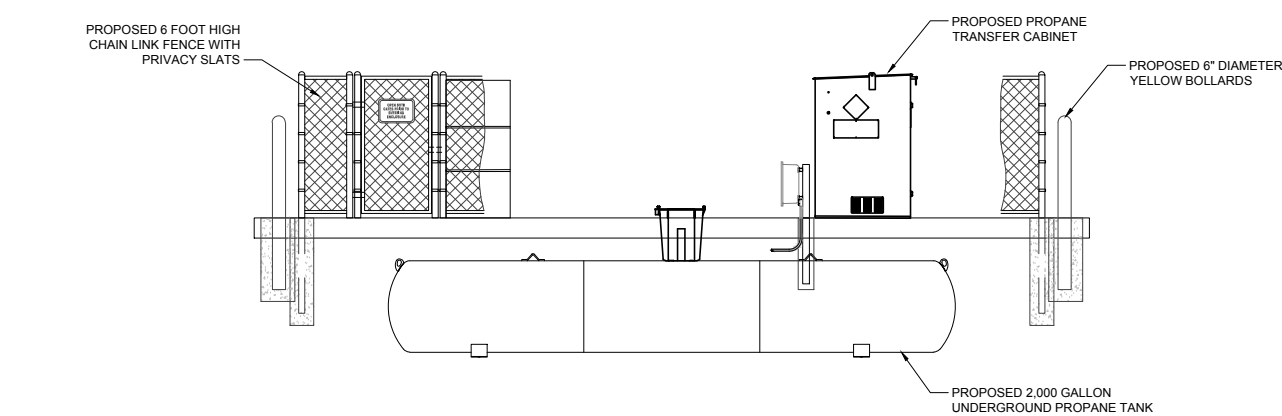
SALEM PLANNING BOARD
APPROVAL

SHEET TITLE:

**CONSTRUCTION
DETAILS**

SHEET NUMBER:





C-902

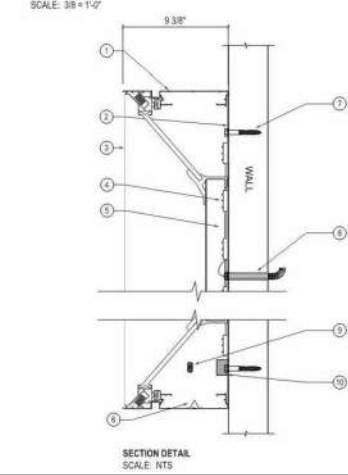


NOT TO SCALE




1. 240 ALUMINUM COIL RETURN INTERIOR PAINTED P-6, EXTERIOR PAINTED P-2
2. 120 ALUMINUM 1/2" RETURN PAINTED P-6
3. 150 HVO POLYCARBONATE WITH V-1 FIRST SURFACE
4. LED OF TETRAMIN 24V RED
5. 240 ALUMINUM LETTER BACKS, INTERIOR PAINTED P-6
6. HVO GLASS WITH LIGHT BAFFLE
7. 3/8" LAG BOLT OR THREADED ROD WITH BLOOMING (PROVIDED BY G.C.) AS REQUIRED BY WALL CONDITIONS
8. RIGID CONDUIT THROUGH WALL WITH 1/2" STATUS BEYOND INSIDE WALL
9. 10' MIN. WIRE LENGTH FOR LOW VOLTAGE WIRE
10. POWER SUPPLY INUDE VENTED POWER SUPPLY BOX P-1
11. INTERIOR ENCLOSURE P-4
12. 8" P 2 ALUM TUBE STOPS (MERCHILE) PAINTED P-6

- | COLORS / FINISHES: | |
|-------------------------------------------------------------------------------------|--------------------------------------------|
|  | R-1 MP TO MATCH PWS 200C |
|  | R-2 MP TO MATCH BENJAMIN MOORE SUPER WHITE |
|  | R-3 MP LIGHT ENHANCEMENT PAINT |
|  | V-1 3M 3730-53L CARDINAL RED VINYL |
| | R-6 WAREWAY COLOR (78C) |



2. 1" WHITE, JEWELL T800PC
3. 1/8" WHITE POLYCARBONATE WITH 1/4" FEET SURFACE
4. LED-CE TETRAMAX 24V LED
5. AOM LETTER BACKS WITH FENDER ANDERS INSIDE AND OUTSIDE FOR MOUNTING - INTERIOR FANTASY 11-3
6. HEEF HOLE WITH GUT BAFFLE
7. 3/4" LASER CUT 70 THINNESS ROD WITH BLOCKING PROVIDED BY G.C.I. AS REQUIRED BY WALL CONDITIONS
8. RIGID CONDUIT THROUGH WALL WITH 1/2" - 1" STUB BEYOND INSIDE WALL - 1/2 MIN WAMP LENGTH FOR LOW VOLTAGE WIRE
9. POWER SWITCH
10. POWER SUPPLY INSIDE VENTED POWER SUPPLY BOX
11. WIRENET ENCLOSURE 7-6

- COLORS / FINISHES:**
- | | | |
|-------------------------------------------------------------------------------------|-----|-------------------------------|
|  | P-0 | MP-LIGHT ENHANCEMENT PAINT |
|  | P-1 | 3M 370-SIL CARDINAL RED VINYL |
|  | P-6 | WIREWAY COLOR (TRC) |

NOTES:
[1] TOTAL PROPOSED SIGNAGE AREAS BASED UPON SIGN PLANS PREPARED BY JONES SIGN, DATED NOVEMBER 19, 2024.



- CABINET:**
- 1. SONOCOM K1222204 KIT: INTERIOR PAINTED P-1, EXTERIOR PAINTED P-1
 - 2. 381 ALUMINUM BACKS: INTERIOR PAINTED P-1, EXTERIOR PAINTED P-1
 - 3. 150 BIRCH POLY-CARBONATE WITH 1/4" APPLIED FOIL SURFACE
 - 4. GE TETRAMAX 241 RED LENSES
 - 5. 1" X 2" X 1/8" ALUMINUM TIE BRACING
 - 6. 1/2" NISSEK D40: SPACERS (PUSH-INS)
 - 7. FABRICATED SHIPPING BRACKET FOR "CHOCOMAK" ATTACH TO CABINET & LETTER PRIOR TO SHIPPING W/ SHIP: SHEAR SCISSOR: REMOVE PRIOR TO INSTALLATION
 - 8. 1" LASER CUT 108 THICKNESS 1/4" BLOC (BEYOND BY D.C.) AS REQUIRED BY WALL CONDITION
 - 9. ATTACH CHAIN, LETTERS TO "CABINET" FACE WITH 3/16" NUTS, DRILL HOLES BOTH SIDES
 - 10. 1/2" ROD CONNECT THROUGH CABINET POLY FACE WELDED TO 1" X 1/4" 125 ALUMINUM SLEEVE TIE SUPPORT
 - 11. 1/2" NUTS
 - 12. 1/2" ROD CONDUIT BEHIND WALL WITH 1/2" - 1" STUB (BEYOND INSIDE WALL, 18" MIN W/HP LENGTH FOR LOW V)
 - 13. POWER SWITCH
 - 14. POWER SUPPLY
 - 15. WEEP HOLES, W/WEIGHT RAFFLE

- | COLORS / FINISHES: | |
|---------------------------------------------------------------------------------------|----------------------------------------|
|  | P-6 MP WHITE LIGHT ENHANCEMENT |
|  | P-2 MP TO WATCH BENJAMIN MOORE, SUPER |
|  | P-1 MP-SEAM GLOSS TO WATCH PMS 285C RE |
|  | P-1 3M 3730-ESL CARDINAL RED VINYL |

- NOTES:
TOTAL AMPS: 2.2 A
TOTAL CIRCUITS: (1) 20 A REQUIRED
VOLTS: 120V



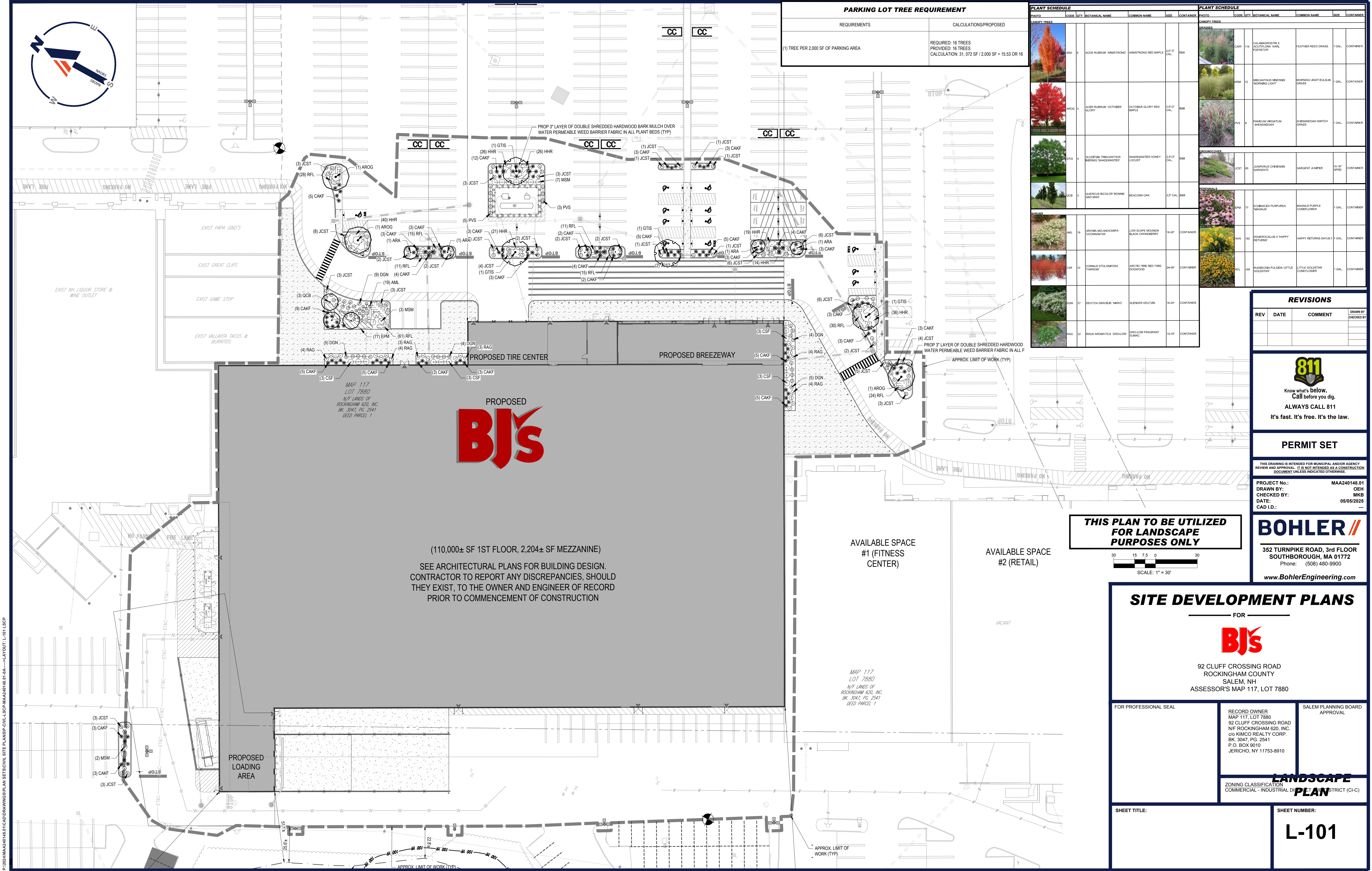
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- FINISHES:**
 WP WHITE LIGHT ENHANCEMENT
 WP 5254 GLOSS TO MATCH PWS 200C RED
 IM 3730-53L CARDINAL RED VINYL






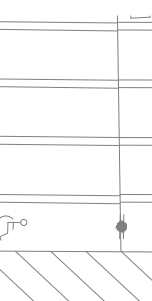
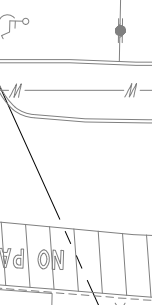

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NOT TO SCALE

NOTE: SHOWN FOR GRAPHICAL PURPOSES ONLY. SIGN PLANS PREPARED BY JONES SIGN, DATED NOVEMBER 19, 2024



PARKING LOT TREE REQUIREMENT	
REQUIREMENTS	CALCULATIONS/PROPOSED
(1) TREE PER 2,000 SF OF PARKING AREA	REQUIRED: 16 TREES PROVIDED: 16 TREES CALCULATION: 31,072 SF / 2,000 SF = 15.53 OR 16


PLANT SCHEDULE						
PHOTO	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
LANDSCAPE TREES						
	ARA	6	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	2.5'-3' CAL.	B&B
	ARGD	3	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2.5'-3' CAL.	B&B
	GTIS	4	GLEETZIA THRICANTHOS 'INFERNA'	SHADEMASTER HONEY LOCUST	2.5'-3' CAL.	B&B
	OCB	3	QUERCUS BICOLOR 'BONNIE AND MIKE'	BEACONS OAK	2.5' CAL.	B&B
SHRUBS						
	AML	19	ARONIA MELANOCARPA 'UNIONHAM 167'	LOW SCAPE MOUND® BLACK CHOKEBERRY	18-24"	CONTAINER
	CSF	12	CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	24-30"	CONTAINER
	DGN	27	DEUTZIA GRACILIS 'NIRKO'	SLENDER DEUTZIA	18-24"	CONTAINER
	RAG	22	PIRUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	15-18"	CONTAINER

REVISIONS		
REV	DATE	COMMENT



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SOUTHBOROUGH, MA 01772
Phone: (508) 480-9900
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SITE DEVELOPMENT PLANS

FOR



92 CLUFF CROSSING ROAD
ROCKINGHAM COUNTY
SALEM, NH
ASSESSOR'S MAP 117, LOT 7880

FOR PROFESSIONAL SEAL

RECORD OWNER
MAP 117, LOT 7880
92 CLUFF CROSSING ROAD
N/F ROCKINGHAM 620, INC.
C/O KIMCO REALTY CORP.
BK. 3047, PG. 2541
P.O. BOX 9010
JERICHO, NY 11753-8910

SALEM PLANNING BOARD
APPROVAL

ZONING CLASSIFICATION
COMMERCIAL - INDUSTRIAL DISTRICT (CIC)

LANDSCAPE PLAN

SHEET TITLE:

SHEET NUMBER:
L-101

P:\2024\MAA240148.01\CADD\DRAWINGS\PLAN SET\CIVIL SITE PLANS\SP-CIVIL-LSCF-MAA240148.01.dwg-----LAYOUT: L-101 LSCF




Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Building Rear	Illuminance	Fc	4.56	22.0	0.2	22.80	110.00
Front Parking	Illuminance	Fc	4.27	8.1	1.4	3.05	5.79
Loading Dock	Illuminance	Fc	7.92	43.1	1.1	7.20	39.18
Member Entrance	Illuminance	Fc	6.17	10.1	2.4	2.57	4.21
Overall Area	Illuminance	Fc	1.88	36.9	0.0	N.A.	N.A.
Rear Parking	Illuminance	Fc	4.37	6.4	1.3	3.36	4.92

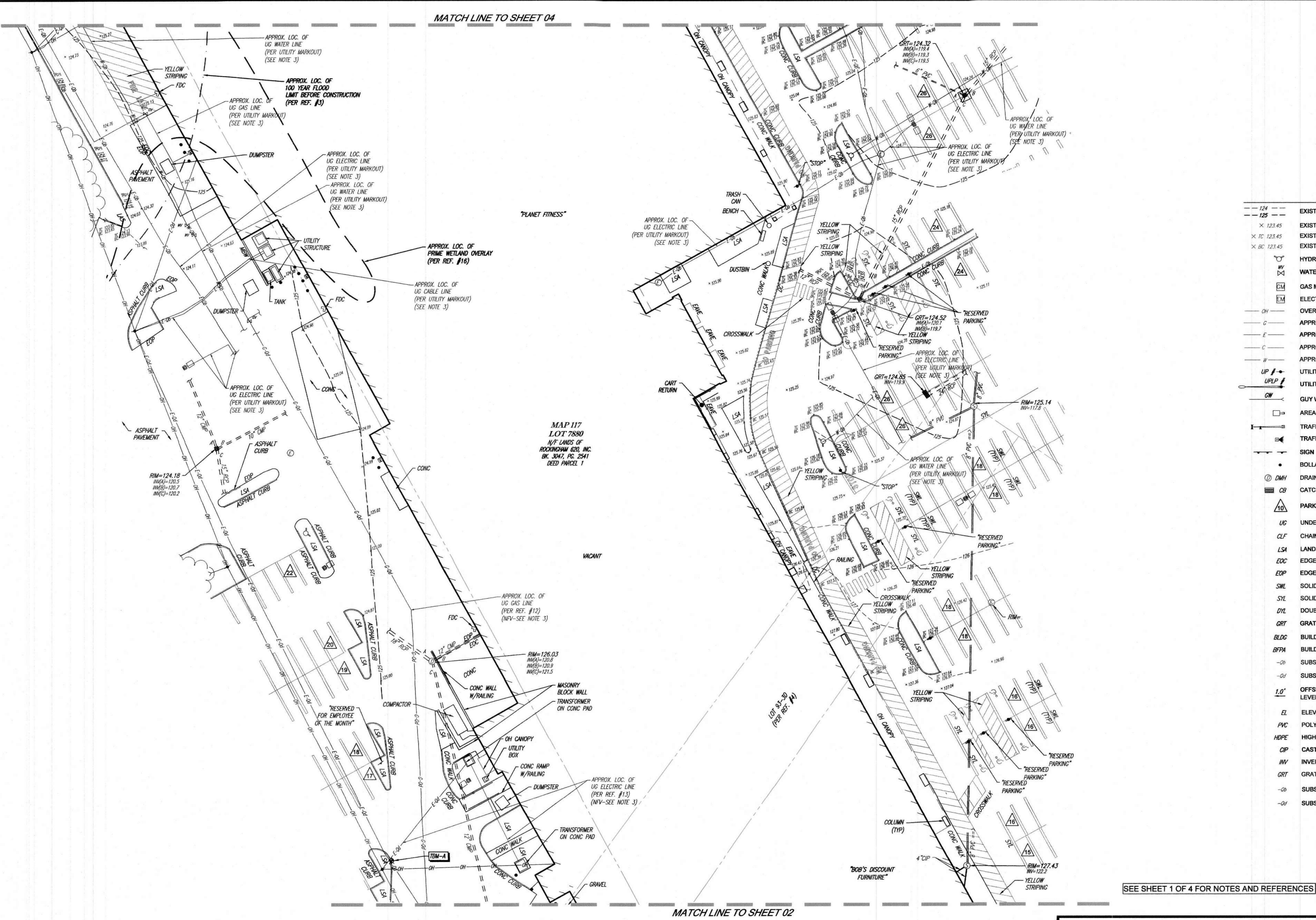
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GRAPHIC SCALE

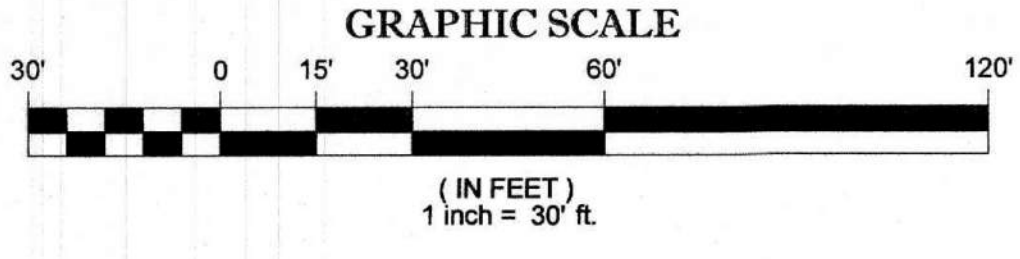
(IN FEET)
1 inch = 40 - FT.

- | | | | | | | |
|-------------------------------------------------------------|---------------------------------|--------------|---------------------------------------------------------------------------------------|---------|-----------------------|----------|
| TITLE: BJ'S WHOLESALE
SALEM, NH
SITE PHOTOMETRIC PLAN | REVISED FROM DRAWING NUMBER(S): | |  | DN BY: | DATE: | CHK BY: |
| | R1: 04/01/25 | R5: 04/22/25 | | DHK | 02/21/25 | N/A |
| | R2: 04/04/25 | | | REV BY: | DATE: | SCALE: |
| | R3: 04/11/25 | | | DHK | 04/22/25 | AS NOTED |
| | R4: 04/17/25 | | | QUOTE: | DRAWING / DESIGN NO.: | |
| | | | | N/A | A250283AR5 | |

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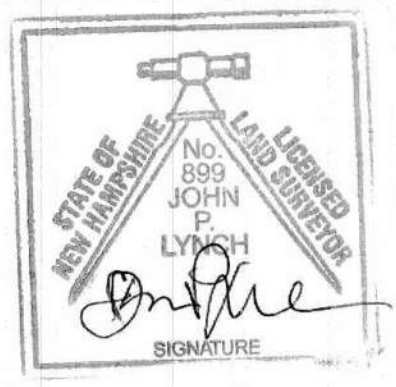
- LEGEND
- 124 --- EXISTING CONTOUR
 - 125 --- EXISTING CONTOUR
 - X 123.45 EXISTING SPOT ELEVATION
 - X 10 123.45 EXISTING TOP OF CURB ELEVATION
 - X BC 123.45 EXISTING TOP OF CURB ELEVATION
 - HYDRANT
 - WV WATER VALVE
 - GM GAS METER
 - EM ELECTRIC METER
 - OH OVERHEAD WIRES
 - G --- APPROX. LOC. UNDERGROUND GAS LINE
 - E --- APPROX. LOC. UNDERGROUND ELECTRIC LINE
 - C --- APPROX. LOC. UNDERGROUND CABLE LINE
 - W --- APPROX. LOC. UNDERGROUND WATER LINE
 - UP UTILITY POLE
 - UPLD UTILITY POLE/LIGHT POLE
 - CW GUY WIRE
 - AREA LIGHT
 - TRAFFIC SIGNAL POLE
 - TRAFFIC SIGNAL
 - SIGN
 - BOLLARD
 - DMH DRAINAGE/STORM MANHOLE
 - CB CATCH BASIN OR INLET
 - 10 PARKING SPACE COUNT
 - UG UNDER GROUND
 - CLF CHAIN LINK FENCE
 - LSA LANDSCAPED AREA
 - EOC EDGE OF CONCRETE
 - EDP EDGE OF PAVEMENT
 - SWL SOLID WHITE LINE
 - STL SOLID YELLOW LINE
 - DYL DOUBLE YELLOW LINE
 - GRT GRATE ELEVATION
 - BLDG BUILDING
 - BFFA BUILDING FOOTPRINT AREA
 - CB SUBSURFACE UTILITY QUALITY LEVEL B
 - D SUBSURFACE UTILITY QUALITY LEVEL D
 - 1.0' OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
 - EL ELEVATION
 - PVC POLYVINYL CHLORIDE PIPE
 - HDPE HIGH DENSITY POLYETHYLENE PIPE
 - CIP CAST IRON PIPE
 - INV INVERT ELEVATION
 - GRT GRATE ELEVATION
 - CB SUBSURFACE UTILITY QUALITY LEVEL B
 - D SUBSURFACE UTILITY QUALITY LEVEL D



SEE SHEET 1 OF 4 FOR NOTES AND REFERENCES

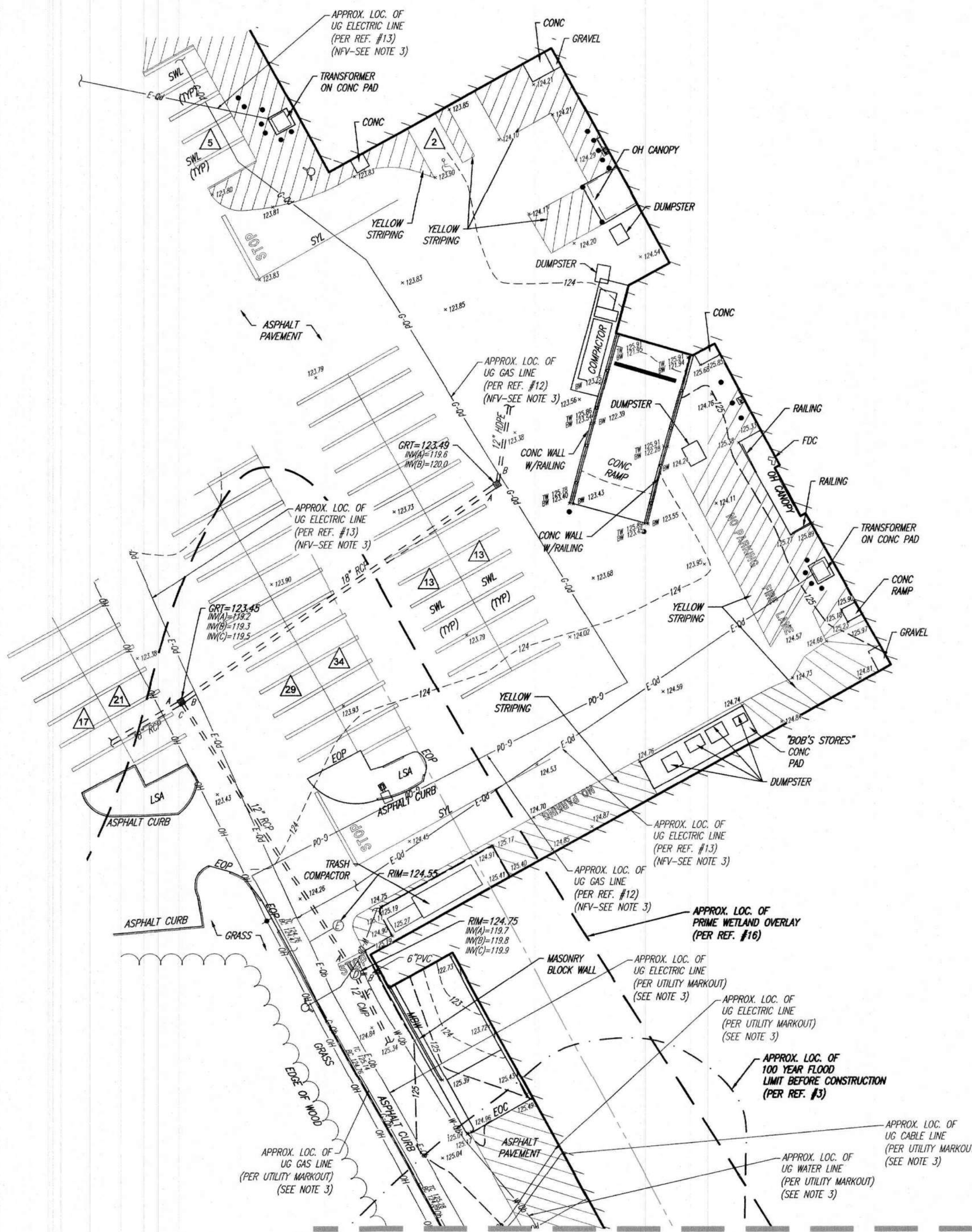
THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



JOHN P. LYNCH
NEW HAMPSHIRE PROFESSIONAL LAND SURVEYOR #899

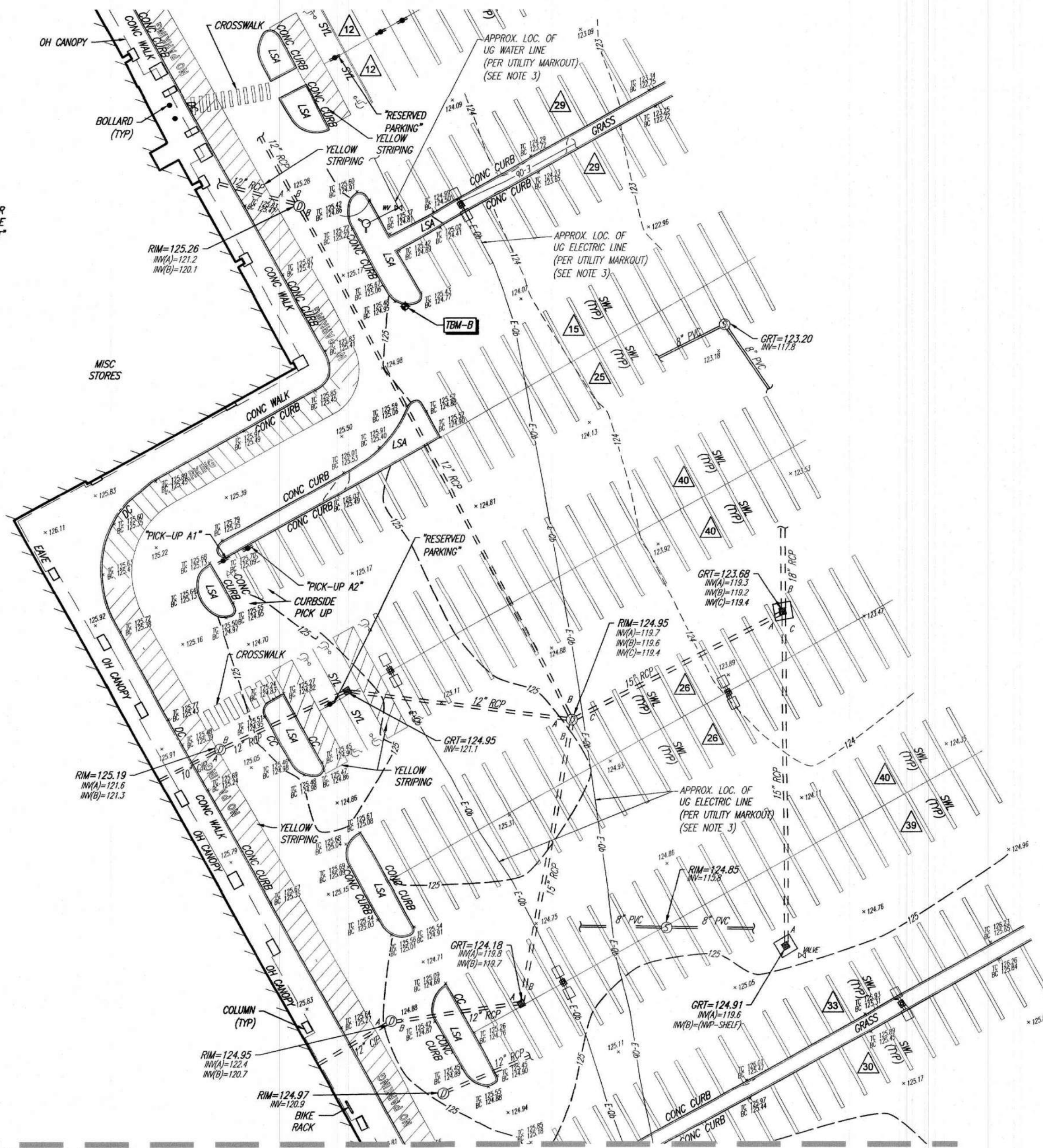
2	LOT 8880 BOUNDARY REVISED PER ADDITIONAL FIELD LOCATIONS & PRIME WETLAND OVERLAY ADDED	C.W.	R.J.K.	J.P.L.	5-2-2025
1	LOT 7880 AREA REVISED	-	R.J.K.	J.P.L.	11-12-2024
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
FIELD DATE	10-07-2024	BOUNDARY, PARTIAL TOPOGRAPHIC & UTILITY SURVEY			
FIELD BOOK NO.	24-10 MA	ROCKINGHAM 620, INC.			
FIELD BOOK PG.	-	92 & 104 CLUFF CROSSING ROAD			
		LOTS 7880 & 8830, MAP 117			
		TOWN OF SALEM, ROCKINGHAM COUNTY			
		STATE OF NEW HAMPSHIRE			
FIELD CREW	J.D.O.	CONTROL POINT ASSOCIATES, INC.			
DRAWN:	R.A.B.	332 TURNPIKE ROAD			
		SOUTHBOROUGH, MA 01772			
		508.948.3000 - 508.948.3003 FAX			
REVIEWED:	R.J.K.	APPROVED:	J.P.L.	DATE	11-01-2024
		SCALE	1"=30'	FILE NO.	03-240302-01
		DWG. NO.	3	OF	4



MAP 117
LOT 7880
W/F LINES OF
ROCKINGHAM 620, INC.
BK. 3047, PG. 2541
DEED PARCEL 1

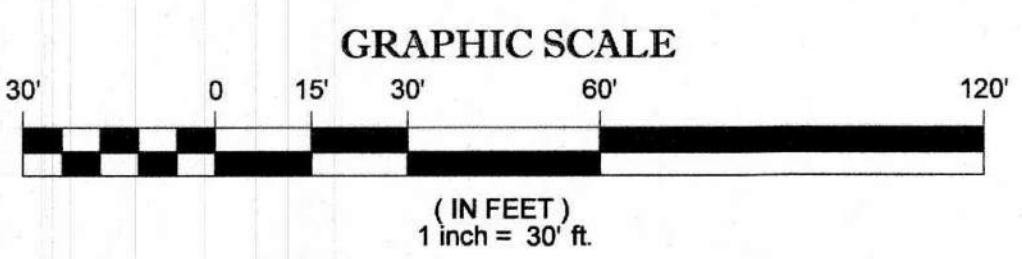
1 STORY
MASONRY BUILDING

MATCH LINE TO SHEET 03



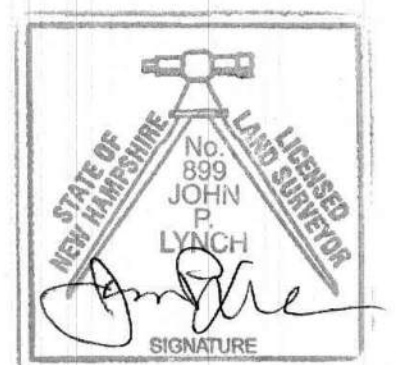
SEE SHEET 1 OF 4 FOR NOTES AND REFERENCES

- LEGEND
- 124 --- EXISTING CONTOUR
 - 125 --- EXISTING CONTOUR
 - X 123.45 EXISTING SPOT ELEVATION
 - X TC 123.45 EXISTING TOP OF CURB ELEVATION
 - X BC 123.45 EXISTING TOP OF CURB ELEVATION
 - HYDRANT
 - WATER VALVE
 - GAS METER
 - ELECTRIC METER
 - OVERHEAD WIRES
 - APPROX. LOC. UNDERGROUND GAS LINE
 - APPROX. LOC. UNDERGROUND ELECTRIC LINE
 - APPROX. LOC. UNDERGROUND CABLE LINE
 - APPROX. LOC. UNDERGROUND WATER LINE
 - UTILITY POLE
 - UTILITY POLE/LIGHT POLE
 - GUY WIRE
 - AREA LIGHT
 - TRAFFIC SIGNAL POLE
 - TRAFFIC SIGNAL
 - SIGN
 - BOLLARD
 - DMH DRAINAGE/STORM MANHOLE
 - CB CATCH BASIN OR INLET
 - PARKING SPACE COUNT
 - UG UNDER GROUND
 - CLF CHAIN LINK FENCE
 - LSA LANDSCAPED AREA
 - EDC EDGE OF CONCRETE
 - EOP EDGE OF PAVEMENT
 - SWL SOLID WHITE LINE
 - SYL SOLID YELLOW LINE
 - DYL DOUBLE YELLOW LINE
 - GRT GRATE ELEVATION
 - BLDG BUILDING
 - BFPA BUILDING FOOTPRINT AREA
 - 0.0 SUBSURFACE UTILITY QUALITY LEVEL B
 - 0.4 SUBSURFACE UTILITY QUALITY LEVEL D
 - 1.0' OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
 - EL ELEVATION
 - PVC POLYVINYL CHLORIDE PIPE
 - HDPE HIGH DENSITY POLYETHYLENE PIPE
 - CIP CAST IRON PIPE
 - INV INVERT ELEVATION
 - GRT GRATE ELEVATION
 - 0.0 SUBSURFACE UTILITY QUALITY LEVEL B
 - 0.4 SUBSURFACE UTILITY QUALITY LEVEL D



THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



JOHN P. LYNCH
NEW HAMPSHIRE PROFESSIONAL LAND SURVEYOR #899

5-2-2025
DATE

2	LOT 7880 BOUNDARY REVISED PER ADDITIONAL FIELD LOCATIONS & PRIME WETLAND OVERLAY ADDED	C.W.	R.J.K.	J.P.L.	5-2-2025
1	LOT 7880 AREA REVISED	-	R.J.K.	J.P.L.	11-12-2024
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
FIELD DATE	10-07-2024	BOUNDARY, PARTIAL TOPOGRAPHIC & UTILITY SURVEY			
FIELD BOOK NO.	24-10 MA	ROCKINGHAM 620, INC.			
FIELD BOOK PG.	-	92 & 104 CLIFF CROSSING ROAD			
		LOTS 7880 & 8830, MAP 117			
		TOWN OF SALEM, ROCKINGHAM COUNTY			
		STATE OF NEW HAMPSHIRE			
FIELD CREW	J.D.O.	CONTROL POINT ASSOCIATES, INC.			
DRAWN	R.A.B.	352 TURNPIKE ROAD			
		SOUTHBOROUGH, MA 01772			
		508.948.3000 - 508.948.3003 FAX			
REVIEWED	R.J.K.	APPROVED	J.P.L.	DATE	11-01-2024
		SCALE	1"=30'	FILE NO.	03-240302-01
		DWG. NO.	4	OF	4