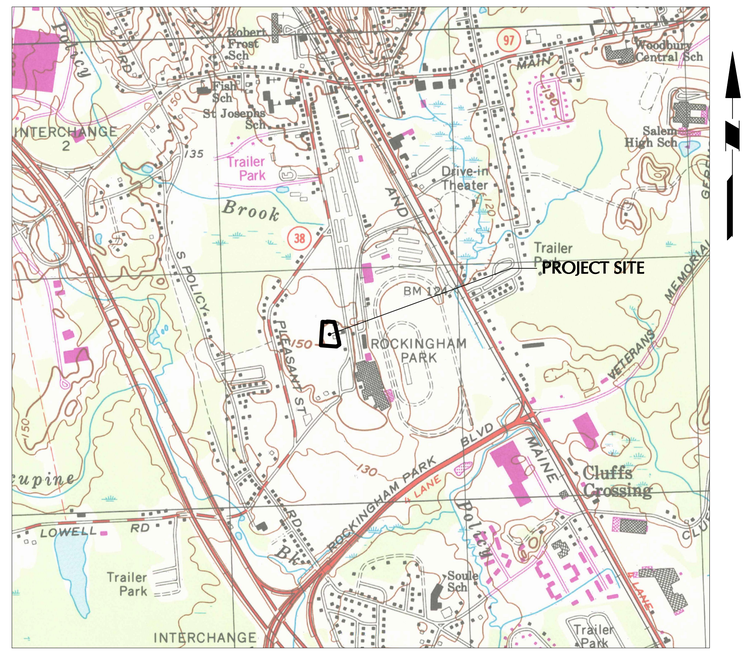
LYONS GROUP RESTAURANT
AT THE MALL AT ROCKINGHAM PARK
PLANNING BOARD SUBMISSION

MAP: 107 LOT: 11154
1 MALL ROAD
TOWN OF SALEM, ROCKINGHAM COUNTY, NEW HAMPSHIRE

CIVIL DRAWING INDEX

SHEET NUMBER	DRAWING TITLE	DATE	LAST REVISED
CS001	SITE COVER SHEET	11/18/2025	12/29/2025
CS002	MASTER LEGEND & NOTES	11/18/2025	–
CS003	AREA MAP	11/18/2025	–
VT901	EXISTING CONDITIONS SURVEY	10/23/2025	–
CD101	SITE PREPARATION & DEMOLITION PLAN	11/18/2025	–
CS101	EXTERIOR SITE PLAN	11/18/2025	12/29/2025
CS501	SITE DETAILS I	11/18/2025	–
CS502	SITE DETAILS II	11/18/2025	–
TM101	GARBAGE TRUCK MOVEMENT PLAN	12/29/2025	–
TM102	FIRE TRUCK MOVEMENT PLAN	12/29/2025	–
CG101	GRADING & DRAINAGE PLAN	11/18/2025	12/29/2025
CU101	UTILITY PLAN	11/18/2025	–
CU501	UTILITY DETAILS	11/18/2025	–
LL101	SITE LIGHTING PLAN	11/18/2025	–
LL501	SITE LIGHTING DETAILS	11/18/2025	–
LP101	PLANTING PLAN	11/18/2025	–
LP501	PLANTING DETAILS	11/18/2025	–



MAP REFERENCE: USGS SALEM QUADRANGLE (7.5-MINUTE SERIES)

LOCATION MAP

SCALE: 1" = 1000'

ABUTTERS LIST

MAP	LOT	NAME	ADDRESS
98	11094	ROCKSAL MALL LLC C/O SIMON PROPERTY GROUP	PO BOX 6120 INDIANAPOLIS, IN 46207
98	12604	TUSCAN VILLAGE MASTER DEVELOPMENT LLC	PO BOX 1648 SALEM, NH 03079
107	12574	ARTISAN AT TUSCAN VIL DEV HOLDINGS, LLC	3520 PIEDMONT RD NE SUITE 410 ATLANTA, GA 30305
116	7884	ROCKSAL MALL LLC C/O SIMON PROPERTY GROUP	PO BOX 6120 INDIANAPOLIS, IN 46207

RELEASE DATES

DATE	ISSUED FOR
11/18/2025	PLANNING BOARD SUBMISSION
12/29/2025	PLANNING BOARD RESPONSE TO COMMENTS

OWNER / APPLICANT
SALEM NIM, LLC
C/O: LYONS GROUP
355 CONGRESS STREET
BOSTON, MA 02210
PHONE: 617-262-2605

ARCHITECT
GRAVITY ARCHITECTURE & DESIGN, LLC
C/O: RAYMOND R SCHAEFER
777 WEST SMITH STREET
ORLANDO, FL 32804
PHONE: 407-832-0949

CIVIL ENGINEER, LAND SURVEYOR, TRAFFIC ENGINEER & LANDSCAPE ARCHITECT
LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, INC
C/O: RICHARD SCHLICHTING
100 CAMBRIDGE STREET
BOSTON, MA 02114
PHONE: 617-824-9100

LANGAN

CS001 | SITE COVER SHEET

Site Development Plan For:
LYONS GROUP RESTAURANT
AT THE MALL AT ROCKINGHAM PARK
11 MALL ROAD
SALEM, NH

Assessors Map 107 & Lot 11154

Prepared by: Langan Engineering & Environmental Services, LLC
100 Cambridge Street, Suite 1310
Boston, MA 02114

Scale: As noted

October 30, 2025

STATE OF NEW HAMPSHIRE
JOHN D. PLANTE
No. 14072
LICENSED
PROFESSIONAL ENGINEER

JOHN D. PLANTE
NH P.E. Lic. No. 14072

Owner:
SALEM NIM, LLC
C/O LYONS GROUP
355 CONGRESS ST
BOSTON, MA 02210

Salem Planning Board Approval

Zoning Classification:
COMMERCIAL-INDUSTRIAL DISTRICT, SUBDISTRICT C (CI-C)

LANGAN

Project No. 151064501

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GENERAL NOTES

1. PLANIMETRIC & TOPOGRAPHIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS PERFORMED BY ODONE SURVEY & MAPPING IN DECEMBER 2014 AND LAGAN CT, INC IN JUNE 2016 AND SUPPLEMENTED BY FURTHER GROUND SURVEYS PERFORMED BY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, INC IN MAY 2023.
2. THE SITE LIES IN ZONE X (UNSHADED) AS SHOWN ON THE "FLOOD INSURANCE RATE MAP" ROCKINGHAM COUNTY, NEW HAMPSHIRE, FEMA MAP NUMBERS 33015C0563E, EFFECTIVE MAY 17, 2005.
3. PROPOSED SITE WORK IMPROVEMENTS SHALL CONFORM TO ANY STANDARD DETAILS AND SPECIFICATIONS OF THE TOWN OF SALEM. IN THE ABSENCE OF LOCAL STANDARDS, SITE WORK SHALL CONFORM TO THE REQUIREMENTS OF NEW HAMPSHIRE DOT STANDARD DETAILS.
4. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE (WWW.DIGSAFE.COM), EXCAVATION TEST HOLES, PERFORMING TEST BORINGS, AND PERFORMING WHATEVER ADDITIONAL INVESTIGATION NECESSARY TO PROTECT AND MAINTAIN ALL EXISTING UTILITIES TO REMAIN THROUGHOUT THE CONSTRUCTION PERIOD. ANY CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED UTILITIES DISCOVERED DURING CONSTRUCTION SHALL BE PROMPTLY REPORTED TO THE PROJECT ENGINEER.
5. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS, DIMENSIONS, AND DETAILS OF ALL DOORS, AND WALLS ASSOCIATED WITH THE BUILDING.
6. FOR AREAS OUTSIDE THE PROPERTY LINES, REPAIR AND/OR REPLACE ALL DAMAGE DONE TO EXISTING ELEMENTS (SIDEWALKS, PAVING, LANDSCAPING, ETC) AS REQUIRED BY OWNER AND/OR GOVERNING AUTHORITY.
7. ALL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD AND NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION REGULATIONS.
8. CONTRACTOR SHALL PREVENT DUST, SEDIMENT AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS. ADJOINING STREETS AND PROPERTIES TO BE KEPT FREE OF DEBRIS RESULTING FROM DEMOLITION AND SHALL BE CLEANED ON A DAILY BASIS OR AS NEEDED.
9. DUST CONTROL TREATMENTS SHALL BE APPLIED AS NECESSARY TO CONTROL AND REDUCE THE AMOUNT OF DUST WHICH MAY CAUSE OFF-SITE DAMAGE, BE A HEALTH HAZARD TO HUMANS, WILDLIFE AND PLANT LIFE, OR POSE A HAZARD TO TRAFFIC SAFETY.
10. ABBREVIATIONS:

ARCH = ARCHITECTURAL	R.O.W = RIGHT OF WAY
CONC. = CONCRETE	CO = CLEAN OUT
INV = INVERT	DIP = DUCTILE IRON PIPE
EX = EXISTING	PVC = POLYVINYL CHLORIDE PIPE (SDR-35)
HDPE = HIGH DENSITY POLYETHYLENE PIPE	OCS = OUTLET CONTROL STRUCTURE
PROP. = PROPOSED	RCP = REINFORCED CONCRETE PIPE
LF = LINEAR FEET	R&D = REMOVE & DISPOSE
RL = ROOF LEADER	R&R = REMOVE & REPLACE
TC = TOP OF CURB	TYP. = TYPICAL
BC = BOTTOM OF CURB	SWL = SINGLE WHITE LINE
TW = TOP OF WALL	SYL = SINGLE YELLOW LINE
BW = BOTTOM OF WALL	CLCB = CURBLESS CATCH BASIN
HP = HIGHPOINT	MH = MANHOLE
LA = LANDSCAPED AREA	GR = GRATE
N.T.S. = NOT TO SCALE	TF = TOP OF FRAME
INV = INVERT	CB = CURB CATCH BASIN
SMH = SANITARY SEWER MANHOLE	YRD = YARD DRAIN
FFE = FINISHED FLOOR ELEVATION	FES = FLARED END SECTION

11. ALL UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS/DETAILS OF THE UTILITY COMPANY HAVING AUTHORITY OVER THE PROPOSED WORK. ALL PROPOSED UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ORDINANCES/REQUIREMENTS GOVERNING THE PROPOSED WORK.
12. ANY UTILITY EASEMENTS REQUIRED BY ANY OF THE VARIOUS UTILITY COMPANIES SHALL BE OBTAINED, EXECUTED, AND RECORDED PRIOR TO ANY OF THE AFFECTED UTILITY WORK BEING PERFORMED.
13. ALL PROPOSED UTILITIES WILL BE LOCATED UNDERGROUND.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESETTING ALL EXISTING SANITARY AND DRAINAGE STRUCTURES AS A RESULT OF ANY UTILITY WORK TO NEW HAMPSHRE STATE STANDARDS AND AS REQUIRED BY REPAIRING, MILLING, OR OVERLAYING.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAVEMENT REPAIRS REQUIRED AS A RESULT OF ANY UTILITY WORK.
16. PAVEMENT MARKINGS
    - 16.1. PAVEMENT MARKINGS SHALL BE WHITE ON ASPHALT AND YELLOW ON CONCRETE.
    - 16.2. PAVEMENT MARKINGS PAINT SHALL BE FAST DRYING WATERBORNE TRAFFIC PAINT MEETING THE REQUIREMENTS OF TT-P-1952F TYPE II. PAINT SHALL BE APPLIED AS SPECIFIED BY MANUFACTURER.
    - 16.3. ALL PAVEMENT STRIPES SHALL BE 4-INCHES WIDE UNLESS OTHERWISE NOTED.
17. CONCRETE JOINTS ON SITE ARE TO BE FILLED WITH HOT-APPLIED JOINT FILLER, TO INCLUDE CONCRETE PAVEMENTS, MONOLITHIC CURBING AND MONOLITHIC SIDEWALKS.
18. SPOT SHOTS ALONG CURB LINES REPRESENT THE BASE OF THE CURB UNLESS NOTED OTHERWISE.
19. ALL ON-SITE CONCRETE TO BE 4,500 PSI WITH 5% TO 7% AIR ENTRAPMENT UNLESS OTHERWISE NOTED.

CONTRACTOR NOTES

1. THESE PLANS REPRESENT THE OVERALL SITEWORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITEWORK CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
2. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER AND ENGINEER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY INFORMATION THAT WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL: MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS; CORRELATE CONDITIONS WITH THE DRAWINGS; AND, RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL PERFORM ADDITIONAL TOPOGRAPHIC SURVEYS HE/SHE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
3. THE CONTRACTOR SHALL, WHEN HE/SHE DEEMS NECESSARY, PROVIDE A WRITTEN REQUESTS FOR INFORMATION (RFI) TO THE OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND/OR OWNER'S DESIGNATED REPRESENTATIVE, AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF THREE WORK DAYS FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
4. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO BID. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO BID.
5. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.
6. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.

DEMOLITION NOTES

GENERAL:

1. THE CONTRACTOR SHALL INSPECT THE SITE THOROUGHLY AND FIELD-VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. SOME UNDERGROUND UTILITIES MAY BE LOCATED DIFFERENTLY THAN SHOWN ON THIS PLAN. IN ADDITION, THERE MAY BE EXISTING UNDERGROUND UTILITIES PRESENT THAT ARE NOT SHOWN ON THIS PLAN. ALL CONTRACTORS USING THESE PLANS FOR DEMOLITION OR CONSTRUCTION SHALL CONFIRM ALL UTILITIES IN THE FIELD TO ESTABLISH LOCATIONS, SIZES, MATERIALS, AND ELEVATIONS. ANY DISCREPANCIES SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND THE CONSTRUCTION MANAGER.
2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIG SAFE, EXCAVATING THE HOLES, AND PREPARING ANY ADDITIONAL RESEARCH OR INVESTIGATIONS REQUIRED IN ORDER TO ENSURE THAT PROPOSED UTILITIES TO REMAIN ARE PROTECTED FROM DAMAGE DURING DEMOLITION. ANY DAMAGE TO EXISTING UTILITIES TO REMAIN IS REQUIRED TO BE REPAIRED BY THE CONTRACTOR.
3. THE CONTRACTOR SHALL NOTIFY AND OBTAIN ALL SHUTOFFS FOR ALL APPLICABLE UTILITIES PRIOR TO THE COMMENCEMENT OF DEMOLITION.
4. THE CONTRACTOR SHALL LOCATE/CONFIRM ALL DRAINAGE INFRASTRUCTURE AND MAINTAIN ADEQUATE STORM DRAINAGE THROUGHOUT CONSTRUCTION.
5. THE CONTRACTOR SHALL FIELD LOCATE AND PROPERLY DISCONNECT APPROPRIATE LATERALS TO LIVE MAINS PRIOR TO DEMOLITION AND IN ACCORDANCE WITH UTILITY COMPANY STANDARDS.
6. THE CONTRACTOR SHALL MAINTAIN THE SAFETY AND PROTECTION OF BOTH PEDESTRIANS AND MOTORISTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE ALL NECESSARY PRECAUTIONARY AND PROTECTIVE MEASURES, INCLUDING SIGNS, LIGHTS, BARRIERS, FENCING AND TRAFFIC FLAGMEN.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY DEMOLITION ASSOCIATED PERMITS.
8. CONTRACTOR TO PROTECT AND MAINTAIN ALL UTILITIES TO REMAIN UNTIL TEMPORARY OR PERMANENT NEW LINES ARE INSTALLED.

DEMOLITION:

9. THE CONTRACTOR SHALL REMOVE AND LEGALLY DISPOSE OF ALL STRUCTURES WITHIN THE PROJECT LIMITS INDICATED TO BE REMOVED.
10. STUMPS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH NEW HAMPSHIRE DEPARTMENT OF ENVIRONMENTAL SERVICES STANDARDS. PRIOR TOWN APPROVAL IS REQUIRED FOR ANY ON-SITE STUMP BURIALS. STUMPS CANNOT BE BURIED OR OTHERWISE DISPOSED OF WITHIN THE TOWN OWNED RIGHT-OF-WAY.
11. THE CONTRACTOR SHALL INCLUDE IN HIS BID ALL TEMPORARY FACILITIES AND SERVICES NECESSARY TO SATISFY FEDERAL, STATE, & LOCAL REQUIREMENTS INCLUDING BUT NOT LIMITED TO BRACING, SHORING, PAVEMENT REPAIR, FENCING, PEDESTRIAN AND VEHICLE ACCESS, CONCRETE PADS, ETC.

ACCESSIBILITY NOTES

1. WALKWAYS ALONG ACCESSIBLE ROUTES NOT TO EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE.
2. ALL ADA PARKING SPACES AND PASSENGER LOADING ZONES SHALL NOT EXCEED 2% IN ANY DIRECTION.
3. ALL ADA EGRESSES SHALL BE FLUSH WITH ADJOINING MATERIAL UNLESS NOTED OTHERWISE.
4. ALL RAMPS SHALL NOT EXCEED 1:12 AND 2% CROSS SLOPE.
5. CONTRACTOR SHALL CONFIRM FIELD CONDITIONS ARE CONSISTENT WITH CONSTRUCTION DOCUMENTS AND NOTIFY LANGAN ENGINEERING & ENVIRONMENTAL SERVICES, INC. OF ANY COMPLIANCE ISSUES PRIOR TO CONSTRUCTION.
6. PROPOSED SITE WORK IMPROVEMENTS SHALL CONFORM WITH THE LATEST EDITION OF THE ADA STANDARDS FOR ACCESSIBLE DESIGN TO THE BEST OF THE DESIGNER'S KNOWLEDGE.

GRADING & DRAINAGE NOTES

1. ALL PROPOSED STORM DRAINAGE PIPING TO UTILIZE WATER-TIGHT JOINTS.
2. LOCATIONS AND ELEVATIONS OF ROOF LEADERS SHOULD BE COORDINATED WITH ARCHITECTURAL & MEP DRAWINGS PRIOR TO CONSTRUCTION.
3. CLEANOUTS SHALL BE PROVIDED FLUSH TO GRADE AT ALL LOCATIONS OF ROOF DRAIN INTERSECTIONS, BENDS AND UPSTREAM ENDS.
4. ALL REQUIRED STORM LATERALS SERVICING THE BUILDINGS SHALL BE COORDINATED AND CONSTRUCTED TO WITHIN FIVE FEET OF EACH BUILDING LATERAL ENTRANCE LOCATION AT THE INVERTS NOTED. ANY NECESSARY EXTENSIONS, RELOCATIONS, OR CORRECTIONS WITHIN FIVE FEET OF THE BUILDING NECESSARY TO COMPLETE CONNECTION OF LATERALS TO THE BUILDINGS SHALL BE MADE BY THE BUILDING CONTRACTOR.
5. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE APPROPRIATE SIZES OF THE DRAINAGE STRUCTURES (CATCH BASINS, MANHOLES, YARD DRAINS, ETC.) TO ACCOMMODATE THE PIPING SHOWN.
6. STORM DRAINAGE PIPING INSTALLATION SHALL COMMENCE AT THE FURTHEST DOWNSTREAM POINT AND PROCEED UPSTREAM "IN THE DRY".
7. CONTRACTOR SHALL CONNECT ANY NEW ROOF DRAINS TO THE DRAINAGE SYSTEM. LOCATIONS AND ELEVATIONS OF ROOF LEADERS SHOULD BE COORDINATED WITH MEP AND ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR WILL BE REQUIRED TO CLEAN THE ENTIRE DRAINAGE SYSTEM OF ALL DEBRIS AND OBSTRUCTIONS BOTH DURING CONSTRUCTION AND AT THE END OF CONSTRUCTION PRIOR TO ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, REMOVAL OF ALL FORMWORK FROM STRUCTURES, CONCRETE AND MORTAR DROPPINGS, CONSTRUCTION DEBRIS, AND DIRT. THE SYSTEM SHALL BE THOROUGHLY FLUSHED CLEAN AND THE CONTRACTOR SHALL FURNISH ALL NECESSARY HOSE, PUMPS, PIPE, AND OTHER EQUIPMENT THAT MAY BE REQUIRED FOR THIS PURPOSE. NO DEBRIS SHALL BE FLUSHED INTO EXISTING STORM DRAINS, WETLANDS, OR WATERCOURSES; ALL DEBRIS SHALL BE REMOVED FROM THE SYSTEM AND DISPOSED OF IN ACCORDANCE WITH ALL GOVERNING AGENCIES.
9. ALL MANHOLE COVERS, GRATES, INLETS, AND RIMS TO REMAIN SHALL BE ADJUSTED TO PROPOSED GRADE.
10. CONTRACTOR TO PROVIDE ALL FITTINGS AND BENDS NECESSARY TO ACCOMPLISH WORK.

LEGEND

	EXISTING	PROPOSED
PROPERTY LINE		
SETBACK LINE		
BUILDING LINE		
DOOR LOCATION		
6" CURB LINE		
TRAFFIC SIGN		
STEEL BOLLARD		
CONCRETE		
BITUMINOUS CONCRETE		
LANDSCAPE AREA		LA
GRAVITY SANITARY LINE		
WATER LINE	W* W*	
UNDERGROUND TELECOMMUNICATIONS	T* T*	
UNDERGROUND ELECTRIC	E* E*	
UNDERGROUND GAS	G* G*	
STORM PIPE		
STORM CATCH BASIN		
GATE VALVE		
HYDRANT		
CONTOUR	137	135
SPOT ELEVATION	×192.54	×135.19
COMPOST FILTER SOCK		
LIMIT OF DISTURBANCE		LOD
INLET PROTECTION		
TREE		
MANHOLES		
MANHOLES		
POWER STRUCTURE	E	T
BENCHMARK		
SAWCUT		
CURB REMOVAL		

CS002	MASTER LEGEND & NOTES

Site Development Plan For:
LYONS GROUP RESTAURANT
AT THE MALL AT ROCKINGHAM PARK
11 MALL ROAD
SALEM, NH

Assessors Map 107 & Lot 11154

Prepared by: Langan Engineering & Environmental Services, LLC
100 Cambridge Street, Suite 1310
Boston, MA 02114

Scale: As noted

October 30, 2025

STATE OF NEW HAMPSHIRE JOHN D. PLANTE No. 14072 LICENSED PROFESSIONAL ENGINEER

JOHN D. PLANTE
NH P.E. Lic. No. 14072

Owner:
SALEM NIM, LLC
C/O LYONS GROUP
355 CONGRESS ST
BOSTON, MA 02210

Salem Planning Board Approval

Zoning Classification:
COMMERCIAL-INDUSTRIAL DISTRICT, SUBDISTRICT C (CI-C)

LANGAN

Project No. 151064501

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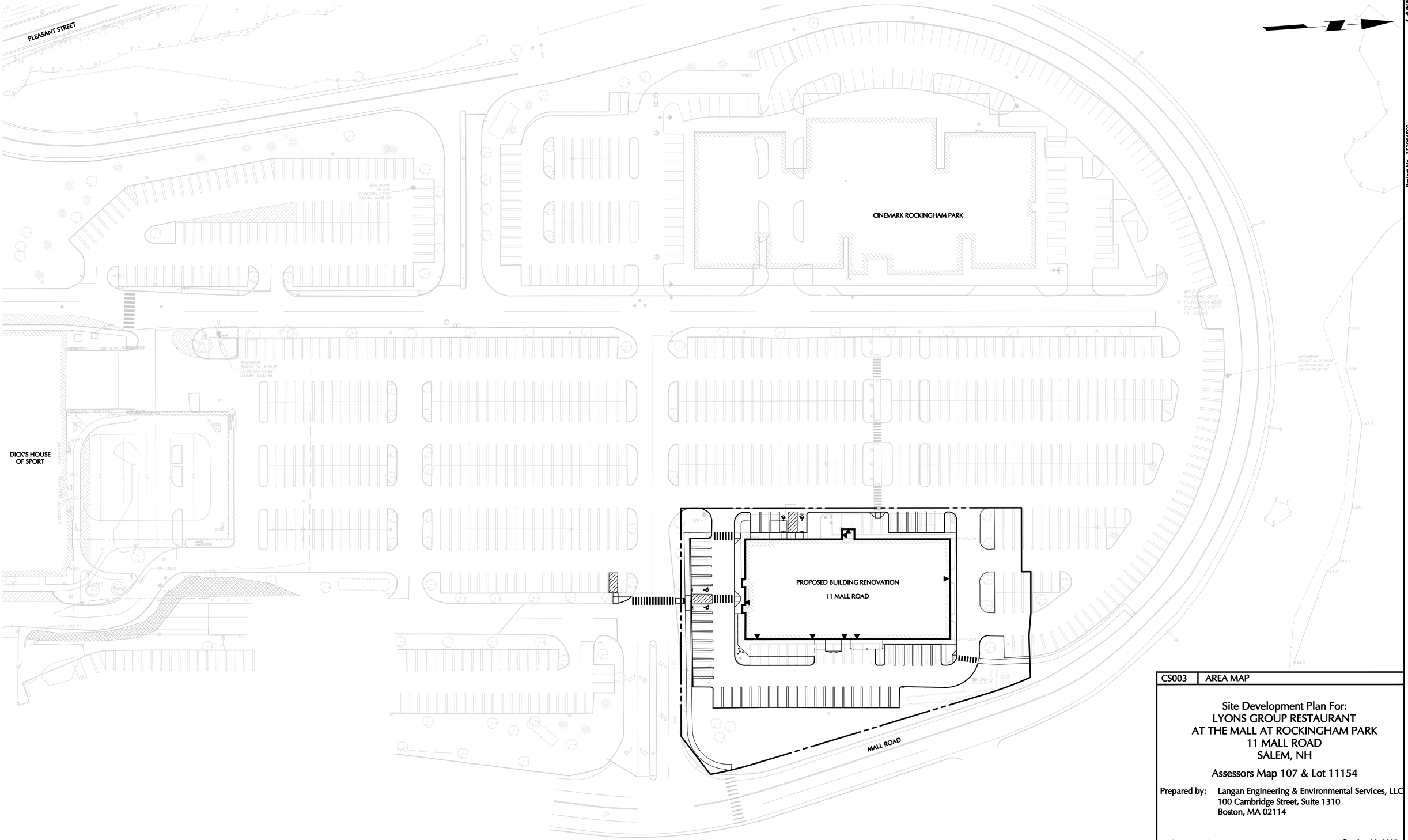

LANGAN

Project No. 151064501

CS003	AREA MAP

Site Development Plan For:
LYONS GROUP RESTAURANT
AT THE MALL AT ROCKINGHAM PARK
11 MALL ROAD
SALEM, NH

Assessors Map 107 & Lot 11154

Prepared by: Langan Engineering & Environmental Services, LLC
100 Cambridge Street, Suite 1310
Boston, MA 02114

Scale: As noted

October 30, 2025

STATE OF NEW HAMPSHIRE
JOHN D. PLANTE
No. 14072
LICENSED
PROFESSIONAL ENGINEER

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Owner:
SALEM NIM, LLC
C/O LYONS GROUP
355 CONGRESS ST
BOSTON, MA 02210

Salem Planning Board Approval

Zoning Classification:
COMMERCIAL-INDUSTRIAL DISTRICT,
SUBDISTRICT C (CI-C)

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NOTES

1. THIS SURVEY IS BASED UPON EXISTING PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, DEED INFORMATION AND THE FOLLOWING REFERENCES:

   A. COMMITMENT FOR TITLE INSURANCE ISSUED BY STEWART TITLE GUARANTY COMPANY. COMMITMENT NUMBER: 2024–61, EFFECTIVE DATE JULY 2, 2024.

2. BENCH MARK INFORMATION:

   TEMPORARY BENCH MARKS SET:

   TBM–1: PK NAIL SET IN A LIGHT POLE BASE (AS SHOWN HEREON) ELEVATION = 151.66

   TBM–2: PK NAIL SET IN A LIGHT POLE BASE (AS SHOWN HEREON) ELEVATION = 151.53

3. ELEVATIONS SHOWN ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) (GEOID 12B) AS DETERMINED BY GNSS

4. THIS PLAN IS THE RESULT OF AN ON–THE–GROUND SURVEY PERFORMED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, LLC., ON MARCH 6, 2024.

4. BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X, OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 330142 0563 E, WHICH BEARS AN EFFECTIVE DATE OF MAY 17, 2005 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. AS SHOWN ON THE FEMA WEBSITE (HTTP://MSC.FEMA.GOV) BY FIRMETTE CREATED ON MARCH 19, 2024. WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM.

5. UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND LOCATIONS WHERE DATA IS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE, THE SURVEYOR CANNOT, AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES.

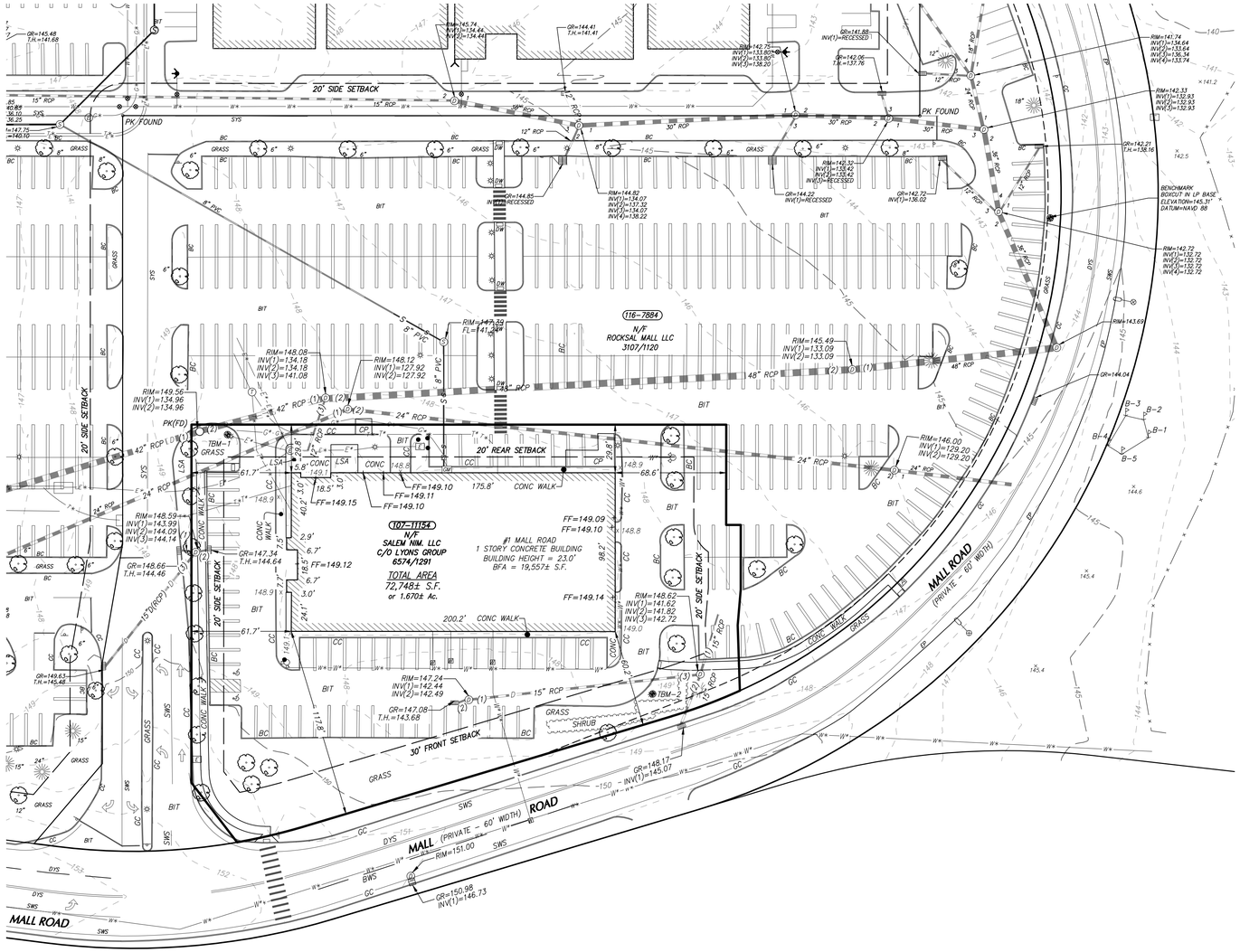
6. ADDITIONAL UTILITY (WATER, GAS, ELECTRIC ETC.) DATA IS SHOWN FROM FIELD LOCATED SURFACE MARKINGS (BY OTHERS), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS.

7. UNLESS SPECIFICALLY NOTED HEREON, THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEES THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.

8. ALL BUILDINGS AND STRUCTURES WERE LOCATED AND MEASURED AT GROUND LEVEL. THE SURVEYOR MAKES NO DETERMINATIONS OR GUARANTEES AS TO THE ABSENCE, EXISTENCE OR LOCATION OF UNDERGROUND STRUCTURES, FOUNDATIONS, FOOTINGS, PROJECTIONS, WALLS, TANKS, SEPTIC SYSTEMS, ETC. NO TEST PITS, EXCAVATIONS OR GROUND PENETRATING RADAR WERE PERFORMED AS PART OF THIS SURVEY.

9. PRIOR TO ANY DESIGN OR CONSTRUCTION, THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.

10. THE PROPERTY HAS DIRECT ACCESS TO MALL ROAD, A PRIVATE WAY.

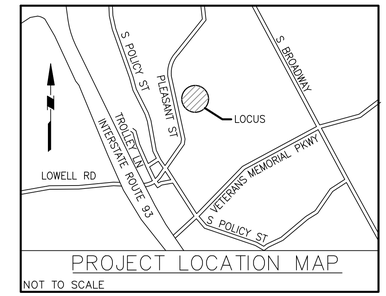


LEGEND

	PEDESTAL LIGHT
	MANHOLE (TYPE AS LABELED)
	GAS VALVE
	WATER VALVE
	UNKNOWN VALVE
	CATCH BASIN
x322.3	SPOT ELEVATION
	TREE
	SIGN
	ELECTRIC METER
	ELECTRIC BOX
	GAS METER
	TEMPORARY BENCHMARK
Ac.	ACRES
BC	BITUMINOUS CURB
BIT	BITUMINOUS
BWS	BROKEN WHITE STRIPE
CC	CONCRETE CURB
CONC	CONCRETE
CP	CONCRETE PAD
DH	DRILL HOLE
DW	DETECTABLE WARNING
DYS	DOUBLE YELLOW STRIPE
FD	FOUND
FF	FINISHED FLOOR ELEVATION
FL	FLOW LINE
GC	GRANITE CURB
GR	GRATE
IB	IRON BAR
LSA	LANDSCAPED AREA
PK	PK NAIL
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
S	SET
SB	STONE BOUND
S.F.	SQUARE FEET
SWS	SINGLE WHITE STRIPE
T.H.	TOP OF HOOD
TBM	TEMPORARY BENCH MARK

LEGEND

	PROPERTY LINE
322	CONTOUR LINE
G	GAS MARK OUT LINE
W	WATER MARK OUT LINE
E	ELECTRIC MARK OUT LINE
T	TELEPHONE MARK OUT LINE
S	SANITARY MARK OUT LINE
D	DRAINAGE MARK OUT LINE
*R	REFERENCE UTILITY LINE (TYPE AS NOTED) – PLOTTED FROM EXISTING MAPPING



PROJECT LOCATION MAP

NOT TO SCALE

LANGAN

PROJECT NO. 140141903

Date	Description	No.

REVISIONS

STATE OF MISSOURI IAN C. WISURI No. 988 LICENSED PROFESSIONAL LAND SURVEYOR

10/23/2025

IAN C. WISURI, PLS No. 988 — DATE SIGNED

LANGAN

Langan Engineering and Environmental Services, LLC.

100 Cambridge Street, Suite 1310
Boston, MA 02114

T: 617.824.9100 F: 617.824.9101 www.langan.com

Project

LYONS GROUP RESTAURANT AT THE MALL AT ROCKINGHAM

1 MALL ROAD
SALEM, 03079

ROCKINGHAM COUNTY — NEW HAMPSHIRE

Prepared for

SALEM NIM, LLC
C/O LYONS GROUP

335 CONGRESS STREET
BOSTON, MA 02210

Record Owner

SALEM NIM, LLC
C/O LYONS GROUP

6574/1291

Drawing Title

EXISTING CONDITIONS

Project No.	Drawing No.
151041901	VT901
Date: OCTOBER 23, 2025	
Drawn By: BAL	
Checked By: ICW	Sheet 1 of 1

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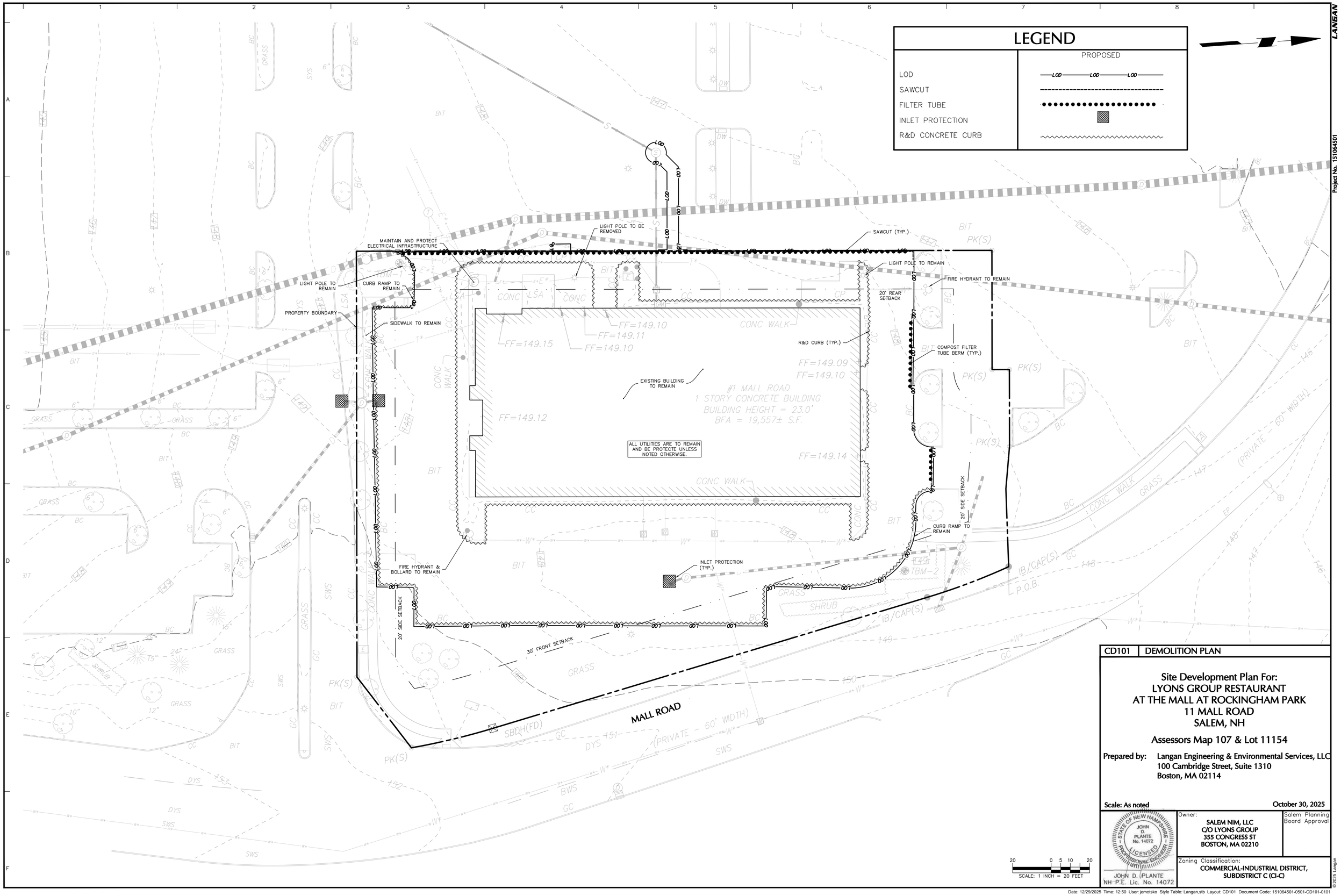
Filename: C:\bms\langan-pw-01\d0855195\151064501-0401-VT101-0101.dwg Date: 10/23/2025 Time: 15:21 User: blambert Style Table: Langan.stb Layout: 1



CD101	DEMOLITION PLAN

Site Development Plan For:
LYONS GROUP RESTAURANT
AT THE MALL AT ROCKINGHAM PARK
11 MALL ROAD
SALEM, NH

Assessors Map 107 & Lot 11154

Prepared by: Langan Engineering & Environmental Services, LLC
100 Cambridge Street, Suite 1310
Boston, MA 02114

Scale: As noted **October 30, 2025**

STATE OF NEW HAMPSHIRE
JOHN D. PLANTE
No. 14072
LICENSED
PROFESSIONAL ENGINEER

JOHN D. PLANTE
NH P.E. Lic. No. 14072

Owner:
SALEM NIM, LLC
C/O LYONS GROUP
355 CONGRESS ST
BOSTON, MA 02210

Salem Planning Board Approval

Zoning Classification:
COMMERCIAL-INDUSTRIAL DISTRICT, SUBDISTRICT C (CI-C)

LANGAN

Project No. 151064501

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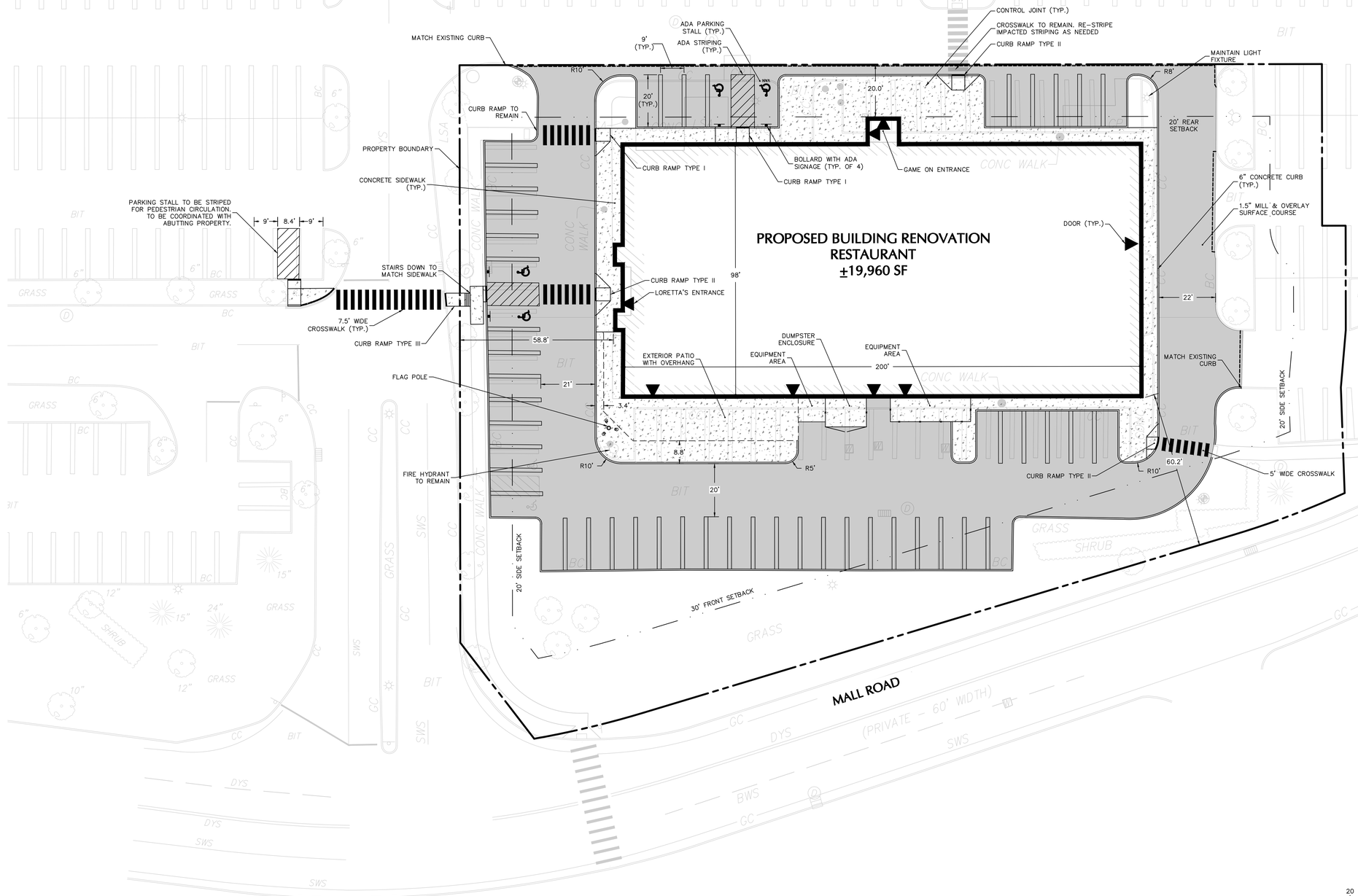
ZONING REQUIREMENTS

ZONE: COMMERCIAL–INDUSTRIAL DISTRICT, SUBDISTRICT C (CI–C)
PROPOSED USE: RESTAURANT – ALLOWED BY RIGHT

	REQUIRED	EXISTING	PROPOSED	SECTION
LOT/BUILDING				
MINIMUM LOT SIZE	NONE	72,748 SF	72,748 SF	490–202
FRONT YARD SETBACK	30 FT	±60 FT	±60.2 FT	490–202
SIDE YARD SETBACK	20 FT	±58 FT	±58.8 FT	490–202
REAR YARD SETBACK	20 FT	±30 FT	±20.0 FT	490–202
MAXIMUM LOT COVERAGE	70%	79%	78%	490–202
MAXIMUM BUILDING HEIGHT	45 FT	23 FT	23 FT	490–202
PARKING				
CAR PARKING DIMENSIONS	9 FT x 20 FT	9 FT x 20 FT	9 FT x 20 FT	490–701
NUMBER OF SPACES 1 PER 75 SF GROSS FLOOR AREA OR 1 PER 2 SEATS, WHICHEVER IS GREATER	19,960 SF / 75 = 266 SPACES	84 SPACES	68 SPACES	490–701



12/29/25	RESPONSE TO COMMENTS	1
CS101	EXTERIOR SITE PLAN	

Site Development Plan For:
LYONS GROUP RESTAURANT
AT THE MALL AT ROCKINGHAM PARK
11 MALL ROAD
SALEM, NH

Assessors Map 107 & Lot 11154

Prepared by: Langan Engineering & Environmental Services, LLC
100 Cambridge Street, Suite 1310
Boston, MA 02114

Scale: As noted

October 30, 2025

STATE OF NEW HAMPSHIRE
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No. 14072
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Salem Planning Board Approval

Zoning Classification:
COMMERCIAL-INDUSTRIAL DISTRICT, SUBDISTRICT C (CI-C)

LANGAN

Project No. 151064501

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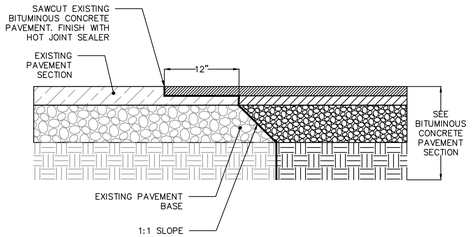
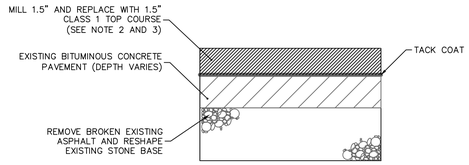


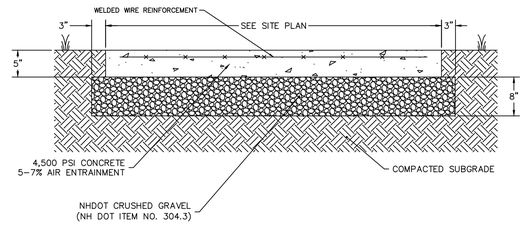
NOTES:
1. CONTRACTOR TO INSTALL TACK COAT ON ALL BUTT EDGES OF EXISTING PAVEMENT

1 SAWCUT PAVEMENT SECTION
N.T.S.



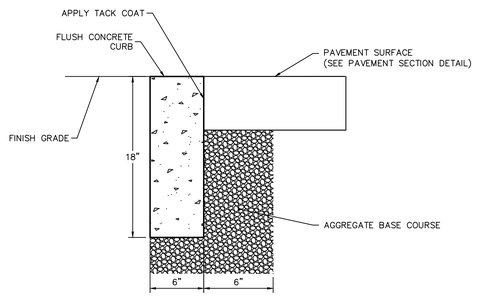
NOTES:
1. BITUMINOUS CONCRETE SHALL CONFORM TO NHDOT SPECIFICATION
2. ACTUAL MILL DEPTH TO BE "GRADE-CONTROLLED" AND SHOULD BE ADJUSTED TO MATCH GRADES AS SHOWN. MILL DEPTH MAY BE VARIABLE AND A WEDGE COARSE MAY BE REQUIRED. TOP COURSE TO BE A CONSISTENT 2 INCHES
3. AFTER MILLING, CONTRACTOR TO INSPECT REMAINING PAVEMENT AND REPAIR FULL DEPTH AS REQUIRED

2 ASPHALT PAVEMENT MILL AND OVERLAY
N.T.S.



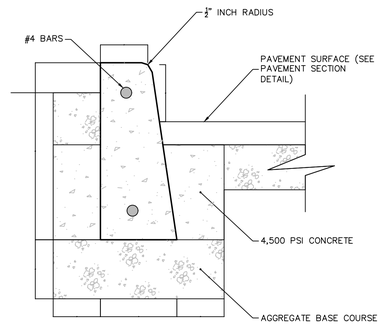
NOTES:
1. ALL CONTROL JOINTS TO BE SAWCUT.
2. SIDEWALKS TO COMPLY WITH LOCAL STANDARDS WHERE APPLICABLE.
3. EXPANSION AND CONTROL JOINTS SHALL BE INSTALLED PER LAYOUT AND DIMENSIONING PLANS. IF NOT SPECIFICALLY DETAILED MAXIMUM SPACING OF JOIN.T.S. SHALL BE AS FOLLOWS:
   EXPANSION – 20 FT.
   CONTROL – 6 FT.
4. CONTROL JOINTS SHALL BE SPACED EQUAL TO THE WIDTH BUT SHALL NOT EXCEED 6 FT. CARE SHALL BE TAKEN TO ASSURE UNIFORM GRADE, FREE OF SAGS AND SHORT GRADE CHANGES.
5. SURFACE TEXTURE SHALL BE A LIGHT BROOMING, TRANSVERSE TO THE LENGTH OF THE WALK.

3 CONCRETE SIDEWALK
N.T.S.



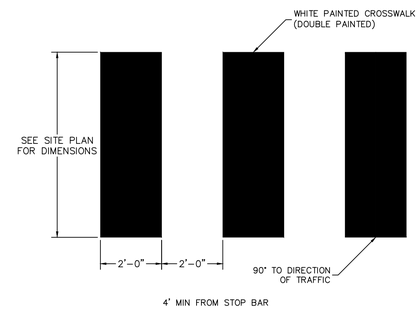
NOTES:
1. CONCRETE TO TEST 4,500 PSI MINIMUM ON 28 DAY TEST.

4 FLUSH CONCRETE CURB
N.T.S.

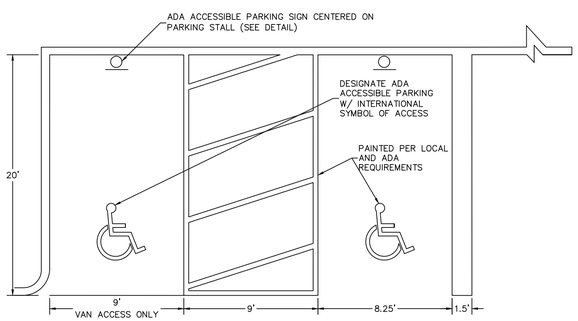


NOTES:
1. CONCRETE TO TEST 4,500 PSI MINIMUM ON 28 DAY TEST.

5 CONCRETE CURB
N.T.S.

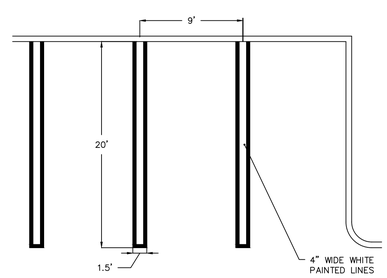


6 CROSSWALK
N.T.S.

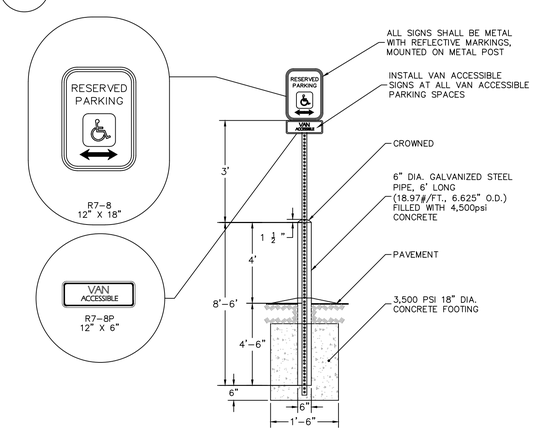


NOTES:
1. ALL PAINT SHALL BE FAST DRYING WATERBORNE TRAFFIC PAINT, MEETING THE REQUIREMENTS OF TT-P-1952F TYPE II, PAINT SHALL BE APPLIED AS SPECIFIED BY THE MANUFACTURER.
2. SYMBOLS & PARKING STALLS SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN DISABILITIES ACT (ADA) AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
3. APPLY TWO COATS OF TRAFFIC PAINT. ALLOW FOR A MINIMUM CURE TIME PER MANUFACTURER.

7 ACCESSIBLE PARKING STRIPING
N.T.S.



8 PARKING STALL STRIPING
N.T.S.



ACCESSIBLE PARKING SIGN SHALL CONFORM WITH CURRENT STATE & LOCAL CODES AND REGULATIONS.

NOTES:
1. ALL POSTS SHALL BE OF ADEQUATE LENGTH TO MEET THE REQUIREMENTS FOR ERECTION AS STATED IN THE CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS".
2. ALL POSTS SHALL BE EMBEDDED 4'-6" MINIMUM BELOW GRADE.
3. ALL STEEL POSTS AND BRACKETS SHALL BE CUT, BENT, AND HOLES PUNCHED AND DRILLED BEFORE GALVANIZING. GALVANIZING SHALL BE IN CONFORMANCE WITH CURRENT A.S.T.M. SPECIFICATION A123-78 (OR LATEST REVISED).
4. POSTS SHALL BE BREAKAWAY TYPE II TWO-PIECE U-POST OR OTHER BREAKAWAY STRUCTURAL SUPPORT HARDWARE AS NOTED IN THE LATEST EDITION OF AASHTO'S "SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINARIES, AND TRAFFIC SIGNALS."
5. SIGN PANEL SIZES SHALL DETERMINE POST TYPE AND NUMBERS AS SHOWN ON THIS DETAIL AND DIRECTIONAL SIGN SHEET.
6. BOLTS SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT BUT SHALL ENGAGE ALL THREADS IN THE NUT.

9 ACCESSIBLE PARKING SIGN
N.T.S.

CS501	SITE DETAILS I

Site Development Plan For:
LYONS GROUP RESTAURANT
AT THE MALL AT ROCKINGHAM PARK
11 MALL ROAD
SALEM, NH

Assessors Map 107 & Lot 11154

Prepared by: Langan Engineering & Environmental Services, LLC
100 Cambridge Street, Suite 1310
Boston, MA 02114

Scale: As noted — October 30, 2025

STATE OF NEW HAMPSHIRE — JOHN D. PLANTE No. 14072 — LICENSED PROFESSIONAL ENGINEER
JOHN D. PLANTE
NH P.E. Lic. No. 14072

Owner:
SALEM NIM, LLC
C/O LYONS GROUP
355 CONGRESS ST
BOSTON, MA 02210

Salem Planning Board Approval

Zoning Classification:
COMMERCIAL-INDUSTRIAL DISTRICT, SUBDISTRICT C (CI-C)

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Project No. 151064501

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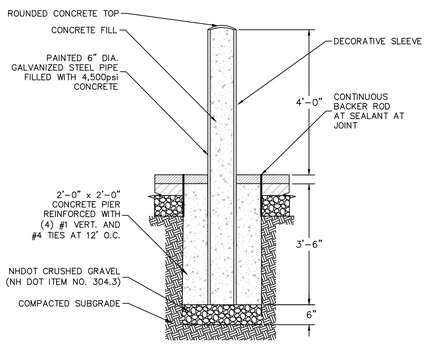
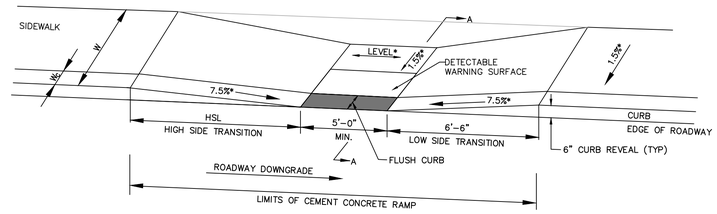


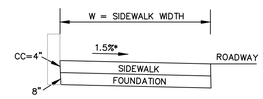
NOTES:
1. ACCEPTABLE MATERIALS FOR PROCESSED AGGREGATE BASE SHALL INCLUDE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION (MDOT SS) DENSE GRADED CRUSHSED STONE (M2.01.07), PROCESSED GRAVEL (M1.03.1), RECYCLED ASPHALT PAVEMENT (M3.11.02).

1 BOLLARD
N.T.S.



LEGEND:
W = SIDEWALK WIDTH
W_C = CURB WIDTH
CC = CEMENT CONCRETE
* = TOLERANCE FOR CONSTRUCTION ±0.5%

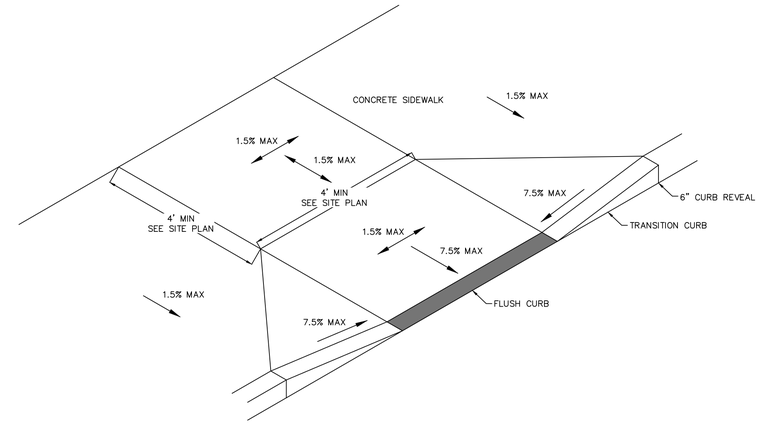
USABLE SIDEWALK WITH PER AAB = W – W_C
USABLE SIDEWALK WITH PER AAB IS NOT TO BE LESS THAN 4'-0"



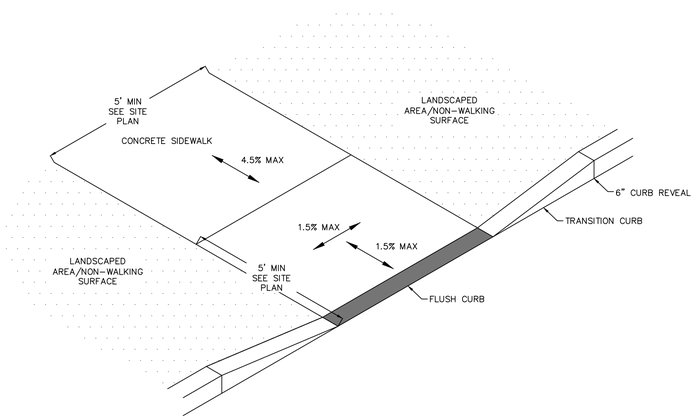
SECTION A–A

NOTE:
ROADWAY, GUTTER, AND FIRST 6" OF SIDEWALK TO BE ADJUSTED FOR FIELD CONDITIONS

2 CURB RAMP TYPE I
N.T.S.



3 CURB RAMP TYPE II
N.T.S.



4 CURB RAMP TYPE III
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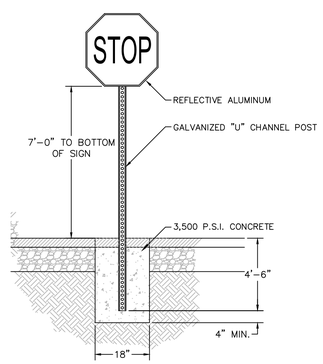

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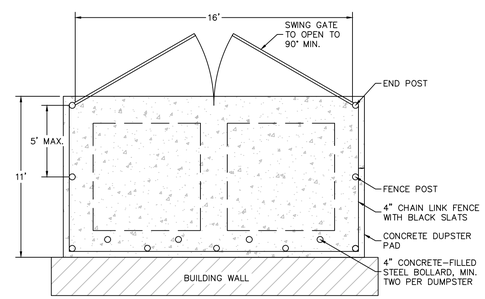
5. SIGN PANEL SIZES SHALL DETERMINE POST TYPE AND NUMBERS AS SHOWN ON THIS DETAIL AND DIRECTIONAL SIGN SHEET.
6. BOLTS SHALL NOT PROTRUDE MORE THAN 3/4" BEYOND THE NUT WHEN TIGHT BUT SHALL ENGAGE ALL THREADS IN THE NUT.
7. ALL TRAFFIC AND PEDESTRIAN SIGNAGE AND LOCATION SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND ALL CURRENT AMENDMENTS.

5 TRAFFIC SIGN
N.T.S.



NOTES:
1. FINAL DESIGN TO BE COORDINATED WITH TRASH VENDOR

6 DUMPSTER ENCLOSURE
N.T.S.

CS502	SITE DETAILS II

Site Development Plan For:
LYONS GROUP RESTAURANT
AT THE MALL AT ROCKINGHAM PARK
11 MALL ROAD
SALEM, NH

Assessors Map 107 & Lot 11154

Prepared by: Langan Engineering & Environmental Services, LLC
100 Cambridge Street, Suite 1310
Boston, MA 02114

Scale: As noted **October 30, 2025**

STATE OF NEW HAMPSHIRE – JOHN D. PLANTE No. 14072 – LICENSED PROFESSIONAL ENGINEER
JOHN D. PLANTE
NH P.E. Lic. No. 14072

Owner:
SALEM NIM, LLC
C/O LYONS GROUP
355 CONGRESS ST
BOSTON, MA 02210

Salem Planning Board Approval

Zoning Classification:
COMMERCIAL-INDUSTRIAL DISTRICT, SUBDISTRICT C (CI-C)

LANGAN
Project No. 151064501
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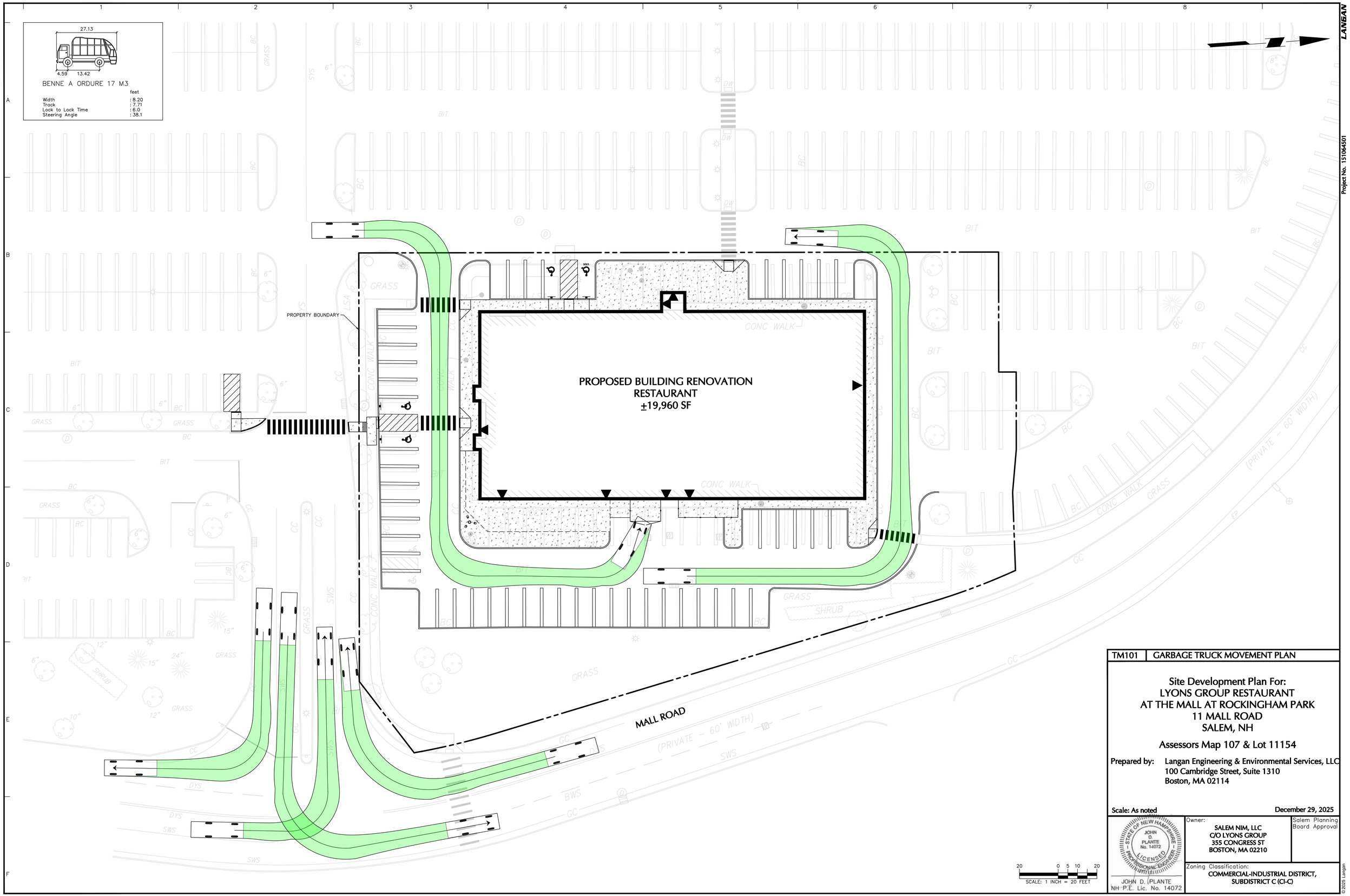

TM101	GARBAGE TRUCK MOVEMENT PLAN

Site Development Plan For:
LYONS GROUP RESTAURANT
AT THE MALL AT ROCKINGHAM PARK
11 MALL ROAD
SALEM, NH

Assessors Map 107 & Lot 11154

Prepared by: Langan Engineering & Environmental Services, LLC
100 Cambridge Street, Suite 1310
Boston, MA 02114

Scale: As noted

December 29, 2025

STATE OF NEW HAMPSHIRE
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No. 14072
LICENSED
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SUBDISTRICT C (CI-C)

LANGAN

Project No. 151064501

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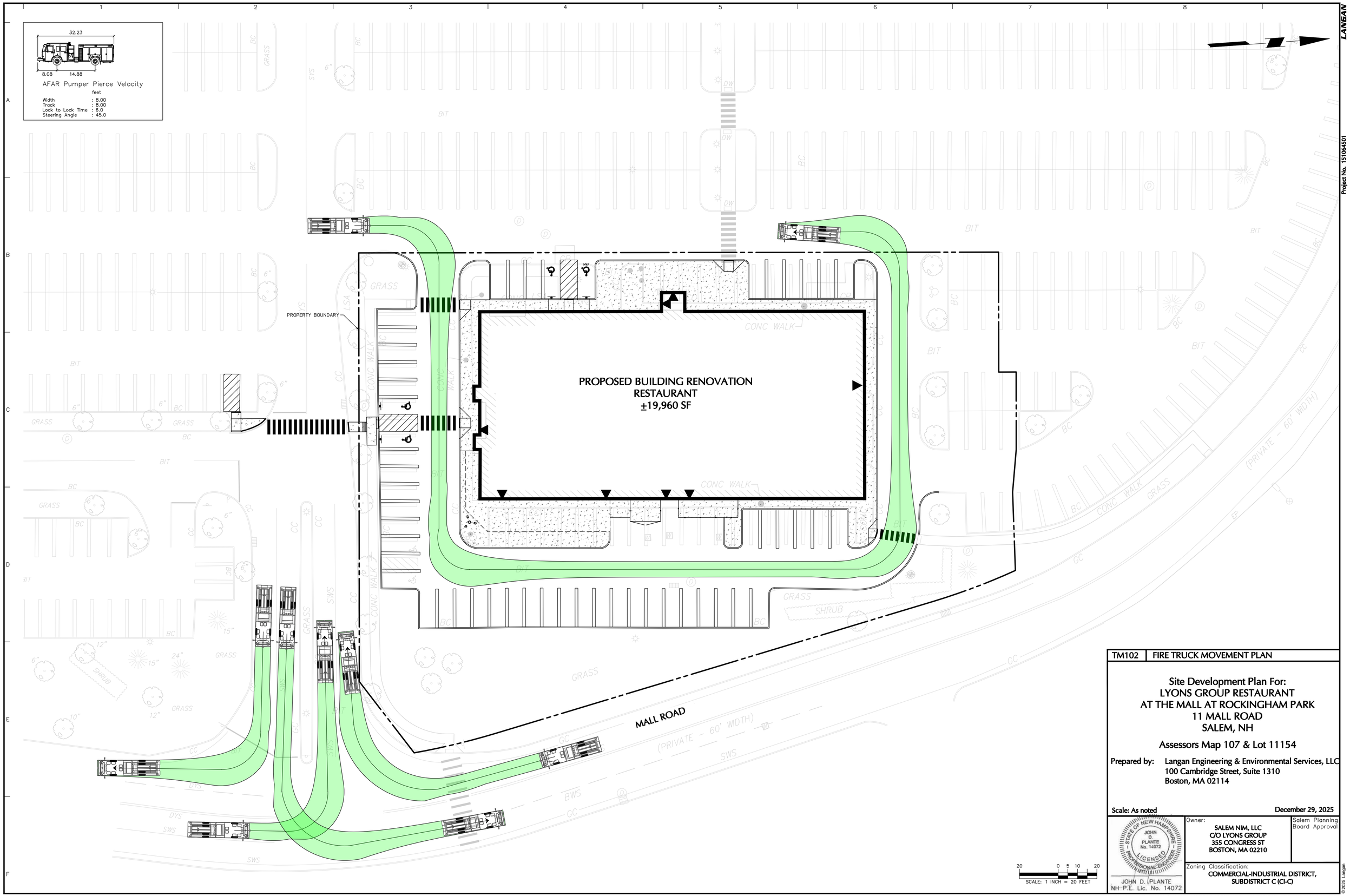

TM102	FIRE TRUCK MOVEMENT PLAN

Site Development Plan For:
LYONS GROUP RESTAURANT
AT THE MALL AT ROCKINGHAM PARK
11 MALL ROAD
SALEM, NH

Assessors Map 107 & Lot 11154

Prepared by: Langan Engineering & Environmental Services, LLC
100 Cambridge Street, Suite 1310
Boston, MA 02114

Scale: As noted

December 29, 2025

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No. 14072
LICENSED
PROFESSIONAL ENGINEER

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C/O LYONS GROUP
355 CONGRESS ST
BOSTON, MA 02210

Salem Planning Board Approval

Zoning Classification:
COMMERCIAL-INDUSTRIAL DISTRICT,
SUBDISTRICT C (CI-C)

LANGAN

Project No. 151064501

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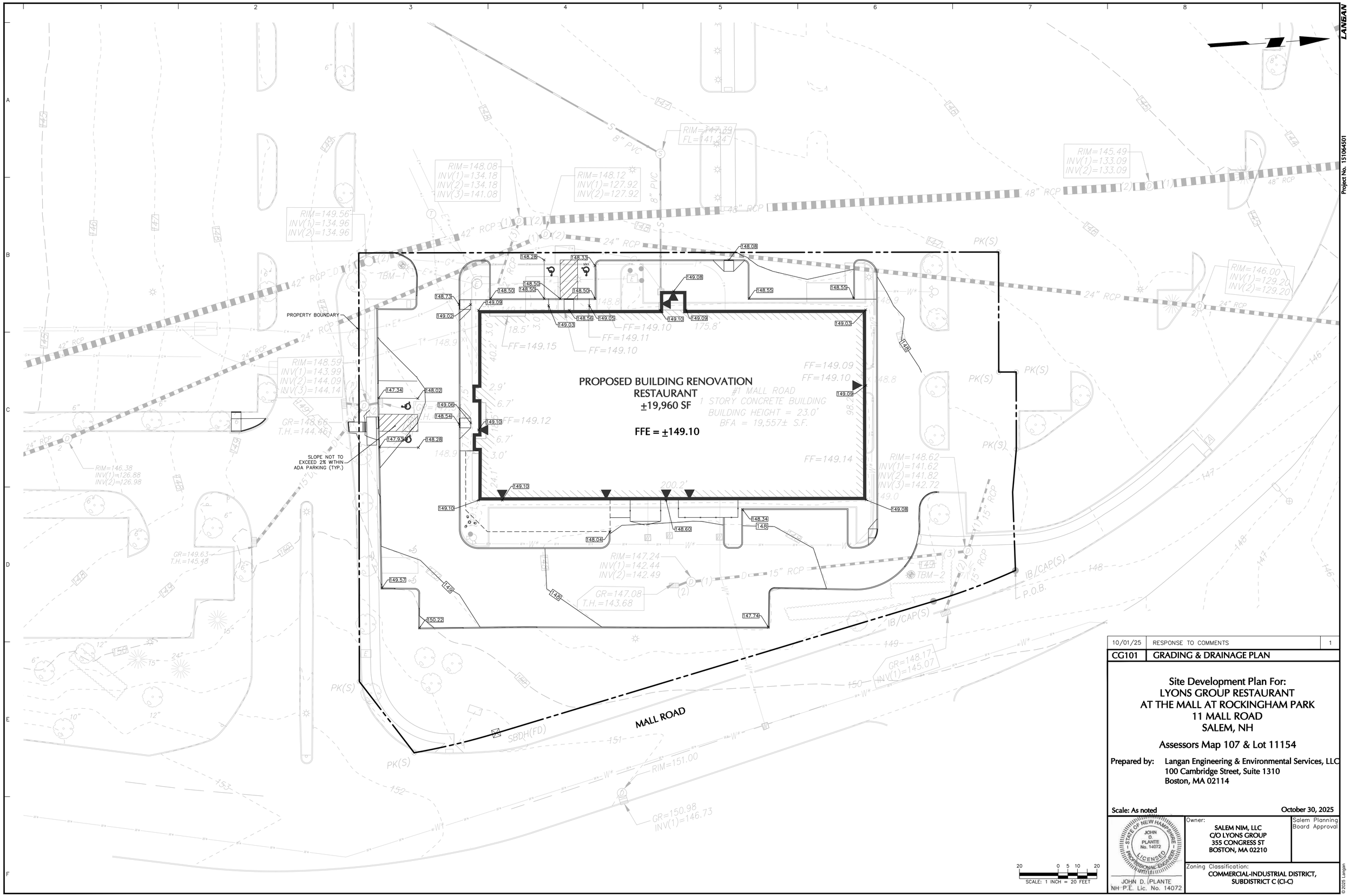
Date: 12/29/2025 Time: 13:00 User: jemotsko Style Table: Langan.stb Layout: TM102 Document Code: 151064501-0501-KT101-0102



10/01/25	RESPONSE TO COMMENTS	1
CG101	GRADING & DRAINAGE PLAN	

Site Development Plan For:
LYONS GROUP RESTAURANT
AT THE MALL AT ROCKINGHAM PARK
11 MALL ROAD
SALEM, NH

Assessors Map 107 & Lot 11154

Prepared by: Langan Engineering & Environmental Services, LLC
100 Cambridge Street, Suite 1310
Boston, MA 02114

Scale: As noted **October 30, 2025**

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SUBDISTRICT C (CI-C)

LANGAN

Project No. 151064501

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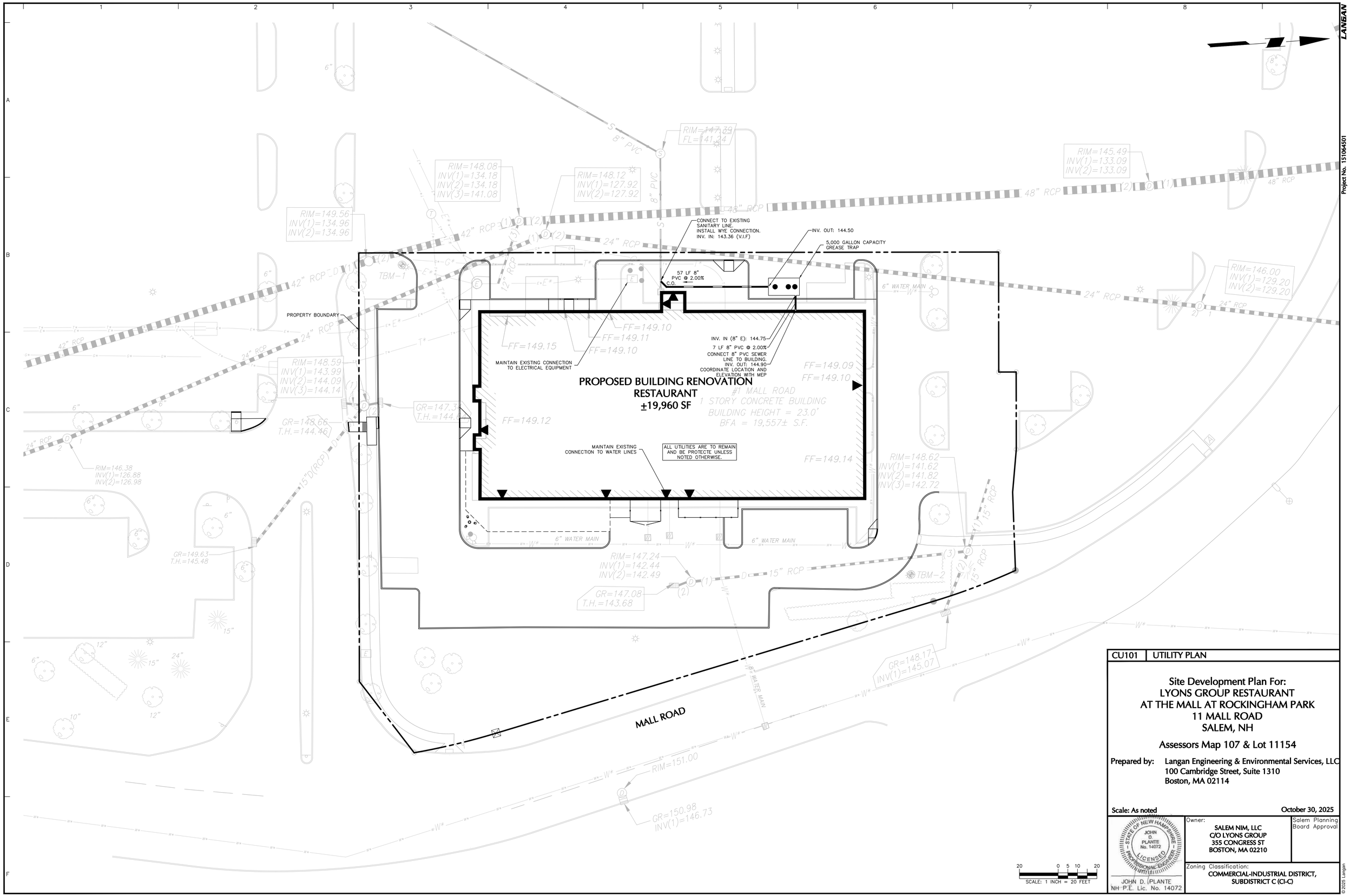
Date: 12/29/2025 Time: 12:50 User: jemotsko Style Table: Langan.stb Layout: CG101 Document Code: 151064501-0501-CG101-0101



CU101	UTILITY PLAN

Site Development Plan For:
LYONS GROUP RESTAURANT
AT THE MALL AT ROCKINGHAM PARK
11 MALL ROAD
SALEM, NH

Assessors Map 107 & Lot 11154

Prepared by: Langan Engineering & Environmental Services, LLC
100 Cambridge Street, Suite 1310
Boston, MA 02114

Scale: As noted

October 30, 2025

STATE OF NEW HAMPSHIRE
JOHN D. PLANTE
No. 14072
LICENSED
PROFESSIONAL ENGINEER

JOHN D. PLANTE
NH P.E. Lic. No. 14072

Owner:
SALEM NIM, LLC
C/O LYONS GROUP
355 CONGRESS ST
BOSTON, MA 02210

Salem Planning Board Approval

Zoning Classification:
COMMERCIAL-INDUSTRIAL DISTRICT, SUBDISTRICT C (CI-C)

LANGAN

Project No. 151064501

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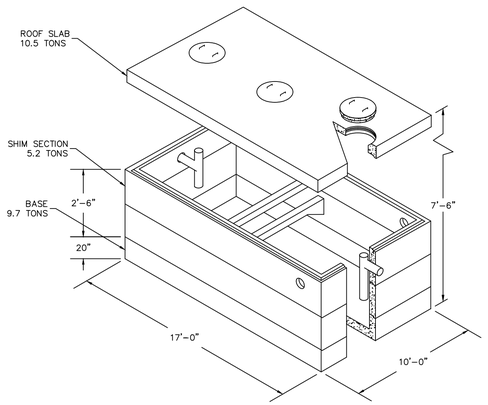
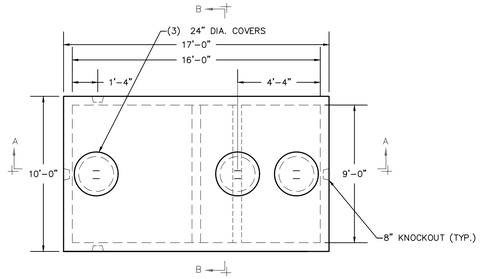
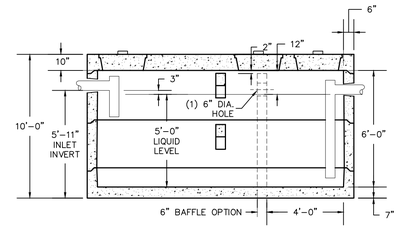
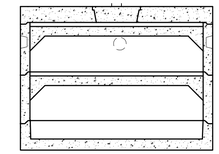




PLAN VIEW



SECTION A-A



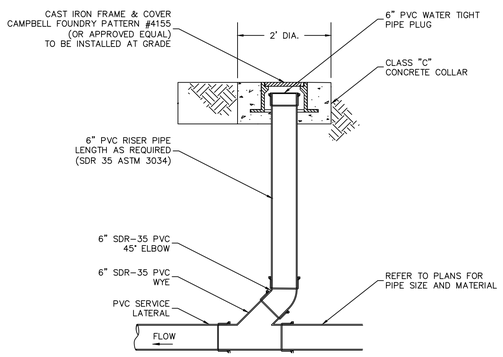
SECTION B-B

NOTES:
1) CONCRETE: 5,000 PSI
2) STEEL REINFORCING – ASTM A-615, GRADE 60.
3) COVER TO STEEL-1" MIN.
4) TANKS ARE DESIGNED TO MEET ASTM C858 AND ACI 318 WITH AASHTO HS-20 LOADING.
5) EARTH COVER -0 TO 5 FT MAX.
6) CONSTRUCTION JOINT-SEALED WITH 1" DIA BUTYL RUBBER OR EQUIVALENT.

1 5,000 GALLON GREASE TRAP

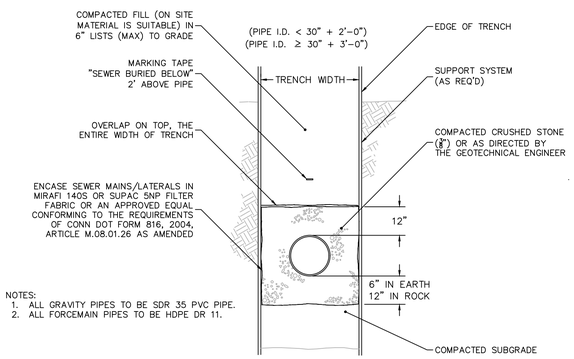
N.T.S.

SOURCE: OLD CASTLE



2 CLEAN OUT FOR GRAVITY SEWER

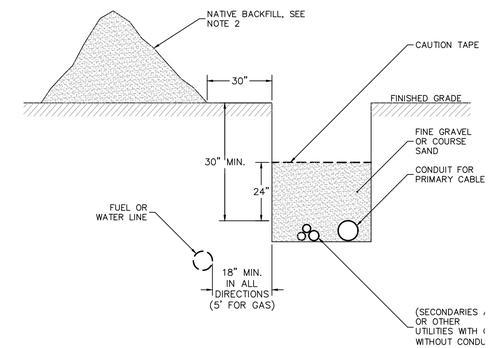
N.T.S.



NOTES:
1. ALL GRAVITY PIPES TO BE SDR 35 PVC PIPE.
2. ALL FORCEMAIN PIPES TO BE HDPE DR 11.

3 SANITARY TRENCH

N.T.S.



NOTES:
1. ALL DIRECT-BURIED CABLES SHALL BE INSTALLED AT A DEPTH OF AT LEAST 30 INCHES IN THE FOLLO
   A. ENSURE THAT THE BOTTOM OF THE TRENCH IS WELL-TAMPED AND FREE OF ROCKS.
   B. INSTALL THE CONDUIT, GLUING ALL COUPLINGS.
   C. INSTALL SECONDARIES AND OTHER UTILITY CABLES OR CONDUITS LARGER THAN 2 INCHES IN MAXIMU
   D. BACKFILL WITH 12 INCHES CLEAN FILL NOT TO CONTAIN STONES LARGER THAN 2 INCHES IN MAXIMU
   E. INSTALL CABLE WARNING TAPE 12 INCHES OVER THE CONDUIT.
   F. FILL IN THE REMAINDER OF THE TRENCH WITH NATIVE BACKFILL.
2. THE TRENCH SHALL BE BACKFILLED IMMEDIATELY FOLLOWING PLACEMENT OF THE CONDUIT.
3. 1/4-INCH NYLON ROPE AND PLASTIC CONDUIT PLUG TO BE SUPPLIED AND INSTALLED BY CONTRACTOR

4 UTILITY TRENCH

N.T.S.

CU501	UTILITY DETAILS I

Site Development Plan For:
LYONS GROUP RESTAURANT
AT THE MALL AT ROCKINGHAM PARK
11 MALL ROAD
SALEM, NH

Assessors Map 107 & Lot 11154

Prepared by: Langan Engineering & Environmental Services, LLC
100 Cambridge Street, Suite 1310
Boston, MA 02114

Scale: As noted

October 30, 2025

STATE OF NEW HAMPSHIRE
JOHN D. PLANTE
No. 14072
LICENSED
PROFESSIONAL ENGINEER

JOHN D. PLANTE
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Owner:
SALEM NIM, LLC
C/O LYONS GROUP
355 CONGRESS ST
BOSTON, MA 02210

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Zoning Classification:
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Project No. 151064501

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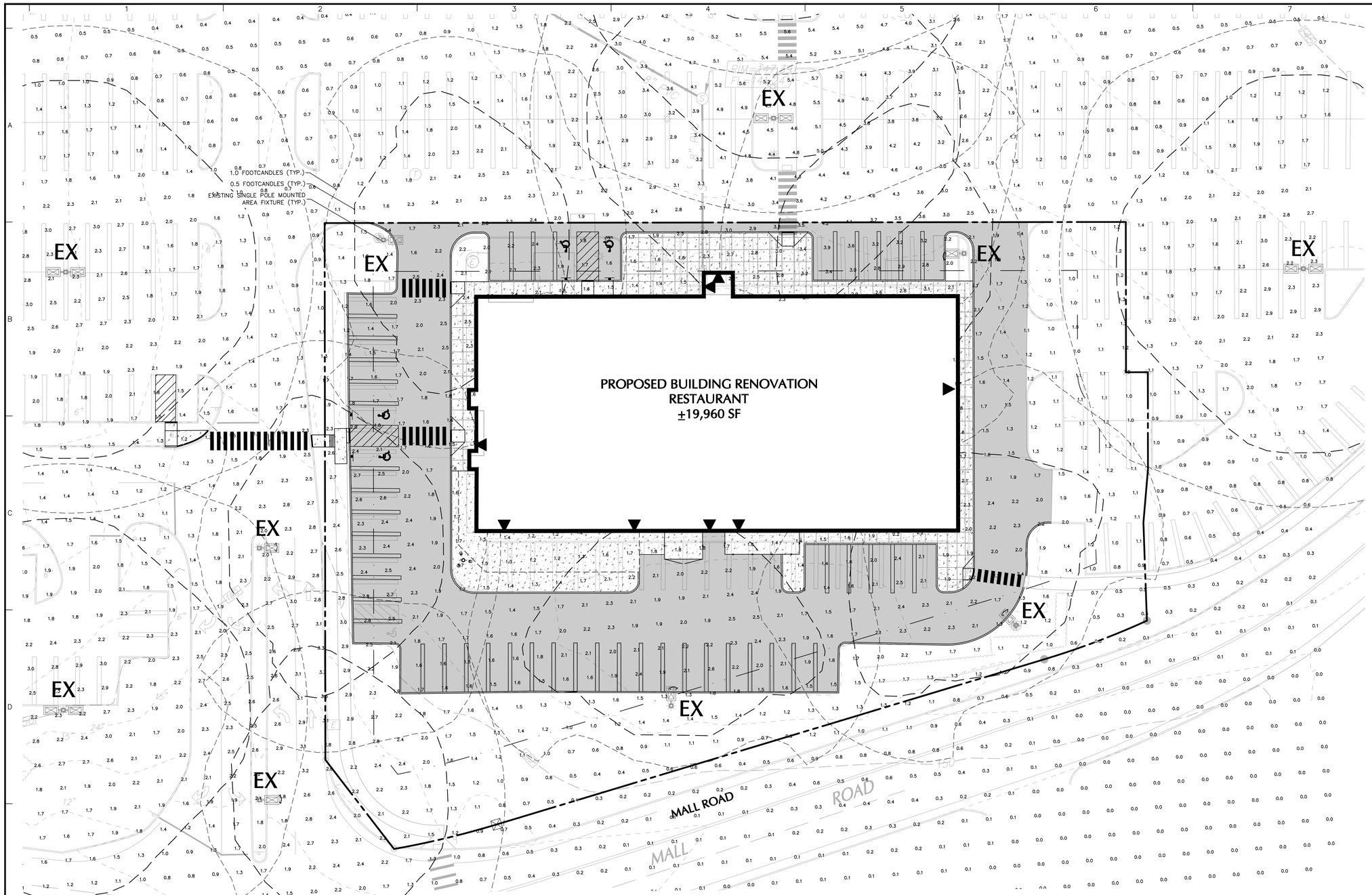

SITE LIGHTING SCHEDULE

SYMBOL	KEY	QTY	FIXTURE MANUFACTURER	FIXTURE MODEL	FIXTURE DESCRIPTION	FIXTURE MOUNTING HEIGHT	LAMP	COLOR TEMPERATURE	OPTICS	LUMENS	LLF	FIXTURE CATALOGUE NO.	POLE MANUFACTURER	POLE DESCRIPTION	POLE LENGTH	POLE CATALOGUE NO.	REMARKS
	EX	4	EVOLVE	EVOLVE LED AREA LIGHT	SINGLE POLE-MOUNTED AREA LIGHT FIXTURE; COLOR: DARK BRONZE	40'	283W LED	4000K	TYPE IV	30,300	0.90	GE456218_TCM201-6409	–	–	–	–	–

NOTES:
1. REFER TO ELECTRICAL DRAWINGS FOR SITE LIGHTING VOLTAGES
2. LIGHT LEVELS DO NOT REFLECT BUILDING MOUNTED FIXTURES

STATISTICS

DESCRIPTION	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PARKING	2.0fc	3.9fc	1.1fc	1.8:1	3.6:1
PEDESTRIAN	1.96fc	3.4fc	1.2fc	1.6:1	2.8:1

20 0 5 10 20
SCALE: 1 INCH = 20 FEET

LANGAN

Project No. 151064501

LL101	SITE LIGHTING PLAN

Site Development Plan For:
LYONS GROUP RESTAURANT
AT THE MALL AT ROCKINGHAM PARK
11 MALL ROAD
SALEM, NH

Assessors Map 107 & Lot 11154

Prepared by: Langan Engineering & Environmental Services, LLC
100 Cambridge Street, Suite 1310
Boston, MA 02114

Scale: As noted

October 30, 2025

LICENSED LANDSCAPE ARCHITECT
MICHAEL HUNTON
180
STATE OF NEW HAMPSHIRE

Owner:
SALEM NIM, LLC
C/O LYONS GROUP
355 CONGRESS ST
BOSTON, MA 02210

Salem Planning Board Approval

Zoning Classification:
COMMERCIAL-INDUSTRIAL DISTRICT,
SUBDISTRICT C (CI-C)

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SITE LIGHTING NOTES:

GENERAL

1. POINT–BY–POINT CALCULATIONS PROVIDED WITHIN HAVE BEEN PREPARED IN ACCORDANCE TO IESNA STANDARDS AND IN CONSIDERATION OF THE VARIABLES WITHIN THESE NOTES AND SITE LIGHTING SCHEDULE. THE VALUES SHOWN ON THE PLANS ARE NOT AN INDICATION OF THE INITIAL LIGHT INTENSITIES OF THE LAMPS. THESE VALUES ARE AN APPROXIMATION OF THE MAINTAINED INTENSITIES DELIVERED TO THE GROUND PLANE USING INDUSTRY STANDARD LIGHT LOSS FACTORS (LLF) WHICH COVER LAMP DEGRADATION AND NATURAL BUILDUP/ DIRT DEGRADATION ON THE FIXTURE LENS. THE LIGHTING PLAN IS DESIGNED WITH AN INDUSTRY STANDARD LLF IN ACCORDANCE WITH GUIDANCE AS PROVIDED BY IESNA. MINOR VARIATIONS IN TOPOGRAPHY, PHYSICAL OBSTRUCTIONS, AMBIENT OR ADJACENT LIGHT SOURCES AND/OR OTHER POTENTIAL IMPACTS HAVE NOT BEEN INCLUDED IN THESE CALCULATIONS. THEREFORE, AS–BUILT LIGHT INTENSITIES MAY VARY, IN EITHER DIRECTION, FROM WHAT IS EXPLICITLY PORTRAYED WITHIN THESE DRAWINGS.NO GUARANTEE OF LIGHT LEVELS IS EXPRESSED OR IMPLIED BY THE POINT BY POINT CALCULATIONS SHOWN ON THESE PLANS.
2. LIGHT LEVEL POINT SPACING IS 10 FT. LEFT TO RIGHT AND 10 FT. TOP TO BOTTOM. POINT BY POINT CALCULATIONS ARE BASED ON THE LIGHT LOSS FACTOR AS STATED IN THE LIGHTING SCHEDULE.

COMPLIANCE

3. ALL SITE LIGHTING RELATED WORK AND MATERIALS SHALL COMPLY WITH CITY, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
4. LIGHTING LAYOUT COMPLIES WITH THE ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) SAFETY STANDARDS FOR LIGHT LEVELS.

COORDINATION

5. CONTRACTOR TO COORDINATE POWER SOURCE WITH LIGHT FIXTURES TO ENSURE ALL SITE LIGHTING IS OPERATING EFFECTIVELY, EFFICIENTLY AND SAFELY.
6. REFER TO ELECTRIFICATION PLAN FOR PROVIDING ADEQUATE POWER FOR SITE LIGHTING.
7. CONTRACTOR TO COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
8. INSTALLATION OF ALL LIGHTING FIXTURES, POLES, FOOTINGS, AND FEEDER CABLE TO BE COORDINATED WITH ALL SITE WORK TRADES TO AVOID CONFLICT WITH FINISHED AND PROPOSED WORK.
9. CONTRACTOR TO COORDINATE INSTALLATION OF UNDERGROUND FEEDER CABLE FOR EXTERIOR LIGHTING WITH EXISTING AND PROPOSED UTILITIES, SITE DRAINAGE SYSTEMS, AND PAVING. CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND DURING EXCAVATIONS.

POLES AND FOOTINGS

10. PROVIDE A CONCRETE BASE FOR EACH LIGHT POLE AT THE LOCATIONS INDICATED ON THE CONSTRUCTION DRAWINGS AND/OR IN ACCORDANCE WITH PROJECT PLANS AND SPECIFICATIONS RELATING DIRECTLY TO CAST–IN–PLACE CONCRETE. THE USE OF ALTERNATE LIGHTING FOUNDATIONS, SUCH AS PRECAST, MAY CHANGE THE SIZING AND REINFORCEMENT REQUIREMENTS FROM THOSE SHOWN ON THESE PLANS. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO ORDERING ANY SUBSTITUTED PRODUCTS.
11. CONTRACTOR SHALL EXAMINE AND VERIFY THAT SOIL CONDITIONS ARE SUITABLE TO SUPPORT LOADS EXERTED UPON THE FOUNDATIONS DURING EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNSATISFACTORY CONDITIONS.
12. POLE FOUNDATIONS SHALL NOT BE POURED IF FREE STANDING WATER IS PRESENT IN EXCAVATED AREA.
13. ALL POLES 25 FT OR GREATER SHALL BE EQUIPPED WITH FACTORY INSTALLED VIBRATION DAMPENERS.

WALL MOUNTED FIXTURES

14. CONTRACTOR TO COORDINATE INSTALLATION OF ALL THE WALL MOUNTED FIXTURES AND ELECTRICAL CONNECTIONS TO SITE STRUCTURE(S) WITH BUILDING MEP, ARCHITECT, AND/OR OWNER.
15. INSTALLATION AND ELECTRICAL CONNECTIONS FOR WALL MOUNTED FIXTURES TO BE COORDINATED WITH ARCHITECTURAL, STRUCTURAL, UTILITY AND SITE PLANS AND TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES.

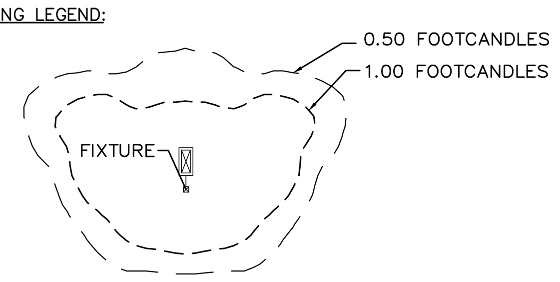
ADJUSTMENT AND INSPECTION

16. CONTRACTOR TO OPERATE EACH LUMINAIRE AFTER INSTALLATION AND CONNECTION. INSPECT FOR IMPROPER CONNECTIONS AND OPERATION.
17. CONTRACTOR TO AIM AND ADJUST ALL LUMINAIRES TO PROVIDE ILLUMINATION LEVELS AND DISTRIBUTION AS INDICATED ON THE CONSTRUCTION DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT AND/OR OWNER.
18. CONTRACTOR TO CONFIRM THAT LIGHT FIXTURES, TILT ANGLE AND AIMING MATCH SPECIFICATIONS ON THE PLANS.

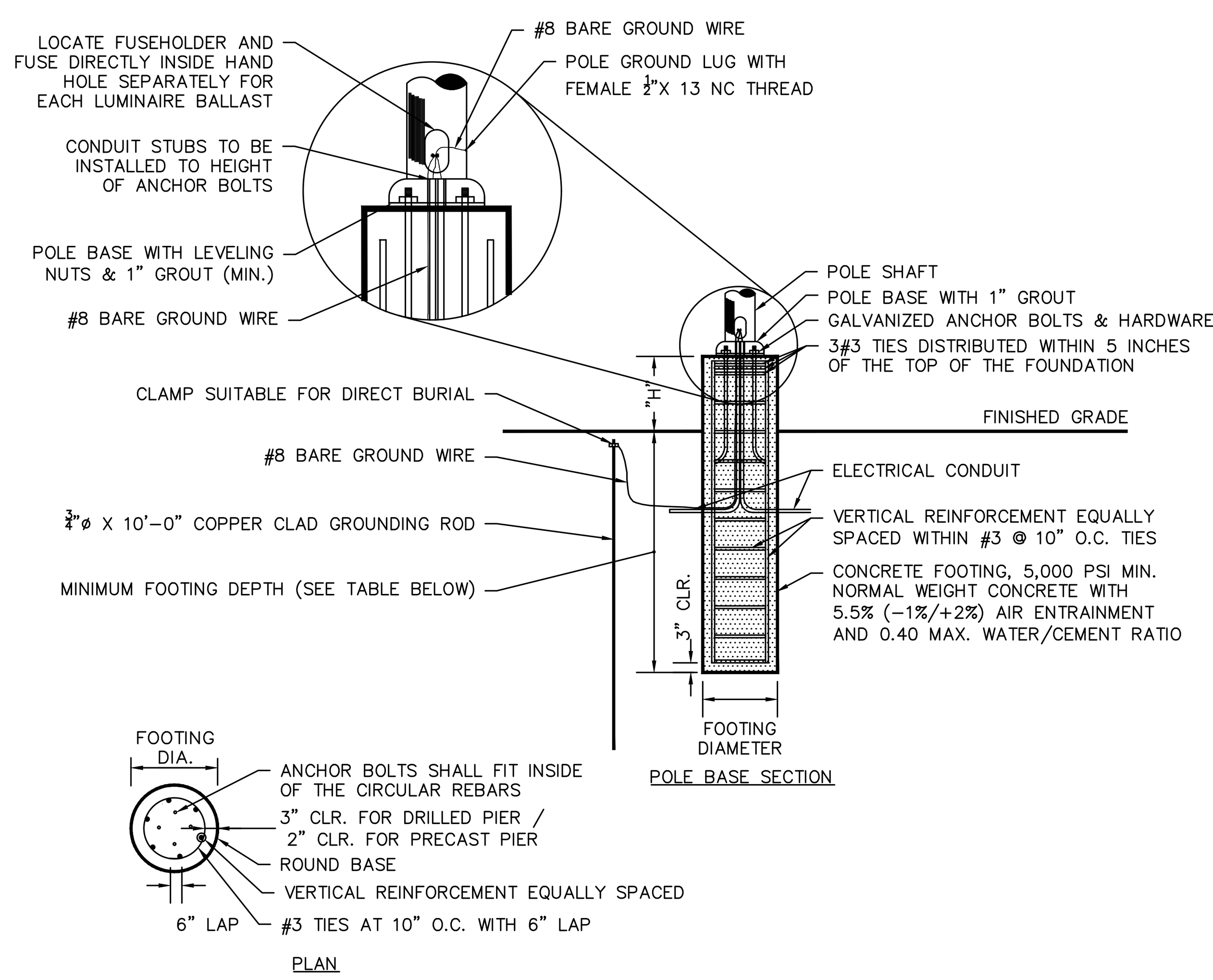
REQUIREMENTS FOR ALTERNATES

19. ALL LIGHTING SUBSTITUTIONS MUST BE MADE WITHIN 14 DAYS PRIOR TO THE BID DATE TO PROVIDE AMPLE TIME FOR REVIEW AND TO ISSUE AN ADDENDUM INCORPORATING THE SUBSTITUTION WITH THE FOLLOWING REQUIREMENTS:
    - A. ANY SUBSTITUTION TO LIGHTING FIXTURES, POLES, ETC. MUST BE APPROVED BY THE OWNER, ENGINEER AND TENANTS. ANY COST ASSOCIATED WITH REVIEW AND/OR APPROVAL OF THE SUBSTITUTIONS SHALL BE ENTIRELY BORNE BY THE CONTRACTOR
    - B. COMPUTER PREPARED PHOTOMETRIC LAYOUT OF THE PROPOSED LIGHTED AREA WHICH INDICATES, BY ISOFOOTCANDLE, THE SYSTEM'S PERFORMANCE.
    - C. A PHOTOMETRIC REPORT FROM A NATIONAL INDEPENDENT TESTING LABORATORY WITH REPORT NUMBER, DATE, FIXTURE CATALOG NUMBER, LUMINAIRE AND LAMP SPECIFICATIONS; IES CALCULATIONS, POINT BY POINT FOOT CANDLE PLAN, STATISTIC ZONES SHOWING AVERAGE, MAXIMUM, MINIMUM AND UNIFORMITY RATIOS, SUMMARY, ISOLUX PLOT, AND CATALOGUE CUTS. CATALOGUE CUTS MUST IDENTIFY OPTICS, LAMP TYPE, DISTRIBUTION TYPE, REFLECTOR, LENS, BALLASTS, WATTAGE, VOLTAGE, FINISH HOUSING DESCRIPTION AND ALL OTHER PERTINENT INFORMATION.
    - D. POLE MANUFACTURER AASHTO CALCULATIONS INDICATING THE POLE AND ANCHOR BOLTS BEING SUBMITTED ARE CAPABLE OF SUPPORTING THE POLE AND FIXTURE SYSTEMS BEING UTILIZED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
    - E. THE UNDERWRITERS LABORATORY LISTING AND FILE NUMBER FOR THE SPECIFIC FIXTURE(S) TO BE UTILIZED.
    - F. A COLOR PHOTOGRAPH THAT CLEARLY SHOWS THE REPLACEMENT FIXTURE POLE MOUNTED, THE FIXTURE'S COLOR, FINISH, AND PHYSICAL CHARACTERISTICS.

PHOTOMETRIC LIGHTING LEGEND:



NOTE: THE PHOTOMETRIC TEMPLATE REPRESENTS LIGHT THROW FOR EACH INDIVIDUAL FIXTURE AND DOES NOT REPRESENT LIGHT COMING FROM OTHER SOURCES.



NOTES:

1. SHAFT CAP, ARMS, BASE FLANGE, ANCHOR BOLTS, LEVELING NUTS, CONNECTION HARDWARE, BOLT COVERS, HANDHOLE COVER, AND BOLT CIRCLE TEMPLATE SHALL BE FURNISHED BY POLE MANUFACTURER.
2. EACH STANDARD TO BE PROTECTED AGAINST LIGHTNING WITH AN INTERCONNECTED GROUND ROD. THIS ROD SHALL BE BONDED PER SECTION NUMBER 250–86, N.E.C.
3. CONCRETE WORK SHALL COMPLY WITH THE REQUIREMENT OF ACI 318. CAST–IN–PLACE SHALL HAVE UNCONFINED COMPRESSIVE STRENGTH OF AT LEAST 5,000 PSI AT 28–DAYS. DEFORMED REINFORCEMENT BARS SHALL CONFORM TO ASTM A615, GRADE 60.
4. CONTRACTOR TO ENSURE CONCRETE POLE BASES ARE POURED / PLACED ABSOLUTELY VERTICAL & LEVEL.
5. IF POLE BASE IS CAST–IN–PLACE, POLE BASE SHALL BE ONE CONTINUOUS POUR. EXPOSED PORTION OF BASE SHALL BE HAND–RUBBED SMOOTH.
6. CONTRACTOR TO COMPACT SUBGRADE AROUND POLE BASE PER EARTHWORK SPECIFICATIONS / GEOTECH REPORT.
7. FOOTING SHOP DRAWINGS TO BE SUBMITTED TO PROJECT CIVIL ENGINEER PRIOR TO INSTALLATION.
8. CONTRACTOR TO CONFIRM GROUNDING DESIGN WITH MEP.

FIXTURE TYPE	MOUNTING HEIGHT	FOOTING DEPTH	FOOTING DIAMETER	EXPOSED HEIGHT "H"	VERTICAL REINFORCEMENT
A	40'	4'–6"	2'–0"	3'–0'' BASE	6#5 BARS

1 LIGHT FIXTURE BASE

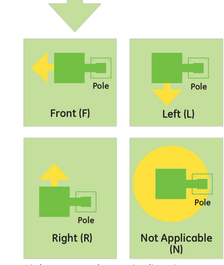
N.T.S

Ordering Number Logic

Evolve™ LED Scalable Area Light (EASA)

E A S A _ _ - _ - _ _ - _ - _ - _ _ - _ - _ - _ _ _ _ - _ _

PROD. ID	VOLTAGE	OPTICAL CODE	DISTRIBUTION ORIENTATION	DRIVE CURRENT	LED COLOR TEMP	PE FUNCTION	MOUNTING ARM	COLOR	OPTIONS
E = Evolve A = Area S = Scalable A = Photometric Series A	0 = 120 - 277 1 = 120* 2 = 208* 3 = 240* 4 = 277* 5 = 480* D = 347* H = 347-480 *Specify single voltage if fuse option is selected.		F = Front L = Left R = Right N = Not Applicable	5 = 525MA (<433W only) 7 = 700MA (433W only)	40 = 4000K 57 = 5700K	1 = None 2 = PE Rec. 4 = PE Rec. with Shorting Cap 5 = PE Rec. with Control # 7 = Dimming PE Receptacle *† (UL only) 9 = Dimming PE Receptacle with Shorting Cap *† (UL only) # PE control not available for 347-480V. Must be a discrete voltage (347V or 480V). † When ordering PE function socket 7 or 9, a dimming driver must also be ordered under the "OPTIONS" column * Order dimming control PE as a separate item	A = 10" Arm for Square Pole supplied with leads B = 10" Arm for Round Pole supplied with leads C = EXT Slip-fitter 2" Pipe (2.378 in. OD) supplied with leads	BLCK = Black DKBZ = Dark Bronze Contact manufacturer for other colors	D2 = Dimmable (0-10 Volt Input) F = Fusing T = Extra Surge Protection* XXX = Special Options * Contact manufacturer for T option availability



Light pattern thrown in direction specified in relation to Pole and Fixture.

	OPTICAL CODE	TYPE	TYPICAL INITIAL LUMENS 4000K	TYPICAL INITIAL LUMENS 5700K	TYPICAL SYSTEM WATTAGE 120-277V	TYPICAL SYSTEM WATTAGE 347-480V	DISTRIBUTION ORIENTATION AVAILABLE	BUG RATINGS* 4000K B	4000K U	4000K G	5700K B	5700K U	5700K G	IES FILE NUMBER 4000K	IES FILE NUMBER 5700K
TYPE V	D5	Symmetric Medium	9,400	10,200	120	120	N	3	0	2	3	0	2	455198	455129
	E5	Symmetric Medium	12,400	13,400	162	162	N	4	0	2	4	0	2	455197	455128
	F5	Symmetric Medium	15,300	16,500	199	199	N	4	0	2	4	0	2	455196	455127
	G5	Symmetric Medium	18,100	19,600	236	236	N	4	0	2	4	0	2	455195	455126
	H5	Symmetric Medium	21,800	23,600	285	285	N	5	0	3	5	0	3	455194	455163
	J5	Symmetric Medium	30,300	31,800	433	433	N	5	0	3	5	0	3	456214	456215
	N5	Symmetric Short	10,200	11,000	120	120	N	3	0	1	3	0	1	455211	455142
	P5	Symmetric Short	13,300	14,400	162	162	N	3	0	2	3	0	2	455210	455141
	Q5	Symmetric Short	16,500	17,800	199	199	N	4	0	2	4	0	2	455209	455140
	R5	Symmetric Short	19,500	21,100	236	236	N	4	0	2	4	0	2	455208	455139
	S5	Symmetric Short	23,600	25,500	285	285	N	4	0	2	4	0	2	455207	455138
	T5	Symmetric Short	32,600	35,300	433	433	N	5	0	2	5	0	2	456216	456217
TYPE IV	A4	Asymmetric Forward	4,800	5,200	62	67	F, L, R	1	0	2	1	0	2	455206	455137
	B4	Asymmetric Forward	6,300	6,800	82	82	F, L, R	1	0	2	1	0	2	455205	455136
	C4	Asymmetric Forward	7,800	8,400	101	101	F, L, R	1	0	2	1	0	2	455204	455135
	D4	Asymmetric Forward	9,300	10,000	120	120	F, L, R	2	0	2	2	0	2	455203	455134
	E4	Asymmetric Forward	11,200	12,100	145	145	F, L, R	2	0	2	2	0	3	455202	455133
	F4	Asymmetric Forward	15,300	16,500	199	199	F, L, R	2	0	3	2	0	3	455201	455132
	G4	Asymmetric Forward	18,100	19,600	236	236	F, L, R	3	0	4	3	0	4	455200	455131
	H4	Asymmetric Forward	21,800	23,600	285	285	F, L, R	3	0	4	3	0	4	455232	455130
	J4	Asymmetric Forward	30,300	32,800	433	433	F, L, R	3	0	5	3	0	5	456218	456219
TYPE III	A3	Asymmetric Wide	5,100	5,500	62	67	F, L, R	1	0	1	1	0	1	455219	455150
	B3	Asymmetric Wide	6,800	7,300	82	82	F, L, R	1	0	1	1	0	1	455218	455149
	C3	Asymmetric Wide	8,300	9,000	101	101	F, L, R	2	0	2	2	0	2	455217	455148
	D3	Asymmetric Wide	9,900	10,700	120	120	F, L, R	2	0	2	2	0	2	455216	455147
	E3	Asymmetric Wide	11,900	12,900	145	145	F, L, R	2	0	2	2	0	2	455215	455146
	F3	Asymmetric Wide	16,500	17,800	199	199	F, L, R	2	0	2	2	0	2	455214	455145
	G3	Asymmetric Wide	19,500	21,100	236	236	F, L, R	2	0	2	3	0	3	455213	455144
	H3	Asymmetric Wide	23,600	25,500	285	285	F, L, R	3	0	3	3	0	3	455212	455143
	J3	Asymmetric Wide	32,600	35,300	433	433	F, L, R	3	0	4	3	0	4	456220	456221
TYPE II	A2	Asymmetric Narrow	5,100	5,500	62	67	F, L, R	1	0	1	1	0	1	455227	455158
	B2	Asymmetric Narrow	6,700	7,200	82	82	F, L, R	2	0	2	2	0	2	455226	455157
	C2	Asymmetric Narrow	8,200	8,900	101	101	F, L, R	2	0	2	2	0	2	455225	455156
	D2	Asymmetric Narrow	9,700	10,500	120	120	F, L, R	2	0	2	2	0	2	455224	455155
	E2	Asymmetric Narrow	11,700	12,700	145	145	F, L, R	2	0	2	2	0	2	455223	455154
	F2	Asymmetric Narrow	16,100	17,400	199	199	F, L, R	3	0	3	3	0	3	455222	455153
	G2	Asymmetric Narrow	19,100	20,600	236	236	F, L, R	3	0	3	3	0	3	455221	455152
	H2	Asymmetric Narrow	22,900	24,800	285	285	F, L, R	3	0	3	3	0	3	455220	455151
	J2	Asymmetric Narrow	32,400	35,100	433	433	F, L, R	3	0	4	3	0	4	456222	456223

*Rating values for B and G are based on rated lumens and may vary due to flux tolerances.

2 FIXTURES 'A'

N.T.S

LL501 | SITE LIGHTING NOTES AND DETAILS

Site Development Plan For:
LYONS GROUP RESTAURANT
AT THE MALL AT ROCKINGHAM PARK
11 MALL ROAD
SALEM, NH

Assessors Map 107 & Lot 11154

Prepared by: Langan Engineering & Environmental Services, LLC
100 Cambridge Street, Suite 1310
Boston, MA 02114

Scale: As noted

October 30, 2025

LICENSED LANDSCAPE ARCHITECT · MICHAEL HUNTON · 180 · STATE OF NEW HAMPSHIRE

Owner:
SALEM NIM, LLC
C/O LYONS GROUP
355 CONGRESS ST
BOSTON, MA 02210

Salem Planning Board Approval

Zoning Classification:
COMMERCIAL-INDUSTRIAL DISTRICT, SUBDISTRICT C (CI-C)

LANGAN

Project No. 151064501

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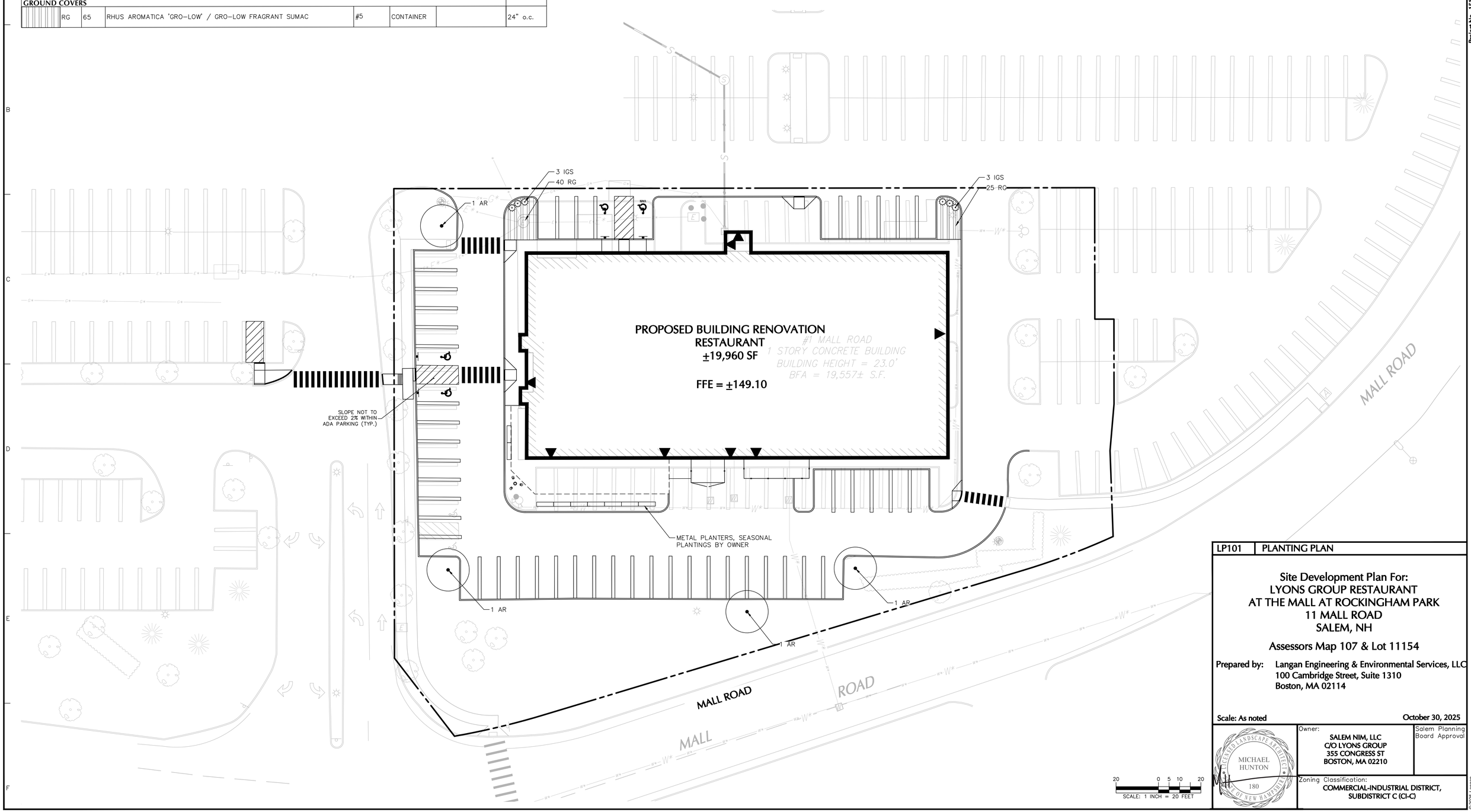
Date: 12/29/2025 Time: 12:52 User: jemotsko Style Table: Langan.stb Layout: LL501 Document Code: 151064501-0501-LL501-0101

PLANT SCHEDULE

SYMBOL	KEY	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT	HEIGHT / SPREAD	
DECIDUOUS TREES							
	AR	4	ACER RUBRUM / RED MAPLE	3" CAL.	B&B		
EVERGREEN SHRUBS							
	IGS	6	ILEX GLABRA 'SHAMROCK' / SHAMROCK INKBERRY HOLLY	#5	CONTAINER	3' O.C.	
SYMBOL	**KEY**	**QTY**	**BOTANICAL / COMMON NAME**	**SIZE**	**ROOT**	**HEIGHT / SPREAD**	**SPACING**
GROUND COVERS							
	RG	65	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	#5	CONTAINER		24" o.c.

CITY OF SALEM REGULATIONS COMPLIANCE CHART

REGULATION SECTION	REQUIRED / PERMITTED		COMPLIANCE
§ 490-403	CONTIGUOUS PARKING AREAS WITH 11 OR MORE PARKING STALLS SHALL PROVIDE CANOPY SHADE TREES OF THREE-INCH CALIPER OR GREATER FOR EVERY SIX PARKING STALLS OR FRACTION THEREOF SELECTED FROM THE SPECIES AS SET FORTH IN THE SITE PLAN REVIEW REGULATIONS. ALTERNATELY, ONE SHADE TREE OF FOUR-INCH CALIPER OR GREATER MAY BE PLANTED FOR EVERY 12 PARKING STALLS OR FRACTION THEREOF. EACH TREE SHALL BE LOCATED IN A PLANTING AREA AND/OR TREE WELL NO LESS THAN NINE SQUARE FEET IN AREA.	52 STALLS/ 6 = 8.6 4 PROPOSED THREE-INCH CALIPER TREES + 8 EXISTING TREES = 12 TREES IN TOTAL FOR 52 PARKING STALLS	COMPLIED



LP101	PLANTING PLAN

Site Development Plan For:
LYONS GROUP RESTAURANT
AT THE MALL AT ROCKINGHAM PARK
11 MALL ROAD
SALEM, NH

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LICENSED LANDSCAPE ARCHITECT
MICHAEL HUNTON
180
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GENERAL LANDSCAPE PLANTING NOTES

1. INVOICES FOR ALL PLANTING WITHIN WETLAND AND WETLAND BUFFER SHALL BE PROVIDED AND APPROVED BY CONSERVATION COMMISSION PRIOR TO INSTALLATION.
2. NAMES OF PLANTS AS DESCRIBED ON THIS PLAN CONFORM TO THOSE GIVEN IN "STANDARDIZED PLANT NAMES", 1942 EDITION, PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. NAMES OF PLANT VARIETIES NOT INCLUDED THEREIN CONFORM TO NAMES GENERALLY ACCEPTED IN NURSERY TRADE.
3. ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE CONTRACT LIMIT LINE, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL MULCH THAT WILL PREVENT SOIL EROSION AND THE EMANATION OF DUST.
4. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
5. STANDARDS FOR TYPE, SPREAD, HEIGHT, ROOT BALL AND QUALITY OF NEW PLANT MATERIAL SHALL BE IN ACCORDANCE WITH GUIDELINES AS SET FORTH IN THE "AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. PLANT MATERIAL SHALL HAVE NORMAL HABIT OF GROWTH AND BE HEALTHY, VIGOROUS, AND FREE FROM DISEASES AND INSECT INFESTATION.
6. NEW PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE SET PLUMB AND SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING. PLANT MATERIAL OF THE SAME SPECIES AND SPECIFIED AS THE SAME SIZE SHOULD BE SIMILAR IN SHAPE, COLOR AND HABIT. THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REJECT PLANT MATERIAL THAT DOES NOT CONFORM TO THE TYPICAL OR SPECIFIED HABIT OF THAT SPECIES.
7. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES PRIOR TO THE START OF EXCAVATION ACTIVITIES. NOTIFY THE PROJECT ENGINEER AND OWNER IMMEDIATELY OF ANY CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
8. THE CONTRACTOR SHALL NOT MAKE SUBSTITUTIONS. IF THE SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, THE CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO THE LANDSCAPE ARCHITECT AND OWNER, TOGETHER WITH A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL.
9. LANDSCAPE CONTRACTOR TO STAKE OUT PLANTING LOCATIONS, FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR OWNER BEFORE PLANTING WORK BEGINS. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE FINAL PLACEMENT OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
10. THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE, BEFORE PLANTING, FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE, AND QUALITY. THE LANDSCAPE ARCHITECT RETAINS THE RIGHT TO FURTHER REVIEW PLANT MATERIALS FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEM, INSECTS, INJURIES, AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIALS IMMEDIATELY FROM PROJECT SITE AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
11. DELIVERY, STORAGE, AND HANDLING
    A. PACKAGED MATERIALS: PACKAGED MATERIALS SHALL BE DELIVERED IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. MATERIALS SHALL BE PROTECTED FROM DETERIORATION DURING DELIVERY, AND WHILE STORED AT SITE.
    B. TREES AND SHRUBS: THE CONTRACTOR SHALL PROVIDE TREES AND SHRUBS DUG FOR THE GROWING SEASON FOR WHICH THEY WILL BE PLANTED. DO NOT PRUNE PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING TRANSIT. DO NOT DROP BALLED AND BURLAPPED STOCK DURING DELIVERY OR HANDLING.
    C. ALL PLANTS SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND. ALL ROOTBALL WRAPPING AND BINDING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED FROM THE TOP OF THE BALL AT THE TIME OF PLANTING. IF THE PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, THE WIRE BASKET SHALL BE CUT AND FOLDED DOWN 8 INCHES INTO THE PLANTING HOLE. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO LOCATIONS.
    D. THE CONTRACTOR SHALL HAVE TREES AND SHRUBS DELIVERED TO SITE AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, THE CONTRACTOR SHALL SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
11. ALL LANDSCAPED AREAS TO BE CLEARED OF ROCKS, STUMPS, TRASH AND OTHER UNSIGHTLY DEBRIS. ALL FINE GRADED AREAS SHOULD BE HAND RAKED SMOOTH ELIMINATING ANY CLUMPS AND AND UNEVEN SURFACES PRIOR TO PLANTING OR MULCHING.
12. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS, NOTES AND CONTRACT SPECIFICATIONS. THE LANDSCAPE ARCHITECT MAY REVIEW INSTALLATION AND MAINTENANCE PROCEDURES.
13. NEW PLANT MATERIAL SHALL BE GUARANTEED TO BE ALIVE AND IN VIGOROUS GROWING CONDITION FOR A PERIOD OF TWO YEARS FOLLOWING ACCEPTANCE BY THE OWNER. PLANT MATERIAL FOUND TO BE UNHEALTHY, DYING OR DEAD DURING THIS PERIOD, SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
14. THE CONTRACTOR SHALL KEEP AREA CLEAN DURING DELIVERY AND INSTALLATION OF PLANT MATERIALS. REMOVE AND DISPOSE OF OFF-SITE ANY ACCUMULATED DEBRIS OR UNUSED MATERIALS. REPAIR DAMAGE TO ADJACENT AREAS CAUSED BY LANDSCAPE INSTALLATION OPERATIONS.
15. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY OR AS REQUIRED BY SITE AND WEATHER CONDITIONS TO MAINTAIN VIGOROUS AND HEALTHY PLANT GROWTH.
16. THE BACKFILL MIXTURE AND SOIL MIXES TO BE INSTALLED PER THE SPECIFICATIONS.
17. AFTER PLANT IS PLACED IN TREE PIT LOCATION, ALL TWINE HOLDING ROOT BALL TOGETHER SHOULD BE COMPLETELY REMOVED AND THE BURLAP SHOULD BE PULLED DOWN SO 1/3 OF THE ROOT BALL IS EXPOSED. SYNTHETIC BURLAP SHOULD BE COMPLETELY REMOVED AFTER INSTALLATION.
18. MULCH SHOULD NOT BE PILED UP AROUND THE TRUNK OF ANY PLANT MATERIAL. NO MULCH OR TOPSOIL SHOULD BE TOUCHING THE BASE OF THE TRUNK ABOVE THE ROOT COLLAR.
19. ALL FENCE INSTALLATION SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF ANY LANDSCAPE PLANTING, LAWN AND GRASSES, OR IRRIGATION WORK.
20. FOR ANY DISCREPANCIES BETWEEN THE PLANT SCHEDULE AND PLANTING PLAN THE GRAPHIC QUANTITY SHOWN SHALL GOVERN.
21. PLANT MATERIALS SHALL NOT BE PLANTED UNTIL THE FINISHED GRADING HAS BEEN COMPLETED.
22. ALL PLANT INSTALLATIONS SHALL BE COMPLETED EITHER BETWEEN APRIL 1 – JUNE 15 OR AUGUST 15 – NOVEMBER 1, UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. SEE LAWN SEEDING DATES IN SEEDING NOTES.

LANDSCAPE MAINTENANCE NOTES

1. MAINTENANCE OPERATIONS BEFORE APPROVAL:
   A. PLANT CARE SHALL BEGIN IMMEDIATELY AFTER EACH PLANT IS SATISFACTORILY INSTALLED AND SHALL CONTINUE THROUGHOUT THE LIFE OF THE CONTRACT UNTIL FINAL ACCEPTANCE OF THE PROJECT.
   B. CARE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYS AS ORIGINALLY INSTALLED, WATERING WHEN NEEDED OR DIRECTED, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
   C. CONTRACTOR SHALL REMOVE AND REPLACE ALL DEAD, DEFECTIVE AND/OR REJECTED PLANTS AS REQUIRED BEFORE FINAL ACCEPTANCE.
2. MAINTENANCE DURING CONSTRUCTION:
   A. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING. PLANTS SHALL BE WATERED, MULCHED, WEEDED, PRUNED, SPRAYED, FERTILIZED, CULTIVATED, AND OTHERWISE MAINTAINED AND PROTECTED UNTIL PROVISIONAL ACCEPTANCE. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE AND POSITION, PLANTING SAUCER RESTORED AND DEAD MATERIAL REMOVED. STAKES AND WIRES SHALL BE TIGHTENED AND REPAIRED. DEFECTIVE WORK SHALL BE CORRECTED AS SOON AS POSSIBLE AFTER IT BECOMES APPARENT AND WEATHER AND SEASON PERMIT.
   B. IF A SUBSTANTIAL NUMBER OF PLANTS ARE SICKLY OR DEAD AT THE TIME OF INSPECTION, ACCEPTANCE SHALL NOT BE GRANTED AND THE CONTRACTOR'S RESPONSIBILITY FOR MAINTENANCE OF ALL PLANTS SHALL BE EXTENDED FROM THE TIME REPLACEMENTS ARE MADE OR EXISTING PLANTS ARE DEEMED ACCEPTABLE BY THE LANDSCAPE ARCHITECT.
   C. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE SPECIFIED ON THE PLANT LIST OR THAT WHICH WAS TO REMAIN OR BE RELOCATED. THEY SHALL BE FURNISHED AND PLANTED AS SPECIFIED. THE COST SHALL BE BORNE BY THE CONTRACTOR. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
   D. PLANTS SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS AFTER INSPECTION AND PROVISIONAL ACCEPTANCE.
   E. AT THE END OF THE ESTABLISHMENT PERIOD, INSPECTION SHALL BE MADE AGAIN. ANY PLANT REQUIRED UNDER THIS CONTRACT THAT IS DEAD OR UNSATISFACTORY TO THE LANDSCAPE ARCHITECT OR OWNER SHALL BE REMOVED FROM THE SITE AND REPLACED DURING THE NORMAL PLANTING SEASON.
3. LAWN MAINTENANCE:
   A. BEGIN MAINTENANCE IMMEDIATELY AFTER EACH PORTION OF LAWN IS PLANTED AND CONTINUE FOR 8 WEEKS AFTER ALL LAWN PLANTING IS COMPLETED.
   B. WATER TO KEEP SURFACE SOIL MOIST, REPAIR WASHED OUT AREAS BY FILLING WITH TOPSOIL, LIMING, FERTILIZING AND RE-SEEDING; MOW TO 2 1/2 – 3 INCHES AFTER GRASS REACHES 3 1/2 INCHES IN HEIGHT, AND MOW FREQUENTLY ENOUGH TO KEEP GRASS FROM EXCEEDING 3 1/2 INCHES. WEED BY LOCAL SPOT APPLICATION OF SELECTIVE HERBICIDE ONLY AFTER GRASS IS WELL-ESTABLISHED.
   C. IN ORDER TO REMOVE WEEDS FROM THE LAWN AREAS, APPLY PRE-EMERGENT HERBICIDE ONCE GRASS IS WELL ESTABLISHED. APPLY POST-EMERGENT HERBICIDE AS NEEDED, IF WEEDS ARE STILL PRESENT, PER SUPPLIER

PLANTING SOIL SPECIFICATIONS

1. PLANTING SOIL, ALTERNATELY MAY BE REFERRED TO AS TOPSOIL, SHOULD BE FRIABLE, FERTILE, WELL DRAINED, FREE OF DEBRIS, TOXINS, TRASH AND STONES OVER 1/2" DIA., IT SHOULD HAVE A HIGH ORGANIC CONTENT SUITABLE TO SUSTAIN HEALTHY PLANT GROWTH AND SHOULD LOOK AESTHETICALLY PLEASING HAVING NO NOXIOUS ODORS.

2. PLANTING SOIL:

REUSE SURFACE SOILS STOCKPILED ON SITE, VERIFYING COMPLIANCE WITH PLANTING SOIL AND TOPSOIL CRITERIA IN THIS SPECIFICATION THROUGH TESTING. CLEAN SURFACE SOIL OF ALL ROOTS, PLANTS, SOD, AND GRAVEL OVER 1" IN DIAMETER AND DELETERIOUS MATERIALS. IF ON-SITE SOILS ARE TO BE USED FOR PROPOSED PLANTING, THE CONTRACTOR SHALL DEMONSTRATE, THROUGH SOIL TESTING, THAT ON-SITE SOILS MEET THE SAME CRITERIA AS INDICATED IN NOTES PLANS AND SPECIFICATIONS.

SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN TOPSOIL AND PLANTING SOIL QUANTITIES ARE INSUFFICIENT. OBTAIN SOIL DISPLACED FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT LEAST 4" DEEP. DO NOT OBTAIN FROM AGRICULTURAL LAND, BOGS, MARSHES OR CONTAMINATED SITES.

CONTRACTOR SHALL TEST SOILS AND FURNISH SAMPLES UPON REQUEST. PACKAGED MATERIALS SHALL BE UNOPENED BAGS OR CONTAINERS, EACH BEARING A NAME, GUARANTEE, AND TRADEMARK OF THE PRODUCER, MATERIAL COMPOSITION, MANUFACTURER'S CERTIFIED ANALYSIS, AND THE WEIGHT OF THE MATERIALS. SOIL OR AMENDMENT MATERIALS SHALL BE STORED ON SITE TEMPORARILY IN STOCKPILES PRIOR TO PLACEMENT AND SHALL BE PROTECTED FROM INTRUSION OF CONTAMINANTS AND EROSION. AFTER MIXING, SOIL MATERIALS SHALL BE COVERED WITH A TARPAULIN UNTIL TIME OF ACTUAL USE.

ALL PLANTING SOILS SHALL BE SUBMITTED FOR TESTING TO THE STATE COOPERATIVE EXTENSION SERVICE, OR APPROVED EQUAL, PRIOR TO DELIVERY TO THE SITE. CONTRACTOR SHALL FURNISH SOIL SAMPLES AND SOIL TEST RESULTS TO LANDSCAPE ARCHITECT OR OWNER AT A RATE OF ONE SAMPLE PER 500 CUBIC YARDS TO ENSURE CONSISTENCY ACROSS THE TOTAL VOLUME OF PLANTING SOIL REQUIRED. TEST RESULTS SHALL EVALUATE FOR ALL CRITERIA LISTED IN THIS SPECIFICATION. IF TESTING AGENCY DETERMINES THAT THE SOILS ARE DEFICIENT IN ANY MANNER AND MAY BE CORRECTED BY ADDING AMENDMENTS, THE CONTRACTOR SHALL FOLLOW STATED RECOMMENDATIONS FOR SOIL IMPROVEMENT AND FURNISH SUBMITTALS FOR ALL AMENDMENTS PRIOR TO DELIVERY OF SOIL TO THE PROJECT SITE.

A. THE FOLLOWING TESTING SHOULD BE PERFORMED AND RESULTS GIVEN TO THE LANDSCAPE ARCHITECT FOR APPROVAL BEFORE INSTALLATION:
   a. PARTICLE SIZE ANALYSIS – LOAMY SAND: 60–75% SAND, 25–40% SILT, AND 5–15% CLAY.
   b. FERTILITY ANALYSIS: pH (5.5–6.5), SOLUBLE SALTS (LESS THAN 2 MMHO/CM), NITRATE, PHOSPHATE, POTASSIUM, CALCIUM AND MAGNESIUM
   c. ORGANIC MATTER CONTENT: 2.5–5% IN NATIVE SOILS; UP TO 10% IN AMENDED SOILS
   d. TOXIC SUBSTANCE ANALYSIS
   e. MATERIAL DRAINAGE RATE: 60% PASSING IN 2 MINUTES, 40% RETAINED
   f. NOT MORE THAN 1% OF MATERIAL SHALL BE RETAINED BY A #4 SIEVE

3. SOIL AMENDMENT FOR PLANT MATERIAL:
IF SOIL ORGANIC CONTENT IS INADEQUATE, SOIL SHALL BE AMENDED WITH COMPOST OR ACCEPTABLE, WEED FREE, ORGANIC MATTER. ORGANIC AMENDMENT SHALL BE WELL COMPOSTED, PH RANGE OF 6–8; MOISTURE CONTENT 35–55% BY WEIGHT 100% PASSING THROUGH 1" SIEVE; SOLUBLE SALT CONTENT LESS THAN 0.5 MM HOS/CM; MEETING ALL APPLICABLE ENVIRONMENTAL CRITERIA FOR CLEAN FILL.

A. ORGANIC MATTER AS A SOIL AMENDMENT: LEAF MOLD WITH 60–90% ORGANIC CONTENT BY WEIGHT. SHREDDED LEAF LITTER, COMPOSTED FOR A MINIMUM OF 1 YR. SHOULD BE FREE OF DEBRIS, STONES OVER 1/2", WOOD CHIPS OVER 1".

B. SOIL IN BEDS AND PLANTING ISLANDS OTHER THAN BACKFILL MATERIAL AND TOPSOIL, SHOULD BE FRIABLE, WELL DRAINED, AND FREE OF DEBRIS, INCLUDING STONES AND TRASH.

C. AMENDMENTS FOR BACK FILL IN TREE AND SHRUB PITS:
   a. GROUND LIMESTONE (WITH A MIN. OF 88% OF CALCIUM AND MAGNESIUM CARBONATES) USED PENDING RESULTS OF SOIL ANALYSIS.
      – BRING pH LEVELS TO 5.5 MIN. TO 6.5 FOR NON-ERICACEOUS PLANTS
      – BRING pH LEVELS TO 4.5 MIN. TO 5.5 FOR ERICACEOUS PLANTS
   b. TERRA-SORB BY 'PLANT HEALTH CARE' 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN PLANTER BACKFILL MIXTURE WITH TREES AND SHRUBS.
   c. MYCOR-ROOT SAVER BY 'PLANT HEALTH CARE' 800-421-9051 (SEE MANUFACTURER RECOMMENDATIONS) USED IN BACKFILL MIXTURE WITH TREES.

4. WHERE PLANTING AREAS ARE PROPOSED FOR FORMER PAVED OR GRAVEL AREAS, BEDS SHALL BE EXCAVATED TO A MINIMUM 30" DEPTH AND, AT A MINIMUM, BE BACKFILLED WITH BOTTOM LAYER OF SANDY LOAM (ORGANIC CONTENT LESS THAN 2%) OVER WHICH TOPSOIL AND PLANTING SOILS WILL BE PLACED AT DEPTHS INDICATED IN PLANS, DETAILS AND NOTES.

5. INFILTRATION/ DETENTION BASIN SOIL MIX
   a. SPECIFIED SOIL MIX IS TO BE USED IN ALL DETENTION AND INFILTRATION BASINS.
   b. TOPSOIL/HORTICULTURAL SOIL MIX: REFER TO SPECIFICATIONS LISTED IN SECTION ABOVE

   1) CHEMICAL ANALYSIS
      PH: LOWER THAN 7.0
      TOXIC SUBSTANCE ANALYSIS

   e. FINAL BIORETENTION MIX

   2) CHEMICAL ANALYSIS
      a) PH – 5.5–6.5
      b) SOLUBLE SALTS: LESS THAN 2 MMHO/CM

   3) CONTRACTOR TO SUBMIT TOXIC SUBSTANCE ANALYSIS AND MATERIAL DRAINAGE RATE IN ADDITION TO INFORMATION LISTED ABOVE. DRAINAGE RATE OF MATERIAL TO BE 20 INCHES/HOUR(+/– 1 INCH/HOUR).

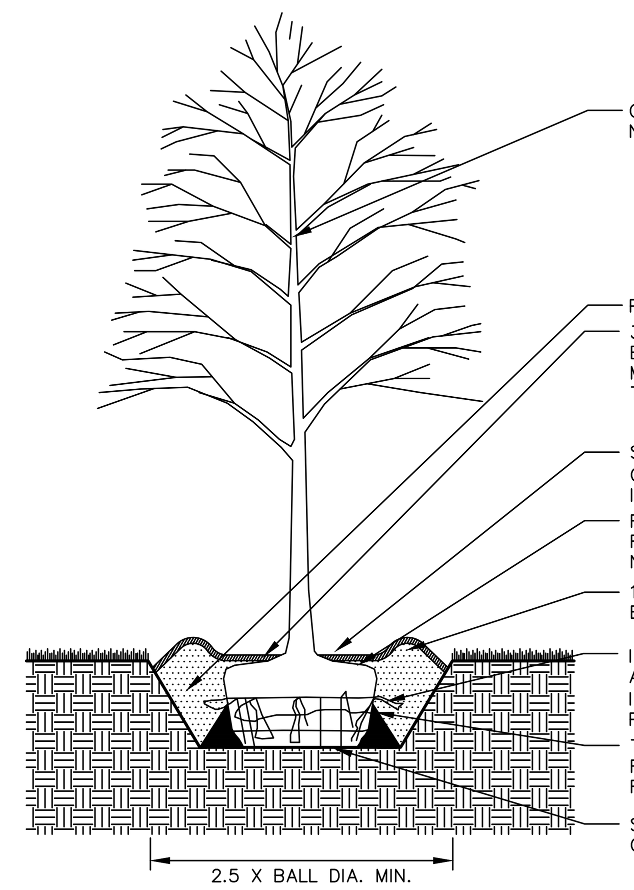
6. CLEAN SOIL FILL IN LANDSCAPE AREAS:
LANDSCAPE FILL MATERIAL, BELOW PLANTING SOILS, SHALL HAVE THE PHYSICAL PROPERTIES OF A SANDY LOAM WITH AN ORGANIC CONTENT OF LESS THAN 2% AND A PH BETWEEN 5 – 7.

7. SOIL PLACEMENT:
   A. CONTRACTOR TO PROVIDE SIX INCHES (6") MINIMUM DEPTH PLANTING SOIL LAYER IN LAWN AREAS, TWELVE INCHES (12") MINIMUM DEPTH PLANTING SOIL LAYER IN GROUNDCOVER AND PERENNIAL AREAS, EIGHTEEN INCHES (18") MINIMUM DEPTH PLANTING SOIL LAYER IN SHRUB AREAS, AND THIRTY-SIX INCHES (36") MINIMUM DEPTH PLANTING SOIL LAYER IN TREE PLANTING AREAS.
   B. SCARIFY AND/OR TILL COMPACTED SUBSOILS TO A MINIMUM DEPTH OF 6 INCHES. THOROUGHLY MIX A 6 INCH DEPTH LAYER OF PLANTING SOIL INTO THE SUBSOIL PRIOR TO PLACING PLANTING SOIL AT THE DEPTHS INDICATED ABOVE. PLANTING SOIL SHALL BE PLACED IN 12–18" LIFTS AND WATER THOROUGHLY BEFORE INSTALLING NEXT LIFT. REPEAT UNTIL DEPTHS AND FINISH GRADES HAVE BEEN ACHIEVED. NO SOILS SHALL BE PLACED IN A FROZEN OR MUDDY CONDITION.
   C. PLANTING SOIL PRESENT AT THE SITE, IF ANY, MAY BE USED TO SUPPLEMENT TOTAL AMOUNT REQUIRED. CONTRACTOR TO FURNISH AN ANALYSIS OF ON-SITE PLANTING SOIL UTILIZED IN ALL PLANTING AREAS.

8. SOIL CONDITIONING:
   A. ADJUST pH AND NUTRIENT LEVELS AS REQUIRED TO ENSURE AN ACCEPTABLE GROWING MEDIUM. LOWER pH USING ELEMENTAL SULFUR ONLY. PEAT MOSS OR COPPER SULFATE MAY NOT BE USED. GROUND LIMESTONE AS A SOIL AMENDMENT MATERIAL WILL ONLY BE USED PENDING RESULTS OF SOIL ANALYSIS. PROVIDE WITH MINIMUM 88% CALCIUM AND MAGNESIUM CARBONATES AND SHALL HAVE TOTAL 100% PASSING THE 10 MESH SIEVE, MINIMUM 90% PASSING 20 MESH SIEVE, AND MINIMUM 60% PASSING 100 MESH SIEVE.
   B. ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
   C. SOIL MODIFICATIONS (PENDING RESULTS OF SOIL ANALYSIS):
      a. THOROUGHLY TILL ORGANIC MATTER (LEAF COMPOST) INTO THE TOP 6 TO 12 IN. OF MOST PLANTING SOILS TO IMPROVE THE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A pH HIGHER THAN 7.0. PEAT MOSS MAY NOT BE USED AS ORGANIC MATTER AMENDMENT.
      b. MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. IMPROVE DRAINAGE IN HEAVY SOILS BY PLANTING ON RAISED MOUNDS OR BEDS AND INCLUDING SUBSURFACE DRAINAGE LINES.
      c. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

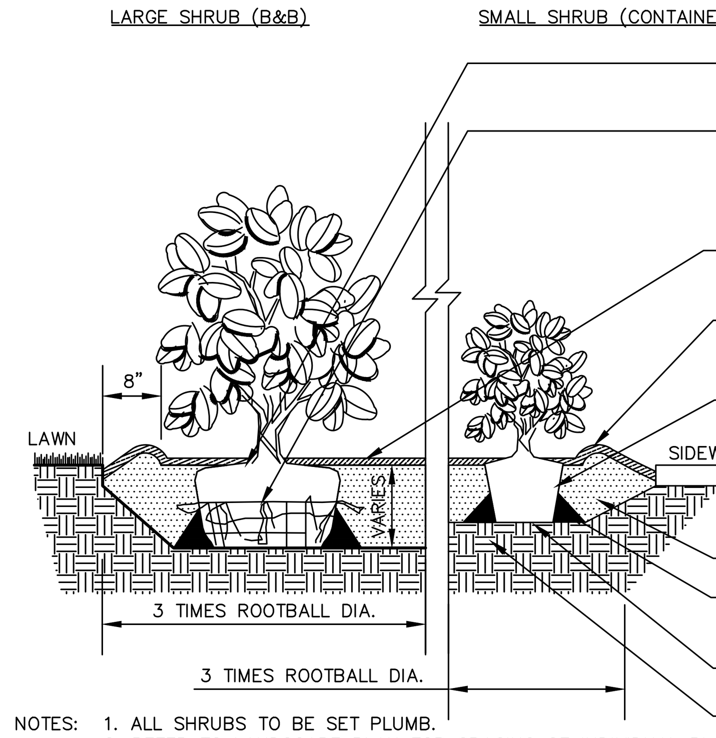
IRRIGATION NOTES:

1. THE IRRIGATION CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF THE IRRIGATION INSTALLATION PLAN AND CUT-SHEETS FOR ALL COMPONENTS FOR REVIEW AND APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. THE IRRIGATION INSTALLATION PLAN SHALL BE COMPLETE WITH ZONE DESIGNATIONS AND WATER USAGE IN GALLONS PER MINUTE PER ZONE, RUN TIME SCHEDULE, LEGEND OF COMPONENTS AND PLAN GRAPHICS WITH QUANTITIES, MINIMUM SYSTEM REQUIREMENTS INCLUDING STATIC PRESSURE AT THE WATER CONNECTION POINT, ESTIMATED WATER BUDGET, CONSTRUCTION DETAILS AND IRRIGATION NOTES. THE PLAN SHALL ALSO INCLUDE LOCATIONS OF ALL PROPOSED SLEEVES AND THEIR SIZES, LOCATIONS OF ALL LATERAL LINE SIZE STEP-DOWNS WITH SIZE INDICATIONS, LOCATION OF ALL SOIL MOISTURE SENSORS, CONTROLLER, VALVES AND ALL OTHER COMPONENTS NECESSARY FOR THE SYSTEMS OPERATION.
2. LANDSCAPE AREAS SHALL BE IRRIGATED WITH POP-UP SPRAY AND ROTARY IRRIGATION HEADS IN SUFFICIENT DENSITY TO COVER THE ENTIRE AREA.
3. CONTRACTOR TO AVOID DISTURBANCE OF EXISTING PLANT MATERIAL WHEN LOCATING VALVES AND PIPE LINES. ANY PLANT MATERIAL DAMAGED AS A RESULT OF IRRIGATION INSTALLATION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.
4. ALL EXCAVATION MATERIAL SHALL BE PLACED BACK IN TRENCHES.
5. ALL DISTURBED LANDSCAPE AND PAVED AREAS SHALL BE RESTORED TO THE CONDITION FOUND PRIOR TO START OF INSTALLATION.
6. DEPTH OF TRENCHES SHALL BE SUFFICIENT OR PROVIDE A MINIMUM COVER ABOVE THE TOP OF PIPE AS FOLLOWS:
   – 12" OVER NON-PRESSURE LATERAL LINES
   – 18" OVER NON-PRESSURE LATERAL LINES UNDER PAVING
   – 18" OVER CONTROL WIRES
   – 18" OVER MAIN LINE
   – 24" OVER MAIN LINE UNDER PAVING
7. THE IRRIGATION CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE LOCATION OF THE PLUMBING TIE-INS, SLEEVES UNDER PAVEMENTS (AS NECESSARY), AND CONTROL DEVICES WITH THE GENERAL CONTRACTOR, OWNER, AND OWNER'S REPRESENTATIVE.
8. CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH EXISTING AND PROPOSED UTILITIES, SITE DRAINAGE SYSTEMS, AND PAVING.
9. CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE SHOULD ANY UTILITIES, NOT SHOWN ON THE PLANS, BE FOUND DURING INSTALLATION WORK.
10. WATERPROOF ALL WIRE CONNECTORS USING 3M 'DBY' WATERPROOF CONNECTORS OR EQUIVALENT.
11. DRAIN VALVES ARE TO BE PROVIDED AT SUFFICIENT INTERVALS TO PROVIDE COMPLETE DRAINAGE OF ALL PIPING.
12. COORDINATE THE LOCATION OF CONTROLS, IRRIGATION CONTROLLER, AND SOIL MOISTURE SENSORS WITH THE PROJECT MEP AND OWNER PRIOR TO INSTALLATION.
13. IRRIGATION CONTRACTOR SHALL MAKE FIELD ADJUSTMENTS TO IRRIGATION DESIGN WHERE REQUIRED TO PROVIDE 100% COVERAGE OF ALL LANDSCAPE AREAS, AS DESIGNATED ON THIS PLAN.
14. INSTALLATION MUST COMPLY WITH ALL LOCAL CODES AND CONDITIONS.
15. ALL IRRIGATION WORK SHALL BE GUARANTEED FOR 1 YEAR AFTER COMPLETION OF ALL WORK.
16. CONTRACTOR TO PROVIDE THREE (3) COPIES OF AS-BUILTS, SERVICE MANUALS AND INSTRUCTIONS TO THE OWNER OR OWNERS REPRESENTATIVE.
17. ALL SPRINKLER HEADS SHALL BE SET BACK 4" MINIMUM FROM BACK OF ALL CURBS.
18. CONTRACTOR MAY SUBMIT ALTERNATE EQUIVALENT MATERIALS FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE OR PROJECT LANDSCAPE ARCHITECT.



1 TREE PLANTING

NTS



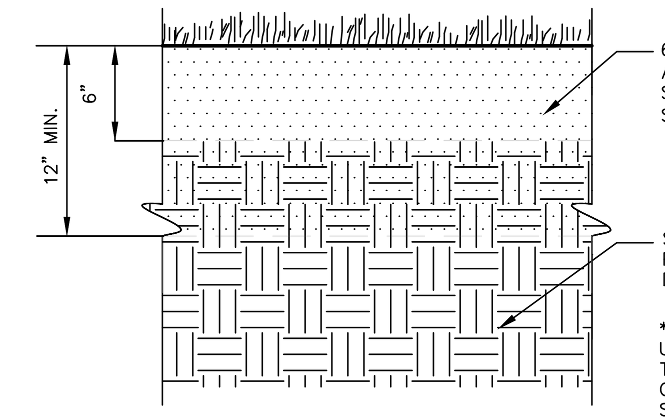
NOTES:
1. ALL SHRUBS TO BE SET PLUMB.
2. REFER TO LANDSCAPE PLAN FOR SPACING OF INDIVIDUAL PLANTS.
3. REMOVE ALL WIRE, PLASTIC, TAGS OR SYNTHETIC MATERIAL FROM PLANTS PRIOR TO PLANTING.

2 SHRUB AND ORNAMENTAL GRASS PLANTING

NTS

GENERAL NOTE:

DUE TO GENERAL CONSTRUCTION ACTIVITIES AND ADJACENT SITE COMPACTION REQUIREMENTS, SUBGRADE SOILS WITHIN PROPOSED PLANTING AREAS TEND TO BECOME HIGHLY COMPACTED. IN ORDER TO CREATE A HEALTHY GROWTH MEDIUM TO ALLOW PROPOSED PLANTINGS TO ESTABLISH A VIGOROUS ROOT MASS, THIS SUBGRADE SOIL MUST UNDERGO A RESTORATION PROCESS. IN ADDITION, IMPORTED OR AMENDED EXISTING SOILS SHALL BE MIXED WITH SUBGRADE SOILS WHERE THEY MEET IN ORDER TO CREATE A TRANSITIONAL GRADIENT TO ALLOW FOR PROPER DRAINAGE.



PLANTING SOIL WITHIN AREAS OF CUT OR RAISED GRADE

NOTES:
1. CONTRACTOR IS RESPONSIBLE TO SEND SAMPLES OF EXISTING SOILS INTENDED FOR USE IN PLANTING AREAS (1 PER 500 CY.) TO TESTING LABORATORY OR UNIVERSITY COOPERATIVE EXTENSION FOR TESTING. ALL TESTING COSTS ARE AT THE CONTRACTOR'S EXPENSE.
2. RECYCLED CRUSHED CONCRETE AND ASPHALT MILLINGS SHALL NOT BE PLACED WITHIN 2'-6" OF FINISH GRADE IN PROPOSED LANDSCAPE AREAS.
3. IMPORTED FILL SHALL CONTAIN NO CONTAMINATION IN EXCEEDENCE OF THE APPLICABLE STATE ENVIRONMENTAL STANDARDS AND MEET THE ENVIRONMENTAL REQUIREMENTS FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION OF COMPLIANCE PRIOR TO DELIVERY OF ANY FILL TO THE SITE.
4. CONTRACTOR TO LIGHTLY COMPACT ALL PLACED PLANTING SOILS AND RAISE GRADES ACCORDINGLY TO ALLOW FOR FUTURE SETTLEMENT OF PLANTING SOILS (TYP.)
5. NO STONES, WOOD CHIPS, OR DEBRIS LARGER THAN 1/2" SHALL BE ACCEPTABLE WITHIN PLANTING AREAS.

3 PLANTING SOIL

NTS

LANGAN

Project No. 151064501

LP501	PLANTING DETAILS

Site Development Plan For:
LYONS GROUP RESTAURANT
AT THE MALL AT ROCKINGHAM PARK
11 MALL ROAD
SALEM, NH

Assessors Map 107 & Lot 11154

Prepared by: Langan Engineering & Environmental Services, LLC
100 Cambridge Street, Suite 1310
Boston, MA 02114

Scale: As noted — October 30, 2025

LICENSED LANDSCAPE ARCHITECT
MICHAEL HUNTON
180
STATE OF NEW HAMPSHIRE

Owner:
SALEM NIM, LLC
C/O LYONS GROUP
355 CONGRESS ST
BOSTON, MA 02210

Salem Planning Board Approval

Zoning Classification:
COMMERCIAL-INDUSTRIAL DISTRICT, SUBDISTRICT C (CI-C)

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