

PROPOSED SITE DEVELOPMENT PLANS

for
SALEM PROPERTY MAP 96 - LOT 7775
44 PELHAM ROAD
SALEM, NEW HAMPSHIRE

Prepared for:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810

SALEM PLANNING BOARD

ON SEPTEMBER 26, 2023 THE SALEM PLANNING BOARD VOTED TO APPROVE THIS SITE PLAN SUBJECT TO THE FOLLOWING CONDITIONS:

PRIOR TO BUILDING PERMIT FOR PHASE 1:

1. SUBMIT ENGINEERING APPROVAL;
2. PAY FOR OUTSIDE INSPECTIONS PER DIRECTION OF ENGINEERING DIVISION;
3. SUBMIT STATE PERMITS (AOT, WETLANDS BUREAU);

PRIOR TO OCCUPANCY:

4. PAY ROAD (\$12,360) AND PUBLIC SAFETY (\$10,095) IMPACT FEES;
5. PROVIDE CERTIFIED AS-BUILT SITE PLAN;
6. CONSTRUCT ALL SITE IMPROVEMENTS (BUILDING, LOCATION, DIMENSIONS, AND SETBACKS, SITE GRADING, UTILITIES, ROAD WORK, DRAINAGE, LANDSCAPING, LIGHTING, PARKING SPACES, SIGNAGE, WETLAND/FLOODPLAIN MITIGATION AREAS) IN ACCORDANCE WITH APPROVED PLAN;

OTHER:

7. NOTE VARIANCE, WAIVER, AND CONDITIONAL USE PERMIT FOR WETLAND IMPACT ON PLAN;
8. RECEIVE PLANNING BOARD APPROVAL OF SIGN DETAIL PRIOR TO ISSUANCE OF SIGN PERMIT;
9. RECEIVE PLANNING BOARD APPROVAL FOR ELEVATIONS PRIOR TO BUILDING PERMIT FOR PHASE 2 (WAREHOUSE STORAGE BUILDING);
10. TRUCK TRAFFIC SHALL BE RESTRICTED TO EASTERLY DRIVE;
11. VEGETATION, LANDSCAPING AND SIGNAGE SHALL KEPT LOW TO THE GROUND OR SETBACK SUFFICIENTLY FROM PELLHAM ROAD TO ENSURE ADEQUATE SIGHT DISTANCE;
12. ALL REPRESENTATIONS MADE BY APPLICANT OR AGENTS AND ALL NOTES ON PLANS ARE INCORPORATED AS PART OF APPROVAL.

STATE PERMITS

TYPE	PERMIT NUMBER	APPROVED
NHDES STANDARD DREDGE & FILL	2023-01045	10/10/23
NHDES ALTERATION OF TERRAIN	AoT-2494	12/1/23

9	REVISE SHEETS 6, 8-11, 13-16, TT PLAN	CMY	10/20/25
8	REVISE SHEETS 10, 12, & 22	CMY	5/30/25
7	REVISE SHEETS 1-2, 8-14, 17-18, 22-24	CMY	4/15/25
6	REVISE SHEET 23	CMY	11/29/23
5	REVISE SHEETS 2, 10, 12-13, 21, 23-24	CMY	10/23/23
4	REVISE SHEETS 10-14, 18, 21, 23 & 24	CMY	10/3/23
3	REVISE SHEETS 6, 8, 10, 13 & 15	NID	9/5/23

NO.	DESCRIPTION	BY	DATE
REVISIONS			

TITLE SHEET

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

PREPARED FOR:

SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810

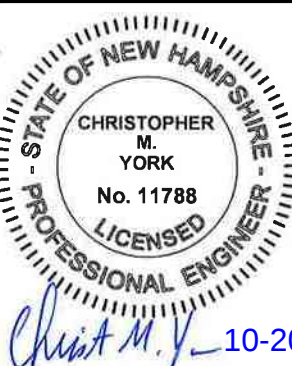
GPI
Engineering
Design
Planning
Construction Management
603.893.0720

Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

GINET.COM

NOT TO SCALE

DATE: APRIL 3, 2023

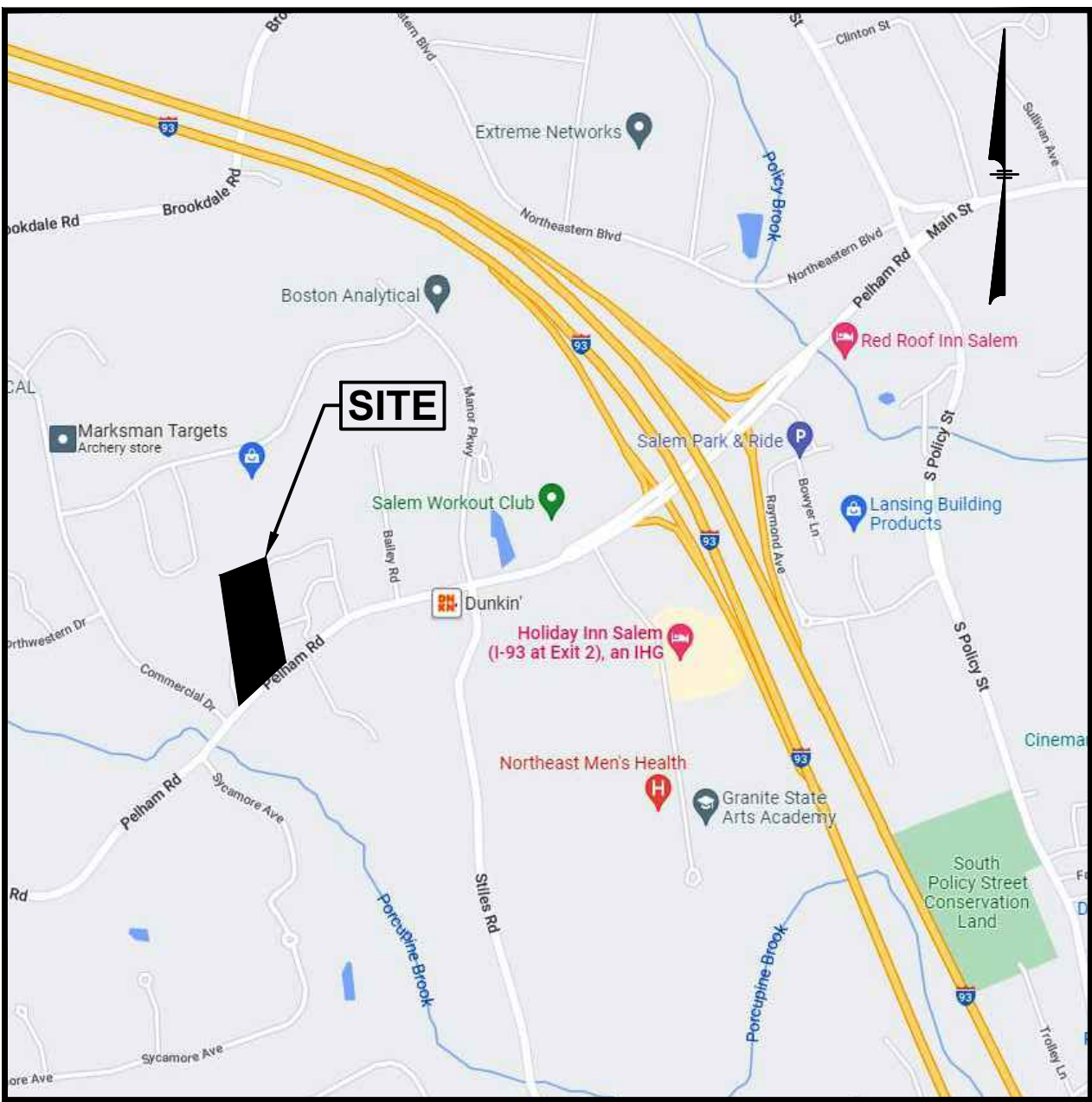


OWNER OF RECORD
YOUNG LAND HOLDINGS, LLC.
36 PELHAM RD, SALEM, NH
BOOK 6069 PAGE 1819

SALEM PLANNING BOARD
APPROVAL

ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_CVR	NEX-2200130	1 OF 25



LOCATION MAP
(NOT TO SCALE)

PLEASE REPORT OBSERVATIONS OF RARE TURTLES

The NH Fish & Game Department is requesting
observations of the following turtle species

Turtles may be attracted to disturbed ground during nesting season (May 15th - June 30th)

Turtles are most active from April 15th - October 15th



Blanding's turtle
(State Endangered)

Large, dark/black domed shell
with lighter speckles.
Distinct yellow throat/chin.
Aquatic but often moves on land.



Spotted turtle
(State Threatened)

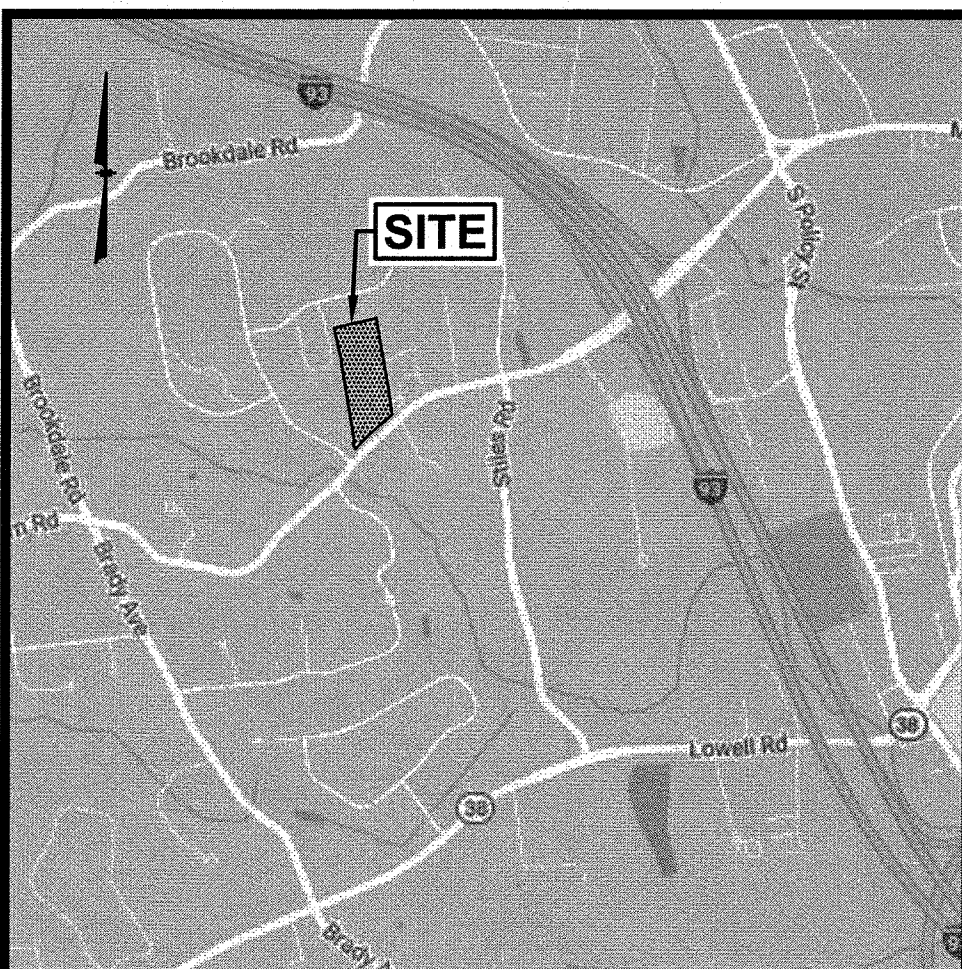
Small, mostly aquatic with
black or dark brown with
yellow spots.
Fairly flat shell compared
to Blanding's turtle.
Spots vary in color and
number.

Fig 1401.03 (a) No person shall take or possess a spotted turtle
(*Clemmys guttata*)...Blanding's turtle (*Emydoidea blandingii*)...or
any egg or part thereof.

Report sightings immediately to NHFG Wildlife Division at 603-271-2461 (M-F 8-4) or
to NHFG Wildlife Biologist Melissa Winters 603-479-1129 (cell) anytime.

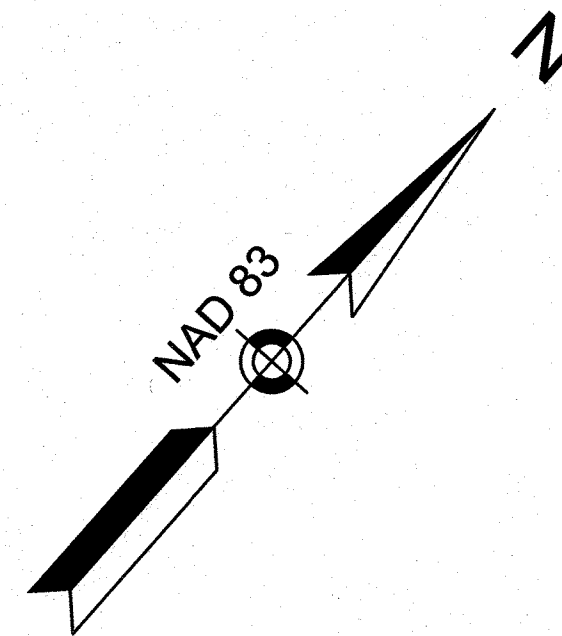
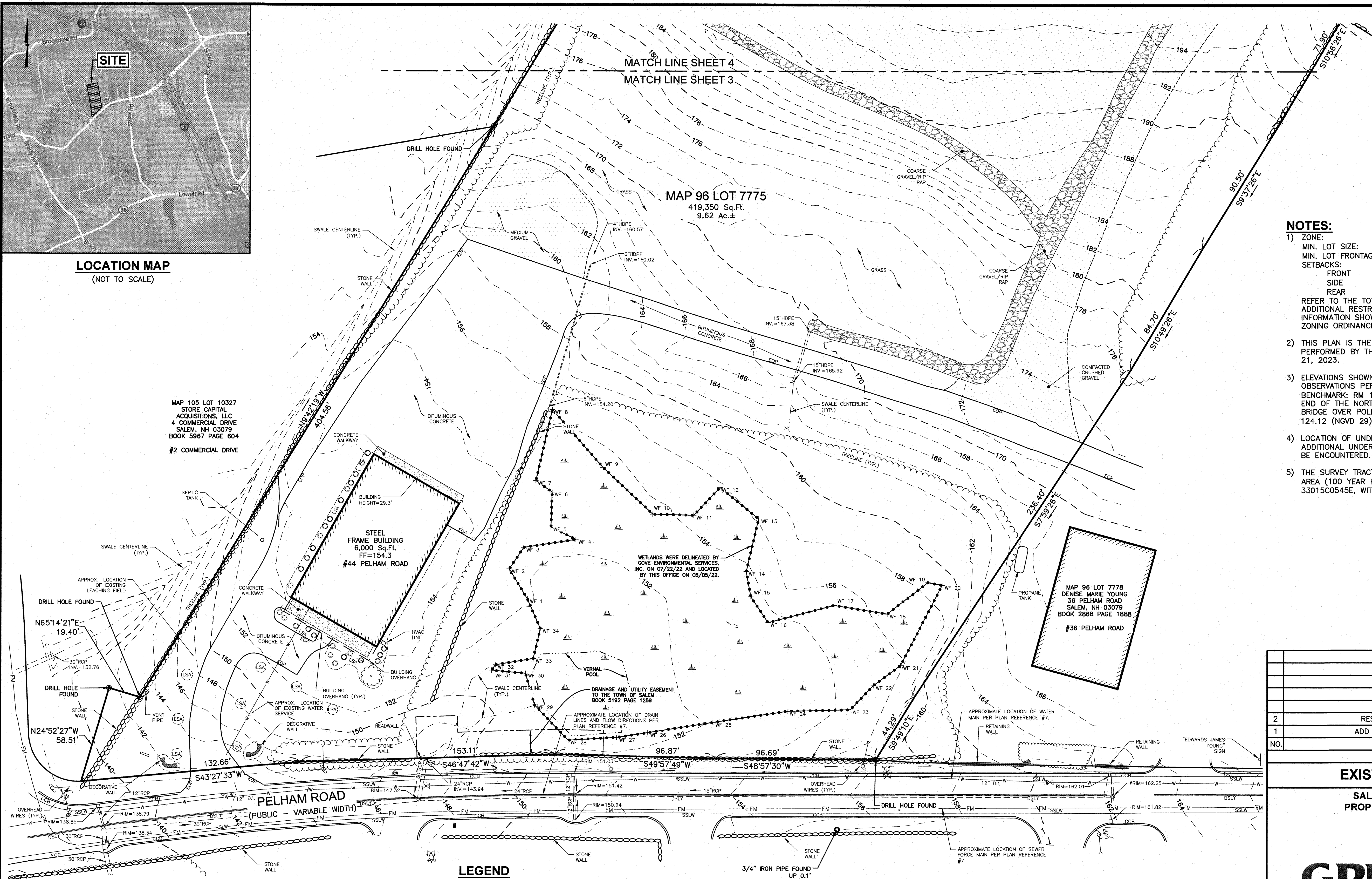
Please report promptly, noting specific location and date - Photographs strongly encouraged

F:\Projects\NEX-2200130 - Salem, NH - Suraj Realty CAD Files\2200130_SV.dwg ECP 8/17/23 2:01pm dantemoller



LOCATION MAP
(NOT TO SCALE)

MAP 105 LOT 10327
STORE CAPITAL
ACQUISITIONS, LLC
4 COMMERCIAL DRIVE
SALEM, NH 03079
BOOK 5967 PAGE 604
#2 COMMERCIAL DRIVE



NOTES:

- 1) ZONE: RURAL/INDUSTRIAL DISTRICT (RUR)/(I)
MIN. LOT SIZE: 25,000/N.R. Sq.Ft.
MIN. LOT FRONTAGE: 125/300 Ft.
SETBACKS:
FRONT 30/50 Ft.
SIDE 15/40 Ft.
REAR 30/40 Ft.
REFER TO THE TOWN OF SALEM ZONING ORDINANCE FOR VERIFICATION, ADDITIONAL RESTRICTIONS AND PERMITTED USES. THE ZONING INFORMATION SHOWN HEREON IS BASED ON A REVIEW OF THE SALEM ZONING ORDINANCE.
- 2) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN JULY 26, 2022 AND FEBRUARY 21, 2023.
- 3) ELEVATIONS SHOWN HEREON ARE BASED ON NGVD29 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON JULY 26, 2022. BENCHMARK: RM 15 - DISK STAMPED 'F-2' LOCATED IN THE WEST END OF THE NORTH ABUTMENT OF THE BOSTON & MAINE RAILROAD BRIDGE OVER POLICY BROOK NEAR ROCKINGHAM PARK. ELEVATION = 124.12 (NGVD 29).
- 4) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED.
- 5) THE SURVEY TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 33015C0545E, WITH AN EFFECTIVE DATE OF MARCH 17, 2005.

PLAN REFERENCES:

ROCKINGHAM COUNTY REGISTRY OF DEEDS

- 1) "PLOT PLAN" PREPARED BY PAUL W. ZARNOWSKI; SCALE: 1"=200'; DATED: SEPTEMBER 20, 2011.
- 2) PLAN D-37810
- 3) PLAN D-20453
- 4) PLAN D-15861
- 5) PLAN D-15160
- 6) PLAN C-10266
- 7) "UTILITY PLANS" PREPARED BY STANTEC; SCALE: 1"=20'; DATED: JANUARY 24, 2012.

LEGEND

CCB	CAPE COD BERM	○	TREE	○	VENT	---	BUILDING SETBACK
DSLW	DOUBLE SOLID LINE YELLOW	○	UTILITY POLE	○	SEWER MANHOLE		SOIL TYPE LINE
SSLW	SINGLE SOLID LINE WHITE	○	GUY WIRE	○	TELEPHONE MANHOLE	---	ZONE LINE
G	GAS LINE	○	OVERHEAD WIRE	○	ELECTRIC MANHOLE	---	FLOOD ZONE LINE
T	UNDERGROUND TELEPHONE	○	TREELINE	○	WATER MANHOLE	---	
W	WATER LINE	○	SIGN	○	GAS VALVE	---	
E	UNDERGROUND ELECTRIC	○	SPOT ELEVATION	○	GAS SHUT OFF	---	
○	CHAIN LINK FENCE	○	DRAIN MANHOLE	○	WATER VALVE	---	
○	STOCKADE FENCE	○	CATCH BASIN	○	WATER SHUT OFF	---	
○	POST & RAIL FENCE	○	ROOF DRAIN	○	FIRE HYDRANT	---	
○	WIRE FENCE	○	CLEANOUT	○		---	
○	CONTOUR ELEVATION	○		○		---	

0 30 60 100
SCALE: 1" = 30'

EXISTING CONDITIONS PLAN

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

PREPARED FOR:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810

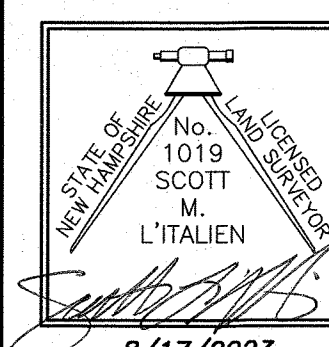
GPI

Engineering
Design
Planning
Construction Management
603.893.0720
GPINET.COM

Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

SCALE: 1" = 30'

DATE: APRIL 3, 2023

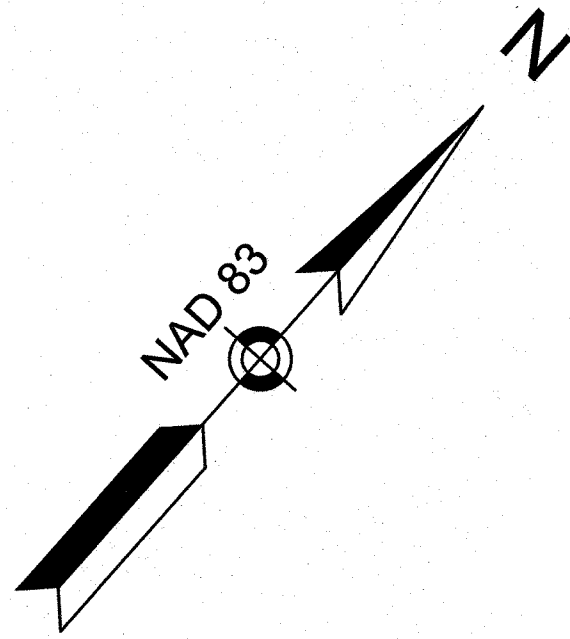


OWNER OF RECORD
YOUNG LAND HOLDINGS, LLC.
36 PELHAM RD, SALEM, NH
BOOK 6069 PAGE 1819

SALEM PLANNING BOARD
APPROVAL

ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
CSS	AKC	2200130_SV	NEX-2200130	3 OF 25



MAP 96 LOT 7498
ARJAK REALTY, LLC
7 INDUSTRIAL WAY UNIT #4
SALEM, NH 03079
BOOK 4635 PAGE 838
#7 INDUSTRIAL WAY

MAP 96 LOT 9981
STEPHEN C BEMISTER
TRUSTEE
31 FARMER ROAD
WINDHAM, NH 03087
BOOK 4608 PAGE 2640
#11 INDUSTRIAL WAY

MAP 96 LOT 7446
YOUNG LAND HOLDINGS, LLC
36 PELHAM ROAD
SALEM, NH 03079
BOOK 6069 PAGE 1817
#34 PELHAM ROAD

MAP 96 LOT 10328
STORE CAPITAL
ACQUISITIONS, LLC
4 COMMERCIAL DRIVE
SALEM, NH 03079
BOOK 5967 PAGE 604
#4 COMMERCIAL DRIVE

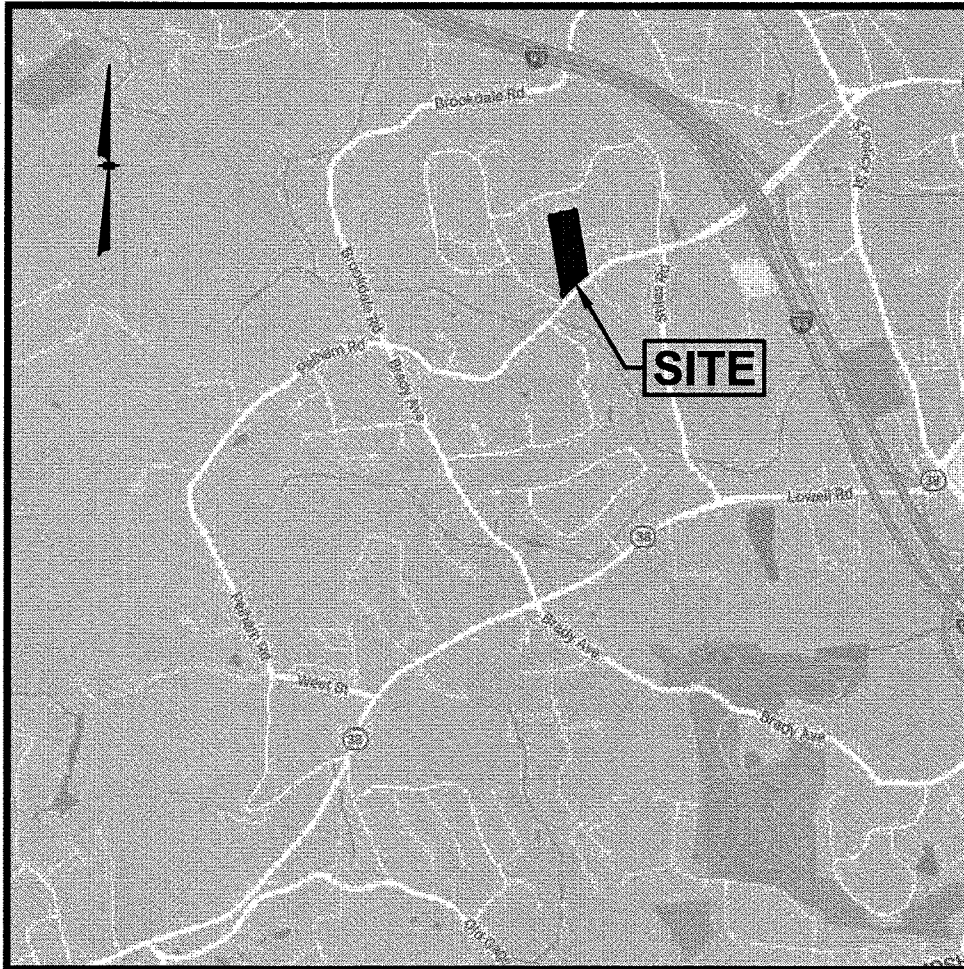
MAP 96 LOT 7775
419,350 Sq.Ft.
9.62 Ac.±

MATCH LINE SHEET 4
MATCH LINE SHEET 3

0 30 60 100
SCALE: 1" = 30'

1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE
REVISIONS			
EXISTING CONDITIONS PLAN			
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810			
GPI 603.893.0720 GPINET.COM		Engineering Design Planning Construction Management Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079	
SCALE: 1" = 30'		DATE: APRIL 3, 2023	
		OWNER OF RECORD YOUNG LAND HOLDINGS, LLC 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819	
		SALEM PLANNING BOARD APPROVAL	
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
CSS	AKC	2200130_SV	NEX-2200130
		SHEET No.	4 OF 25

F:\Projects\NEX-2200130 - Salem, NH - Suraj Realty\CAD Files\2200130_SV.dwg HISS 8/16/23 10:13am ccdl



LOCATION MAP
(NOT TO SCALE)

SOIL LEGEND

- WETLAND LINE
- 361BH SOIL TYPE DESIGNATION
- SOIL BOUNDARY

LEGEND

- CCB CAPE COD BERM
- DSLY DOUBLE SOLID LINE YELLOW
- SSLW SINGLE SOLID LINE WHITE
- G GAS LINE
- T UNDERGROUND TELEPHONE
- W WATER LINE
- E UNDERGROUND ELECTRIC
- CHAIN LINK FENCE
- STOCKADE FENCE
- POST & RAIL FENCE
- WIRE FENCE
- 90 CONTOUR ELEVATION
- TREE
- UTILITY POLE
- GUY WIRE
- OVERHEAD WIRE
- TREELINE
- SIGN
- SPOT ELEVATION
- DRAIN MANHOLE
- CATCH BASIN
- ROOF DRAIN
- CLEANOUT
- VENT
- SEWER MANHOLE
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- WATER MANHOLE
- MANHOLE
- GAS VALVE
- GAS SHUT OFF
- WATER VALVE
- WATER SHUT OFF
- FIRE HYDRANT
- BOLLARD
- GAS METER
- ELECTRIC METER
- LIGHT POLE
- WETLAND LINE
- WATER FEATURE
- UNDERGROUND COMM
- DITCH LINE
- EASEMENT LINE
- PROPERTY LINE
- ABUTTER PROPERTY LINE
- BUILDING SETBACK
- SOIL TYPE LINE
- ZONE LINE
- FLOOD ZONE LINE

SITE SPECIFIC SOIL MAP LEGEND

MAP UNIT SYMBOL	MAP UNIT NAME	HISS SYMBOL	HYDROLOGIC SOIL GROUP
163	CHARLTON, EXTREMELY STONY	227	B
444	NEWFIELDS SANDY LOAM	321	B
514	LEICESTER SANDY LOAM	521	C
915	DEERFIELD VARIANT (SWPD)	411	C
100B/DCABB	UDORTHENTS, WET SUBSTRATUM	481	C
299A/DAABB	UDORTHENTS, SMOOTHED	361	B
400D/DAABB	UDORTHENTS, GRAVELLY	361	B

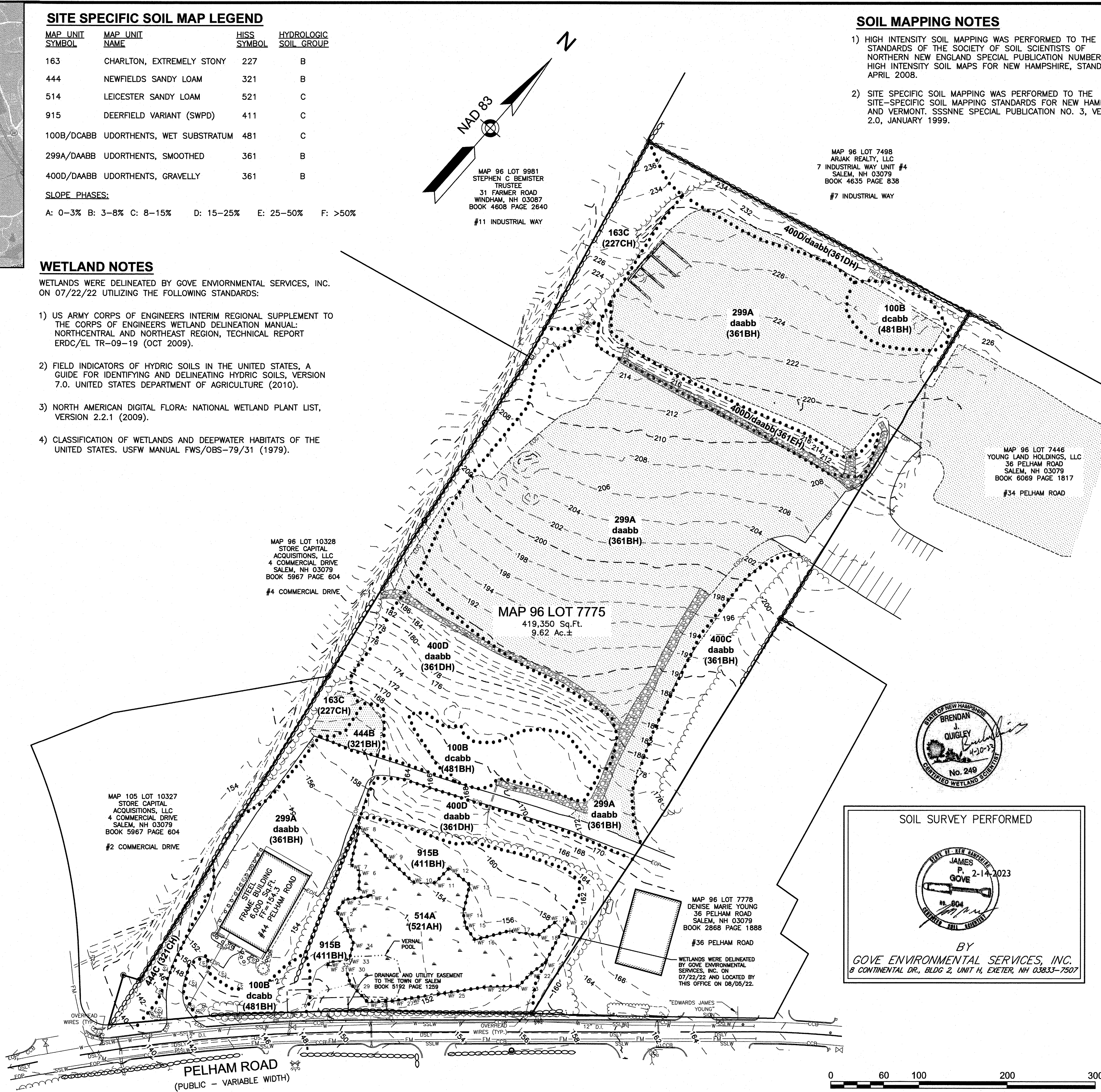
SLOPE PHASES:

A: 0-3% B: 3-8% C: 8-15% D: 15-25% E: 25-50% F: >50%

WETLAND NOTES

WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. ON 07/22/22 UTILIZING THE FOLLOWING STANDARDS:

- 1) US ARMY CORPS OF ENGINEERS INTERIM REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-09-19 (OCT 2009).
- 2) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0. UNITED STATES DEPARTMENT OF AGRICULTURE (2010).
- 3) NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.2.1 (2009).
- 4) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFW MANUAL FWS/OBS-79/31 (1979).

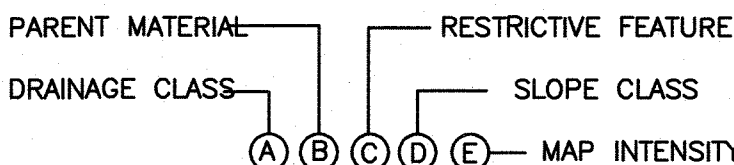


SOIL MAPPING NOTES

- 1) HIGH INTENSITY SOIL MAPPING WAS PERFORMED TO THE STANDARDS OF THE SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND SPECIAL PUBLICATION NUMBER 1, HIGH INTENSITY SOIL MAPS FOR NEW HAMPSHIRE, STANDARDS, APRIL 2008.
- 2) SITE SPECIFIC SOIL MAPPING WAS PERFORMED TO THE SITE-SPECIFIC SOIL MAPPING STANDARDS FOR NEW HAMPSHIRE AND VERMONT. SSSNE SPECIAL PUBLICATION NO. 3, VERSION 2.0, JANUARY 1999.

KEY TO SOIL TYPES

THE SOIL TYPES ARE DEFINED BY SOIL CHARACTERISTICS; AND DESIGNATED WITH A FIVE PART SYMBOL.



SYMBOL: A DRAINAGE CLASS

- 1- EXCESSIVELY DRAINED
- 2- WELL DRAINED
- 3- MODERATELY WELL DRAINED
- 4- SOMEWHAT POORLY DRAINED
- 5- POORLY DRAINED
- 6- VERY POORLY DRAINED
- 7- NOT DETERMINABLE (TO BE USED ONLY WITH SYMBOL B-6)

SYMBOL: B PARENT MATERIAL

- 1- GLACIOFLUVIAL DEPOSITS (OUTWASH/TERRACES OF SAND OR SAND AND GRAVEL).
- 2- GLACIAL TILL MATERIAL (ACTIVE ICE) MARINE OR GLACIOLACUSTRINE DEPOSITS (3,4 OR 5)
- 3- VERY FINE SAND AND SILT DEPOSITS (GLACIAL LAKES)
- 4- LOAMY/SANDY OVER SILT/CLAY DEPOSITS
- 5- SILT AND CLAY DEPOSITS (OCEAN WATERS)
- 6- EXCAVATED, REGRADED OR FILLED (SEE CONNOTATIVE SOIL LEGEND)
- 7- ALLUVIAL DEPOSITS (FLOOD PLAINS)
- 8- ORGANIC MATERIALS - FRESH WATER BOGS, ETC.
- 9- ORGANIC MATERIALS - TIDAL MARSH

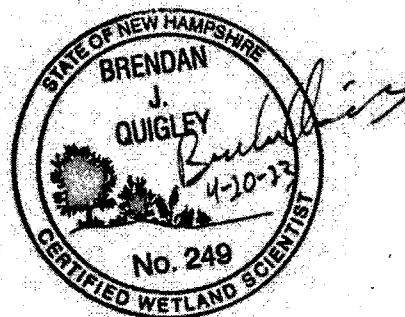
SYMBOL: C RESTRICTIVE FEATURES (IF MORE THAN ONE APPLIES, LIST THE MOST RESTRICTIVE)

- 1- NONE
- 2- BOULDERS, WITH MORE THAN 15% OF THE SURFACE COVERED WITH BOULDERS (LARGER THAN 24 INCHES IN DIAMETER).
- 3- MINERAL RESTRICTIVE LAYER(S) ARE PRESENT IN THE SOIL PROFILE LESS THAN 40 INCHES BELOW THE SOIL SURFACE - SUCH AS HARD PAN, PLATY STRUCTURE AND CLAYEY TEXTURE. FOR EXAMPLES OF SOIL CHARACTERISTICS THAT QUALIFY FOR RESTRICTIVE LAYER, SEE SOIL MANUAL FOR SITE EVALUATIONS IN NEW HAMPSHIRE, 2ND ED. PAGE 3-17, FIGURE 3-14.
- 4- BEDROCK PRESENT IN THE SOIL PROFILE 0-20 INCHES BELOW THE SOIL SURFACE (BEDROCK IS EITHER A LITHIC OR A PARALITHIC CONTACT - SEE USER NOTE: SOIL TAXONOMY).
- 5- SUBJECT TO FLOODING.
- 6- DOES NOT MEET FILL STANDARDS (SEE ADDENDUM - STANDARDS FOR FILL MATERIAL) (ONLY TO BE USED WITH SYMBOL B-6).
- 7- BEDROCK PRESENT IN THE SOIL PROFILE 20 TO 40 INCHES BELOW THE SOIL SURFACE. (BEDROCK IS EITHER LITHIC OR PARALITHIC CONTACT; SEE SOIL TAXONOMY).
- 8- AREAS WHERE DEPTH TO BEDROCK IS SO VARIABLE THAT A SINGLE SOIL TYPE CANNOT BE APPLIED, WILL BE MAPPED AS A COMPLEX OF SOIL TYPES AND WILL HAVE A SYMBOL C OF 8.

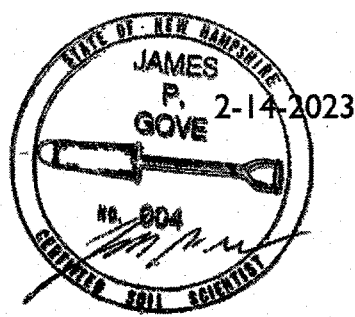
SYMBOL: D SLOPE CLASS

- B- 0% TO 8%
- C- 8% TO 15%
- D- 15% TO 25%
- E- 25% +

SYMBOL: E HIGH INTENSITY SOIL MAP IDENTIFIER - H.



SOIL SURVEY PERFORMED



BY
GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DR., BLDG 2, UNIT H, EXETER, NH 03833-7507

0 60 100 200 300
SCALE: 1" = 60'

2	RESPONSE TO COMMENTS	CMY	8/16/23
1	ADD VERNAL POOL LOCATION	NID	4/24/23
NO.	DESCRIPTION	BY	DATE
REVISIONS			
SOIL SURVEY MAP			
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD			
PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810			
GPI 603.893.0720		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079 GPI.NET.COM	
SCALE: 1" = 60'		DATE: APRIL 3, 2023	
OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819		SALEM PLANNING BOARD APPROVAL	
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
CSS	AJC	2200130_SV	NEX-2200130
		SHEET No.	5 OF 25

F:\Projects\NEX-2200130 - Salem, NH - Suraj Realty\CAD Files\2200130_SP-PH2.dwg PH PLAN 10/15/25 4:59pm oYork

LEGEND	
CCB	CAPE COD BERM
DSLY	DOUBLE SOLID LINE YELLOW
SSLW	SINGLE SOLID LINE WHITE
G	GAS LINE
T	UNDERGROUND TELEPHONE
W	WATER LINE
E	UNDERGROUND ELECTRIC
CL	CHAIN LINK FENCE
ST	STOCKADE FENCE
PR	POST & RAIL FENCE
WF	WIRE FENCE
90	CONTOUR ELEVATION
TREE	TREE
UT	UTILITY POLE
GW	GUY WIRE
OW	OVERHEAD WIRE
TL	TREELINE
S	SIGN
SE	SPOT ELEVATION
DM	DRAIN MANHOLE
CB	CATCH BASIN
RD	ROOF DRAIN
CLN	CLEANOUT
V	VENT
SM	SEWER MANHOLE
TM	TELEPHONE MANHOLE
EM	ELECTRIC MANHOLE
WM	WATER MANHOLE
M	MANHOLE
GV	GAS VALVE
GS	GAS SHUT OFF
WS	WATER VALVE
WSO	WATER SHUT OFF
FH	FIRE HYDRANT
B	BOLLARD
GM	GAS METER
EM	ELECTRIC METER
LP	LIGHT POLE
WL	WETLAND LINE
WF	WATER FEATURE
UC	UNDERGROUND COMM
D	DITCH LINE
E	EASEMENT LINE
P	PROPERTY LINE
AP	ABUTTER PROPERTY LINE
B	BUILDING SETBACK
ST	SOIL TYPE LINE
Z	ZONE LINE
F	FLOOD ZONE LINE

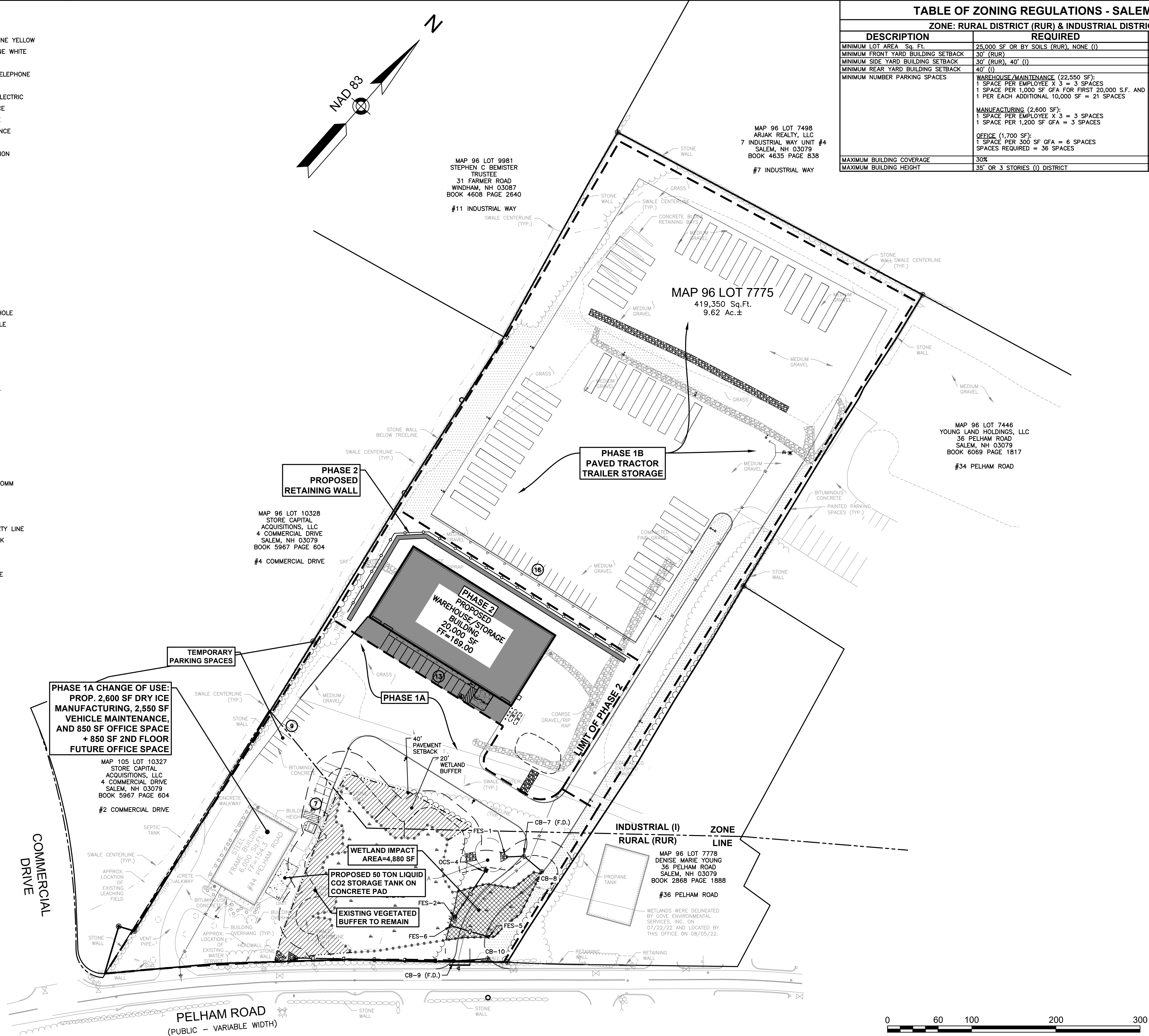


TABLE OF ZONING REGULATIONS - SALEM, NH		
ZONE: RURAL DISTRICT (RUR) & INDUSTRIAL DISTRICT (I)		
DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA Sq. Ft.	25,000 SF OR BY SOILS (RUR), NONE (I)	9.62 Ac±
MINIMUM FRONT YARD BUILDING SETBACK	30' (RUR)	68.1' (EXIST. BLDG)
MINIMUM SIDE YARD BUILDING SETBACK	30' (RUR), 40' (I)	43' (EXIST. BLDG), 41' (PROP. BLDG)
MINIMUM REAR YARD BUILDING SETBACK	40' (I)	> 40'
MINIMUM NUMBER PARKING SPACES	WAREHOUSE/MAINTENANCE (22,550 SF): 1 SPACE PER EMPLOYEE X 3 = 3 SPACES 1 SPACE PER 1,000 SF GFA FOR FIRST 20,000 S.F. AND 1 PER EACH ADDITIONAL 10,000 SF = 21 SPACES MANUFACTURING (2,600 SF): 1 SPACE PER EMPLOYEE X 3 = 3 SPACES 1 SPACE PER 1,200 SF GFA = 3 SPACES OFFICE (1,700 SF): 1 SPACE PER 300 SF GFA = 6 SPACES SPACES REQUIRED = 36 SPACES	36 SPACES
MAXIMUM BUILDING COVERAGE	30%	26,000 SF/489,350 SF = 6.2%
MAXIMUM BUILDING HEIGHT	35' OR 3 STORIES (I) DISTRICT	< 35'



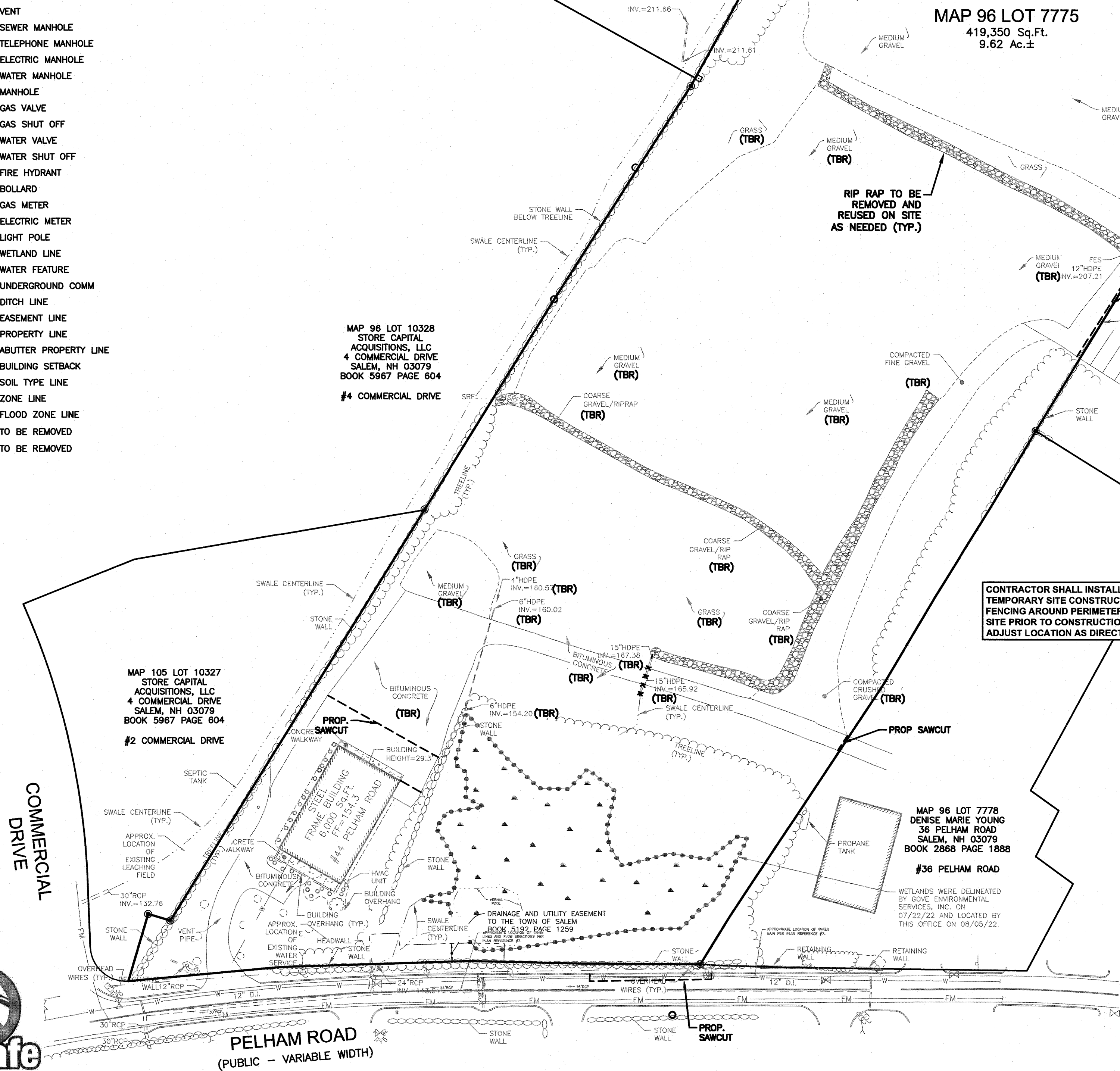
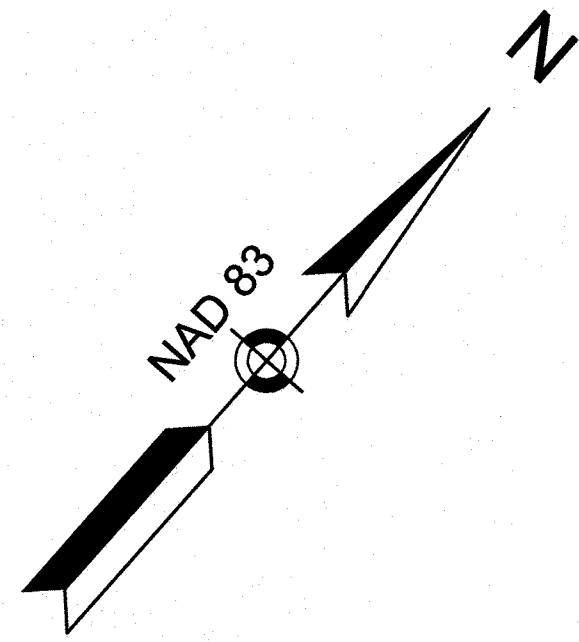
LOCATION MAP
(NOT TO SCALE)

NOTES:
1) A CONDITIONAL USE PERMIT WAS GRANTED FROM THE PLANNING BOARD PER SECTION 490-706.1 TO ALLOW A 4,880 SF WETLAND IMPACT AND WORK WITHIN THE WETLAND BUFFERS.

3	UPDATE PHASING	CMY	10/20/25
2	RESPONSE TO COMMENTS	NID	9/5/23
1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE
REVISIONS			
PHASE PLAN			
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD			
PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810			
GPI Engineering Design Planning Construction Management 603.893.0720 GPINET.COM		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079	
SCALE: 1" = 60'		DATE: APRIL 3, 2023	
 10-20-25		OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819	
DESIGNED BY: NID		DRAWN/CHECKED: CCC/DRJ	
DWG. NAME: 2200130_SP-PH2		PROJECT No.: NEX-2200130	
SHEET No.: 6 OF 25		ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)	

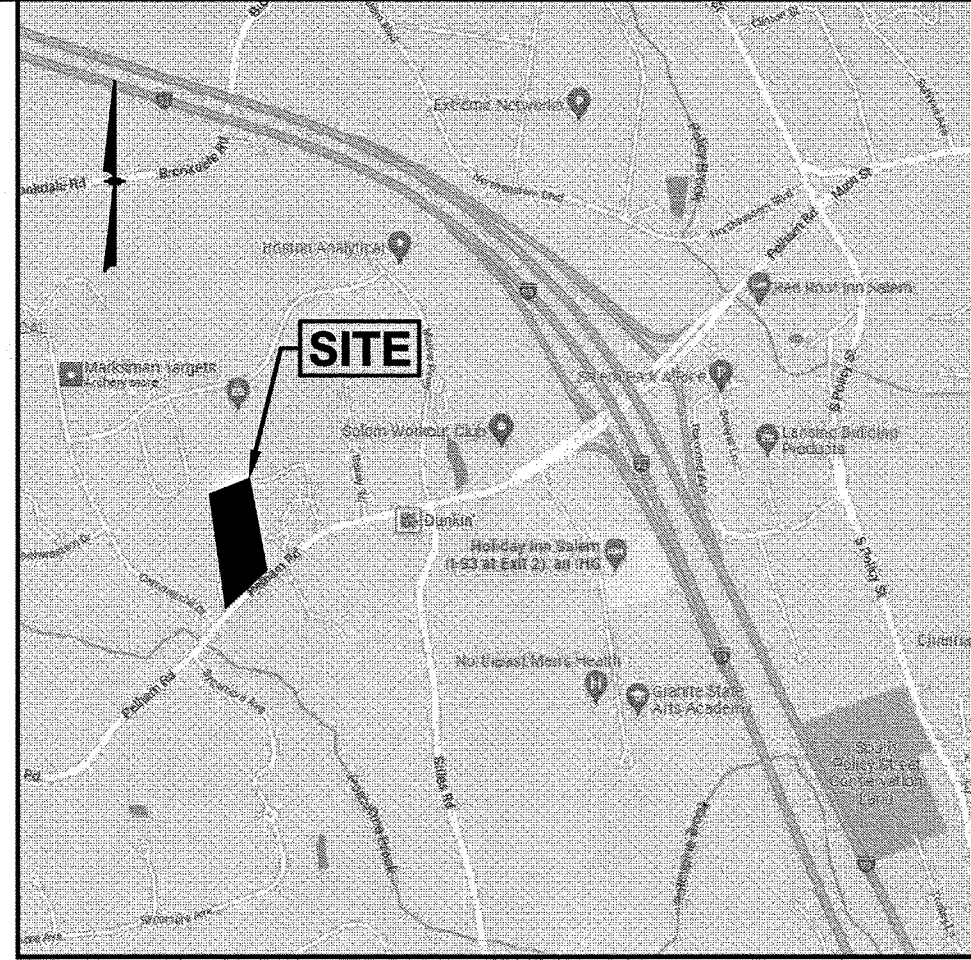
F:\Projects\NEX-2200130 - Salem, NH - Suraj Realty\CAD Files\2200130_SP-PH1.dwg DEMO 8/16/23 10:17am ccall

LEGEND	
	CAPE COD BERM
	DOUBLE SOLID LINE YELLOW
	SINGLE SOLID LINE WHITE
	GAS LINE
	UNDERGROUND TELEPHONE
	WATER LINE
	UNDERGROUND ELECTRIC
	CHAIN LINK FENCE
	STOCKADE FENCE
	POST & RAIL FENCE
	WIRE FENCE
	CONTOUR ELEVATION
	TREE
	UTILITY POLE
	GUY WIRE
	OVERHEAD WIRE
	TREELINE
	SIGN
	SPOT ELEVATION
	DRAIN MANHOLE
	CATCH BASIN
	ROOF DRAIN
	CLEANOUT
	VENT
	SEWER MANHOLE
	TELEPHONE MANHOLE
	ELECTRIC MANHOLE
	WATER MANHOLE
	MANHOLE
	GAS VALVE
	GAS SHUT OFF
	WATER VALVE
	WATER SHUT OFF
	FIRE HYDRANT
	BOLLARD
	GAS METER
	ELECTRIC METER
	LIGHT POLE
	WETLAND LINE
	WATER FEATURE
	UNDERGROUND COMM
	DITCH LINE
	EASEMENT LINE
	PROPERTY LINE
	ABUTTER PROPERTY LINE
	BUILDING SETBACK
	SOIL TYPE LINE
	ZONE LINE
	FLOOD ZONE LINE
	TO BE REMOVED
	TO BE REMOVED



NOTES:

- 1) ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR TO INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH EROSION AND SEDIMENT CONTROL PLAN PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
- 2) CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT INJURY, DAMAGE TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
- 3) REFRAIN FROM USING EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
- 4) CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATIVE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFICWAYS IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
- 5) USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURE AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
- 6) ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- 7) COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY, GRADE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
- 8) REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENTS.
- 9) PROTECT EXISTING DRAINAGE SYSTEM(S) AS NECESSARY TO PREVENT SEDIMENT FROM ENTERING DURING CONSTRUCTION. SEE DETAIL SHEETS FOR EROSION CONTROL DEVICES.
- 10) ALL WORK WITHIN ROADWAY RIGHT-OF-WAYS SHALL CONFORM TO TOWN STANDARDS.
- 11) THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
- 12) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY DIG SAFE (DIAL 811) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER DEPARTMENT TO MARK OUT THEIR UTILITIES.
- 13) NOTES ON THIS PLAN THAT READ "TBR" REPRESENT FEATURES TO BE REMOVED. ANY FEATURES NOT LABELED "TBR" OR "TO BE REMOVED" SHALL BE CONSIDERED EXISTING TO REMAIN.
- 14) SEE LANDSCAPE PLAN FOR LIMITS OF CLEARING AND GRUBBING. AFTER CLEARING, STRIP AND STOCKPILE TOP SOIL PER LANDSCAPE PLAN, IF APPLICABLE.



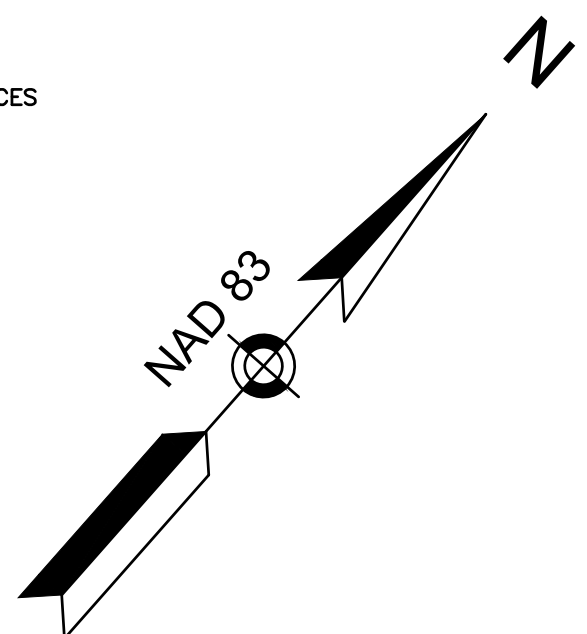
LOCATION MAP
(NOT TO SCALE)

SEE GENERAL NOTES FOR CONSTRUCTION SEQUENCE AND TEMPORARY EROSION CONTROL MEASURES, SEE EROSION & SEDIMENT CONTROL PLAN FOR LOCATION OF EROSION CONTROL DEVICES. SEE LANDSCAPE PLAN FOR LIMITS OF CLEARING.

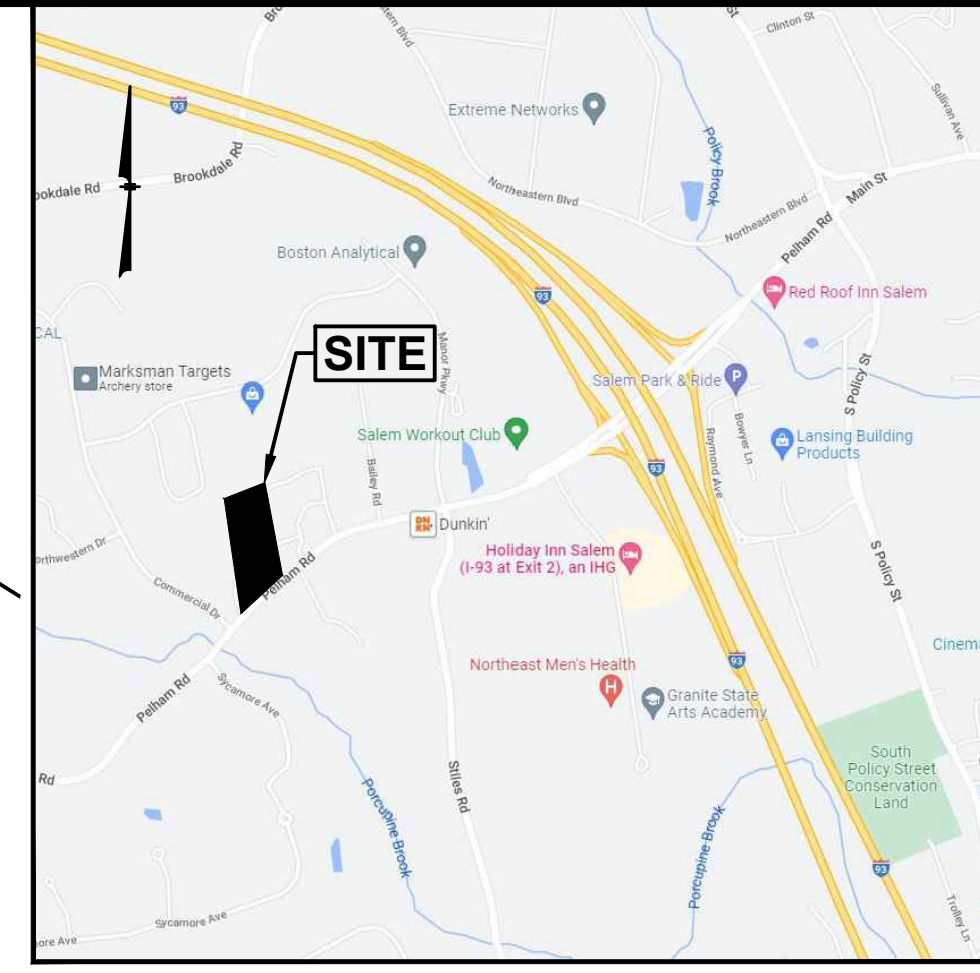
1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE
REVISIONS			
DEMOLITION PLAN			
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD			
PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810			
		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079	
603.893.0720		GPINET.COM	
SCALE: 1" = 60'			
DATE: APRIL 3, 2023			
OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819		SALEM PLANNING BOARD APPROVAL	
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
NID	CCC/DRJ	2200130_SP-PH1	NEX-2200130
SHEET No.		7 OF 25	



	CAPE COD BERM
	DOUBLE SOLID LINE YELLOW
	SINGLE SOLID LINE WHITE
	GAS LINE
	UNDERGROUND TELEPHONE
	WATER LINE
	UNDERGROUND ELECTRIC
	CHAIN LINK FENCE
	STOCKADE FENCE
	POST & RAIL FENCE
	WIRE FENCE
	CONTOUR ELEVATION
	TREE
	UTILITY POLE
	GUY WIRE
	OVERHEAD WIRE
	TREELINE
	SIGN
	SPOT ELEVATION
	DRAIN MANHOLE
	CATCH BASIN
	ROOF DRAIN
	CLEANOUT
	VENT
	SEWER MANHOLE
	TELEPHONE MANHOLE
	ELECTRIC MANHOLE
	WATER MANHOLE
	MANHOLE
	GAS VALVE
	GAS SHUT OFF
	WATER VALVE
	WATER SHUT OFF
	FIRE HYDRANT
	BOLLARD
	GAS METER
	ELECTRIC METER
	LIGHT POLE
	WETLAND LINE
	WATER FEATURE
	UNDERGROUND COMM
	DITCH LINE
	EASEMENT LINE
	PROPERTY LINE
	ABUTTER PROPERTY LINE
	BUILDING SETBACK
	SOIL TYPE LINE
	ZONE LINE
	FLOOD ZONE LINE

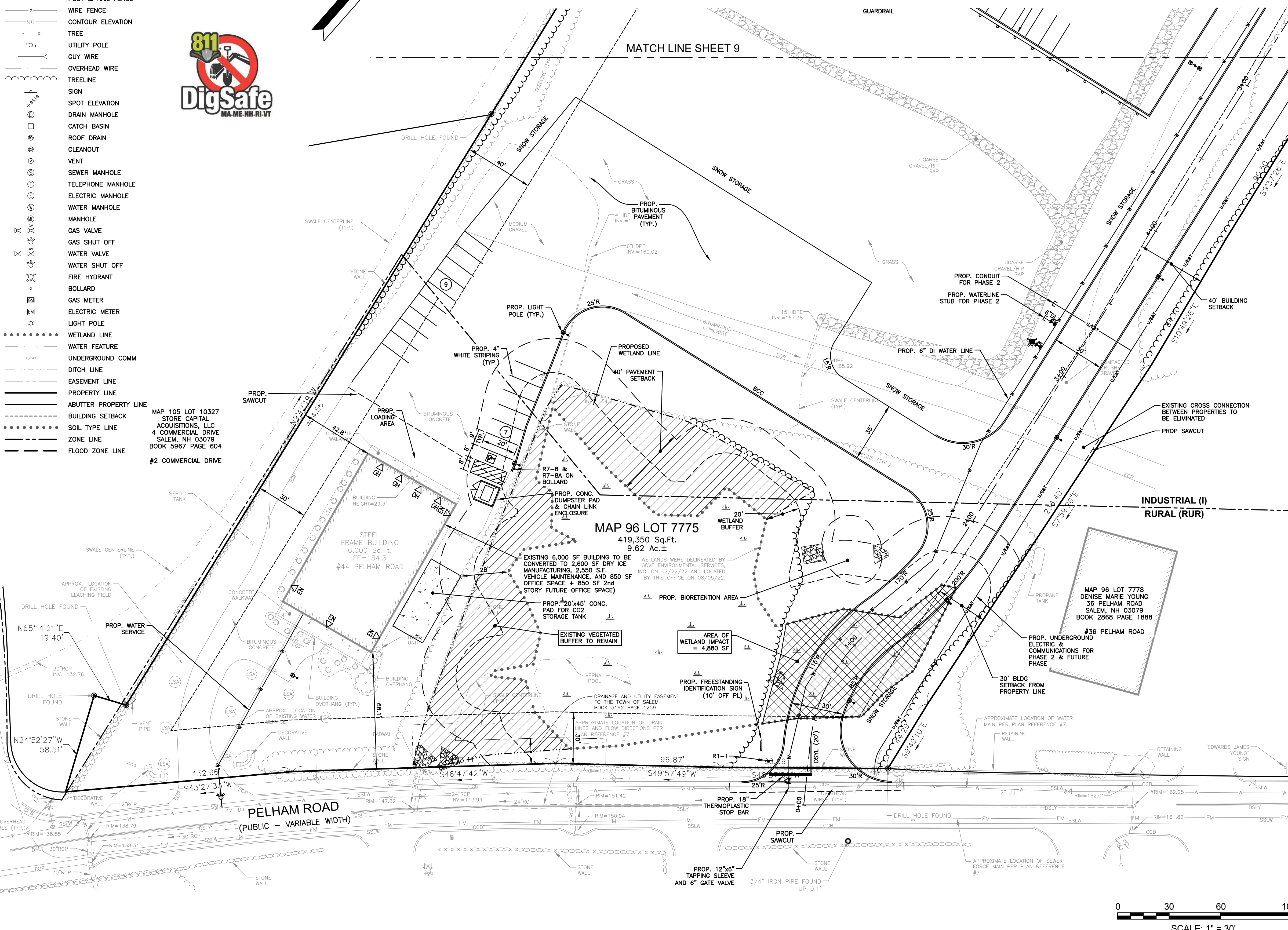


SIGN KEY		
SIGN I.D. NUMBER	TEXT/COLOR	SIZE/REMARKS
R1-1	 R/W	30" x 30" NEW SIGN WITH POST
R7-8	 G/B/W	12" x 18" NEW SIGN WITH POST
R7-8A	 G/W	6" x 12"



LOCATION MAP
(NOT TO SCALE)

1) SEE SHEET 2 FOR SITE AND UTILITY NOTES.



4	MISC REVS.	CMY	10/20/25
3	RESPONSE TO COMMENTS	CMY	4/15/25
2	RESPONSE TO COMMENTS	NID	9/5/23
1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE
REVISIONS			

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

GPI
603.893.0720

Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

SCALE: 1" = 30'

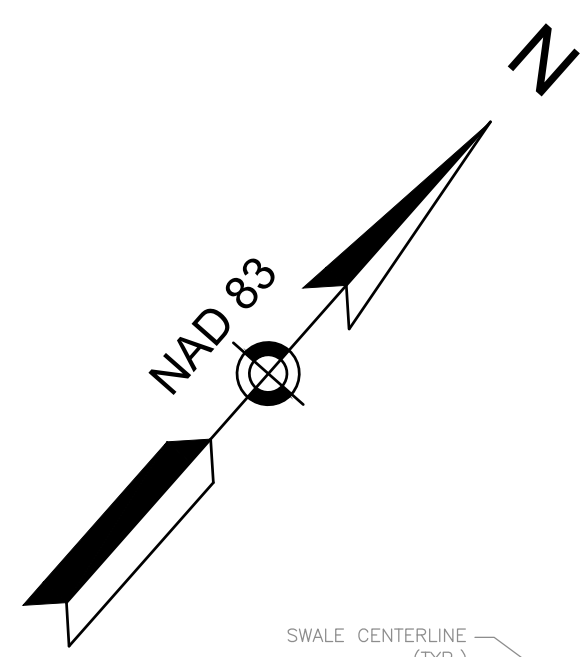
DATE: APRIL 3, 2023

 10-20-25	OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819		SALEM PLANNING BOARD <u>APPROVAL</u>	
	ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_SP-PH1	NEX-2200130	8 OF 25

F:\Projects\NEX-2200130 - Salem, NH - Suraj Realty\CAD Files\2200130_SP-PH1.dwg SP-UT-2 10/15/25 4:44pm cyork

LEGEND

- CCB CAPE COD BERM
DSLY DOUBLE SOLID LINE YELLOW
SSLW SINGLE SOLID LINE WHITE
G GAS LINE
T UNDERGROUND TELEPHONE
W WATER LINE
E UNDERGROUND ELECTRIC
CHAIN LINK FENCE
STOCKADE FENCE
POST & RAIL FENCE
WIRE FENCE
90 CONTOUR ELEVATION
TREE
UTILITY POLE
GUY WIRE
OVERHEAD WIRE
TREELINE
SIGN
SPOT ELEVATION
DRAIN MANHOLE
CATCH BASIN
ROOF DRAIN
CLEANOUT
VENT
SEWER MANHOLE
TELEPHONE MANHOLE
ELECTRIC MANHOLE
WATER MANHOLE
MANHOLE
GAS VALVE
GAS SHUT OFF
WATER VALVE
WATER SHUT OFF
FIRE HYDRANT
BOLLARD
GAS METER
ELECTRIC METER
LIGHT POLE
WETLAND LINE
WATER FEATURE
UNDERGROUND COMM
DITCH LINE
EASEMENT LINE
PROPERTY LINE
ABUTTER PROPERTY LINE
BUILDING SETBACK
SOIL TYPE LINE
ZONE LINE
FLOOD ZONE LINE
NUMBER OF PARKING SPACES
T.D. TIP DOWN CURB
C.O. PROP. CLEANOUT
CB-1 PROP. CATCH BASIN
DMH-1 PROP. DRAIN MANHOLE
SMH-1 PROP. SEWER MANHOLE
PROP. GATE VALVE



MAP 96 LOT 9981
STEPHEN C BEMISTER
TRUSTEE
31 FARMER ROAD
WINDHAM, NH 03087
BOOK 4608 PAGE 2640
#11 INDUSTRIAL WAY

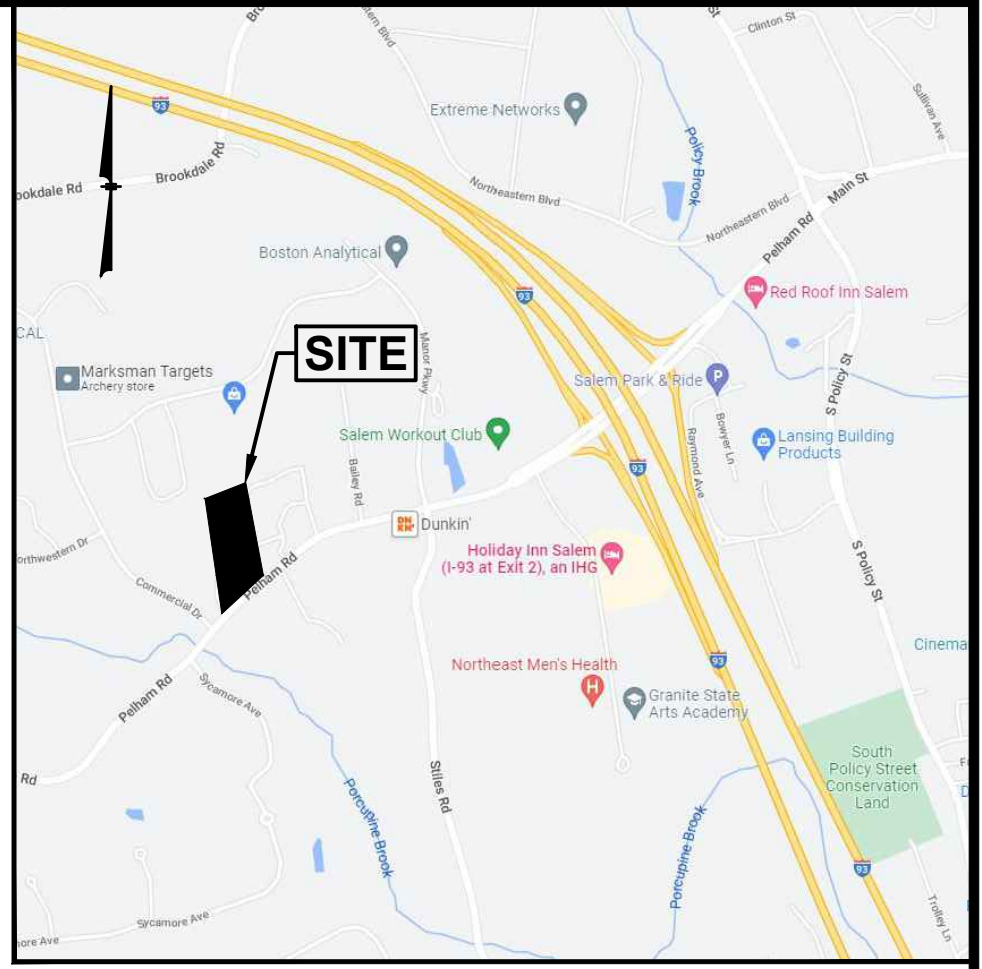
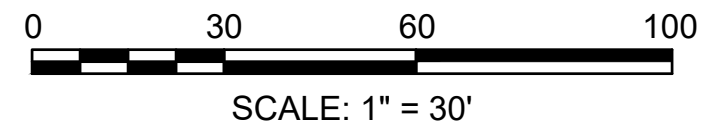
MAP 96 LOT 7498
ARJAK REALTY, LLC
7 INDUSTRIAL WAY UNIT #4
SALEM, NH 03079
BOOK 4635 PAGE 838
#7 INDUSTRIAL WAY

MAP 96 LOT 7775
419,350 Sq.Ft.
9.62 Ac.±

MAP 96 LOT 7446
YOUNG LAND HOLDINGS, LLC
36 PELHAM ROAD
SALEM, NH 03079
BOOK 6069 PAGE 1817
#34 PELHAM ROAD

MAP 96 LOT 10328
STORE CAPITAL
ACQUISITIONS, LLC
4 COMMERCIAL DRIVE
SALEM, NH 03079
BOOK 5967 PAGE 604
#4 COMMERCIAL DRIVE

MATCH LINE SHEET 8



LOCATION MAP
(NOT TO SCALE)

NOTES:

- 1) SEE SHEET 2 FOR SITE AND UTILITY NOTES.

NO.	DESCRIPTION	BY	DATE
3	MISC REVS.	CMY	10/20/25
2	RESPONSE TO COMMENTS	CMY	4/15/25
1	RESPONSE TO COMMENTS	CMY	8/16/23

PHASE 1 - SITE & UTILITY PLAN

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

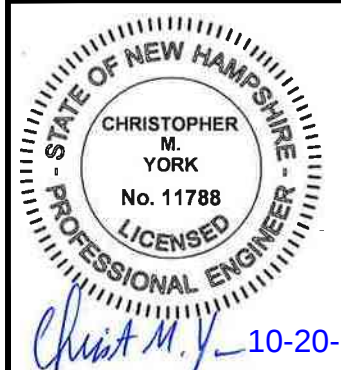
PREPARED FOR:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810



Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

SCALE: 1" = 30'

DATE: APRIL 3, 2023



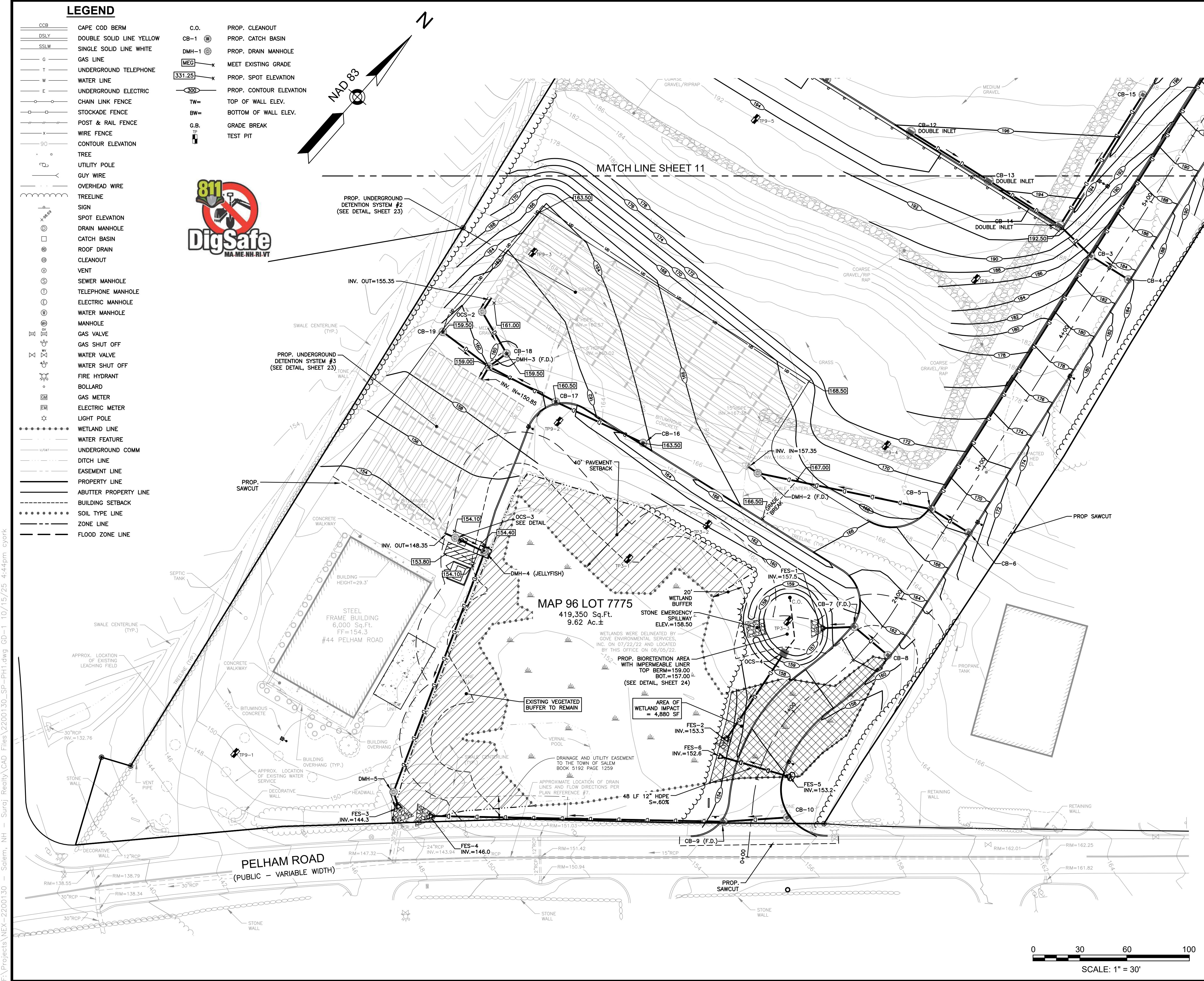
OWNER OF RECORD
YOUNG LAND HOLDINGS, LLC
36 PELHAM RD, SALEM, NH
BOOK 6069 PAGE 1819

SALEM PLANNING BOARD
APPROVAL

ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_SP-PH1	NEX-2200130	9 OF 25

F:\Projects\NEX-2200130 - Salem, NH - Suraj Realty\CAD Files\2200130_SP-PH1.dwg GD-1 10/15/25 4:44pm c.york



8	MISC REVS.	CMY	10/20/25
7	RESPONSE TO COMMENTS	CMY	5/30/25
6	RESPONSE TO COMMENTS	CMY	4/30/25
5	RESPONSE TO COMMENTS	CMY	4/15/25
4	ADDRESS AOT COMMENTS	CMY	10/23/23
3	ADDRESS AOT COMMENTS	CMY	10/3/23
2	RESPONSE TO COMMENTS	NID	9/5/23
NO.	DESCRIPTION	BY	DATE

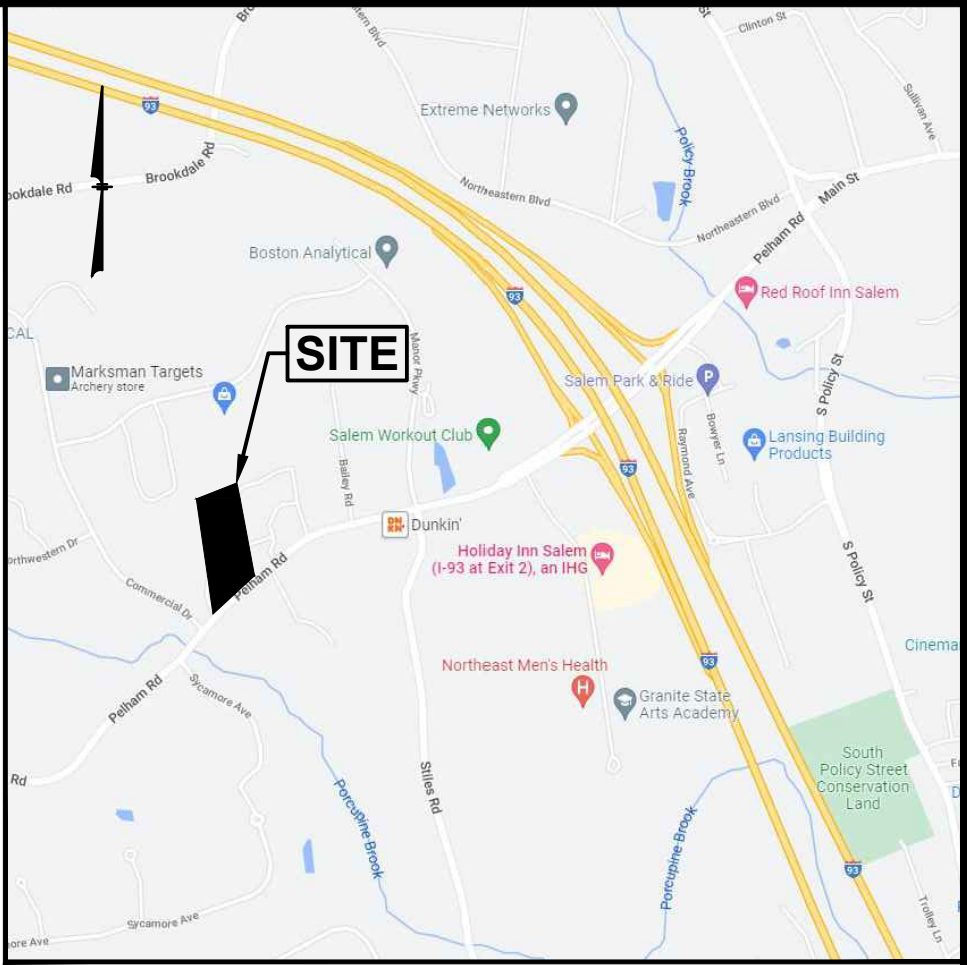
REVISIONS			
PHASE 1 - GRADING & DRAINAGE PLAN			
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD			
PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810			
GPI 603.893.0720 GPINET.COM		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079	
SCALE: 1" = 30'		DATE: APRIL 3, 2023	
		OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD., SALEM, NH BOOK 6069 PAGE 1819	
DESIGNED BY: NID		DRAWN/CHECKED: CCC/DRJ	
DWG. NAME: 2200130_SP-PH1		PROJECT No.: NEX-2200130	
SHEET No.: 10 OF 25		ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)	

F:\Projects\NEX-2200130 - Salem, NH - Suraj Realty\CAD Files\2200130_SP-PH1.dwg GD-2 10/16/25 9:54am cyork



LEGEND

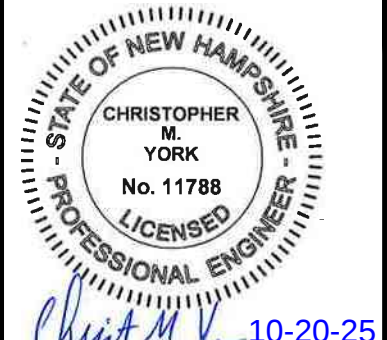
CCB	CAPE COD BERM	C.O.	PROP. CLEANOUT
DSLY	DOUBLE SOLID LINE YELLOW	CB-1	PROP. CATCH BASIN
SSLW	SINGLE SOLID LINE WHITE	DMH-1	PROP. DRAIN MANHOLE
G	GAS LINE	MEG	MEET EXISTING GRADE
T	UNDERGROUND TELEPHONE	331.25	PROP. SPOT ELEVATION
W	WATER LINE	190	PROP. CONTOUR ELEVATION
E	UNDERGROUND ELECTRIC	TW=	TOP OF WALL ELEV.
CLF	CHAIN LINK FENCE	BW=	BOTTOM OF WALL ELEV.
SF	STOCKADE FENCE	G.B.	GRADE BREAK
PRF	POST & RAIL FENCE	TP	TEST PIT
WF	WIRE FENCE		
CE	CONTOUR ELEVATION		
T	TREE		
UP	UTILITY POLE		
GW	GUY WIRE		
OW	OVERHEAD WIRE		
TL	TREELINE		
S	SIGN		
SE	SPOT ELEVATION		
DM	DRAIN MANHOLE		
CB	CATCH BASIN		
RD	ROOF DRAIN		
CL	CLEANOUT		
V	VENT		
SM	SEWER MANHOLE		
TM	TELEPHONE MANHOLE		
EM	ELECTRIC MANHOLE		
WM	WATER MANHOLE		
M	MANHOLE		
GV	GAS VALVE		
GS	GAS SHUT OFF		
WS	WATER VALVE		
WSO	WATER SHUT OFF		
FH	FIRE HYDRANT		
B	BOLLARD		
GM	GAS METER		
EM	ELECTRIC METER		
L	LIGHT POLE		
WL	WETLAND LINE		
WF	WATER FEATURE		
UC	UNDERGROUND COMM		
D	DITCH LINE		
E	EASEMENT LINE		
P	PROPERTY LINE		
AP	ABUTTER PROPERTY LINE		
B	BUILDING SETBACK		
ST	SOIL TYPE LINE		
Z	ZONE LINE		
FZ	FLOOD ZONE LINE		



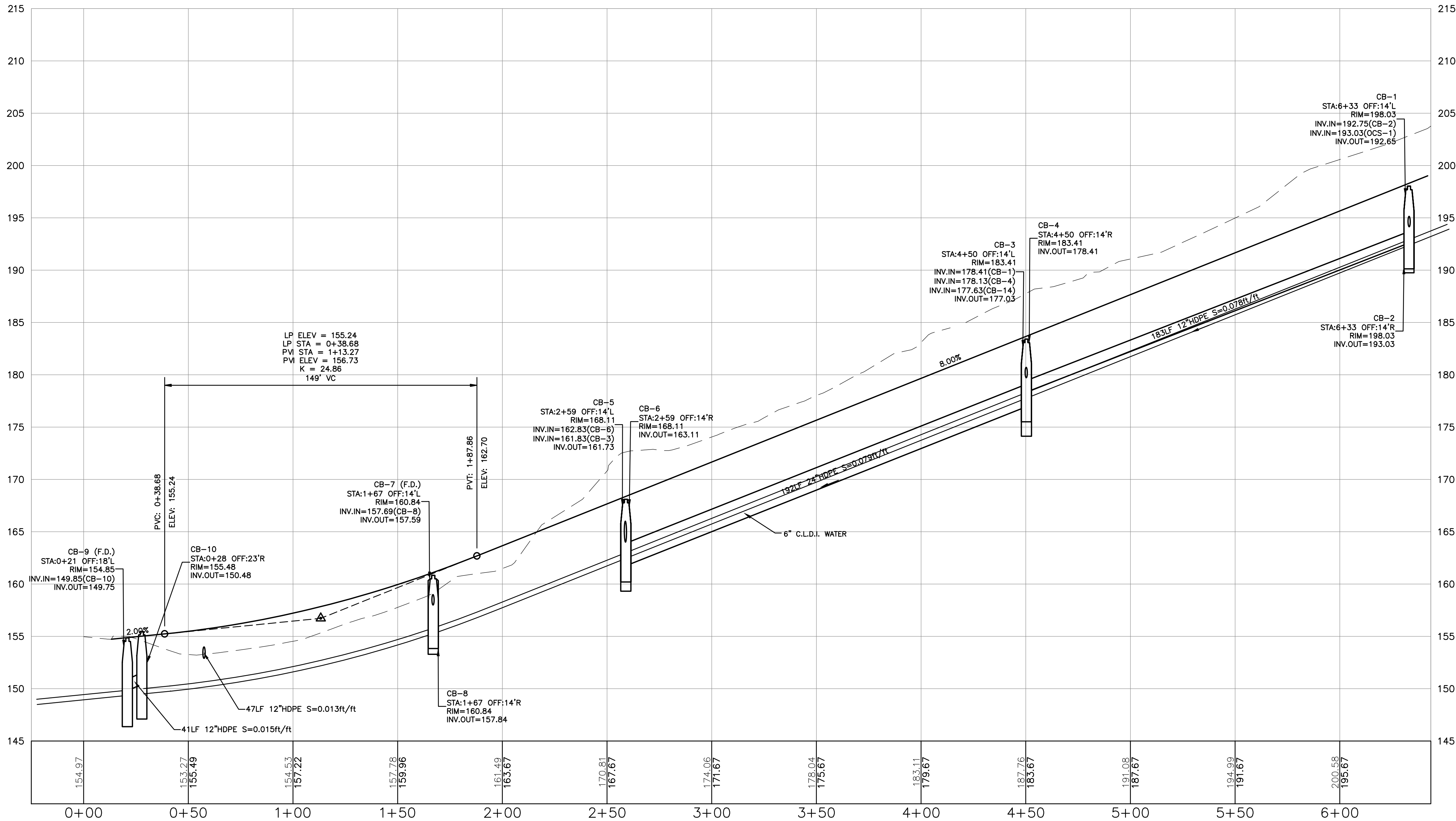
LOCATION MAP
(NOT TO SCALE)

- NOTES:
- 1) SEE SHEET 2 FOR GRADING & DRAINAGE NOTES.
 - 2) SEE SHEET 12 FOR DRAINAGE STRUCTURE AND PIPE SCHEDULES.

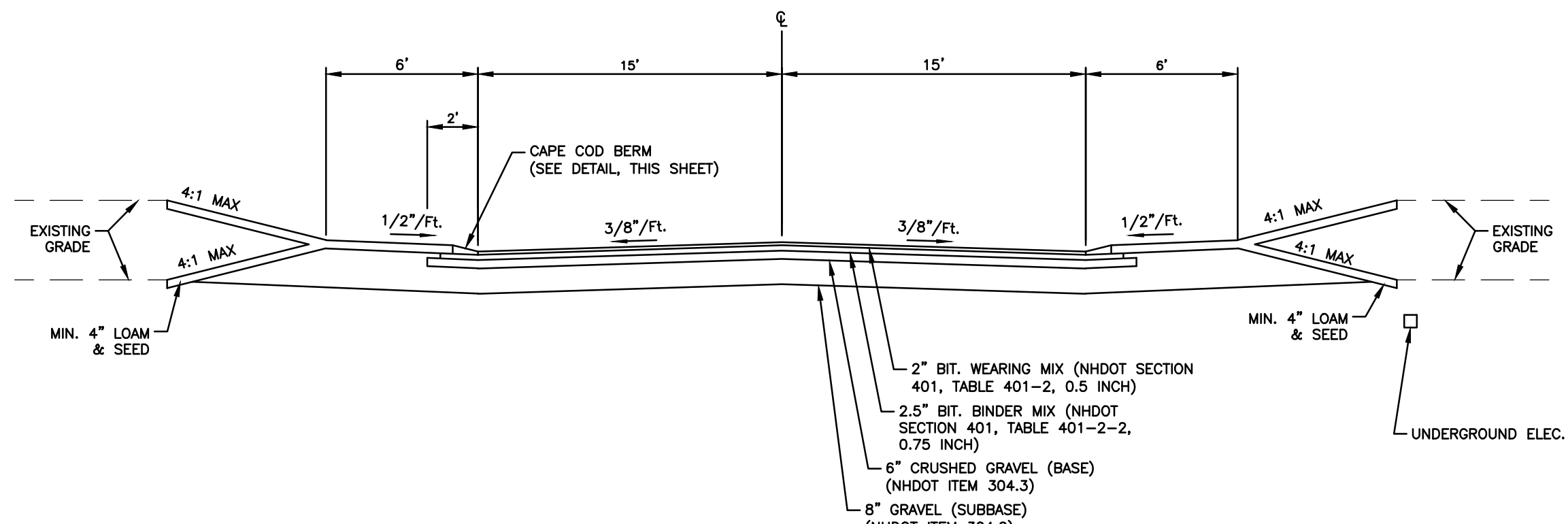
NO.	DESCRIPTION	BY	DATE
6	MISC REVS.	CMY	10/20/25
5	RESPONSE TO COMMENTS	CMY	4/30/25
4	RESPONSE TO COMMENTS	CMY	4/15/25
3	ADDRESS AOT COMMENTS	CMY	10/23/23
2	ADDRESS AOT COMMENTS	CMY	10/3/23
1	RESPONSE TO COMMENTS	CMY	8/16/23

REVISIONS				
PHASE 1 - GRADING & DRAINAGE PLAN				
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810				
 603.893.0720		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079 GPI.NET.COM		
SCALE: 1" = 30'		DATE: APRIL 3, 2023		
		OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819		SALEM PLANNING BOARD APPROVAL
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)				
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_SP-PH1	NEX-2200130	11 OF 25

F:\Projects\NEX-2200130 - Salem, NH - Suraj Realty\CAD Files\2200130_SP-PH1.dwg GD-3 5/30/25 10:20am eyork



DRIVEWAY PROFILE
SCALE: 1"=30'H/6'V



TYPICAL DRIVEWAY CROSS SECTION
NOT TO SCALE

DRAINAGE PIPE SCHEDULE					
FROM: STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE OF PIPE (FT./FT.)	TO: STRUCTURE NUMBER
CB-0 (FOR FUTURE DEVELOPMENT)	18	HDPE	21	0.102	DMH-0
CB-1	12	HDPE	183	0.078	CB-3
CB-2	12	HDPE	28	0.010	CB-1
CB-3	24	HDPE	191	0.079	CB-5
CB-4	12	HDPE	28	0.010	CB-3
CB-5	24	HDPE	114	0.013	DMH-2 (F.D.)
CB-6	12	HDPE	28	0.010	CB-5
CB-7 (F.D.)	12	HDPE	21	0.005	FES-1
CB-8	12	HDPE	29	0.005	CB-7 (F.D.)
CB-9 (F.D.)	12	HDPE	188	0.020	FES-4
CB-10	12	HDPE	41	0.015	CB-9 (F.D.)
CB-11	12	HDPE	38	0.008	INF-IN
CB-12	12	HDPE	59	0.030	CB-13
CB-13	18	HDPE	54	0.021	CB-14
CB-14	18	HDPE	28	0.075	CB-3
CB-15	12	HDPE	99	0.053	CB-14
CB-16	12	HDPE	62	0.047	CB-17
CB-17	12	HDPE	48	0.045	DMH-3 (F.D.)
CB-18	12	HDPE	14	0.084	DMH-3 (F.D.)
CB-19	12	HDPE	37	0.032	DMH-3 (F.D.)

DRAINAGE PIPE SCHEDULE					
FROM: STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE OF PIPE (FT./FT.)	TO: STRUCTURE NUMBER
DET-1 OUT	12	HDPE	15	0.000	OCS-1
DET-2 OUT	12	HDPE	11	0.000	OCS-2
DET-3 OUT	12	HDPE	7	0.000	OCS-3
DMH-0	18	HDPE	51	0.077	DMH-1 (F.D.)
DMH-1 (F.D.)	18	HDPE	14	0.043	DET-1 IN
DMH-2 (F.D.)	24	HDPE	7	0.014	DET-2 IN
DMH-3 (F.D.)	18	HDPE	10	0.011	DET-3 IN
DMH-4 (JELLYFISH)	12	HDPE	164	0.019	DMH-5
DMH-5	12	HDPE	11	0.010	FES-3
FES-5	12	HDPE	47	0.013	FES-6
OCS-1	12	HDPE	37	0.089	CB-1
OCS-2	12	HDPE	31	0.010	CB-18
OCS-3	12	HDPE	21	0.011	DMH-4 (JELLYFISH)
OCS-4	12	HDPE	67	0.010	FES-2

NOTES:

1) SEE SHEET 2 FOR GRADING & DRAINAGE NOTES.



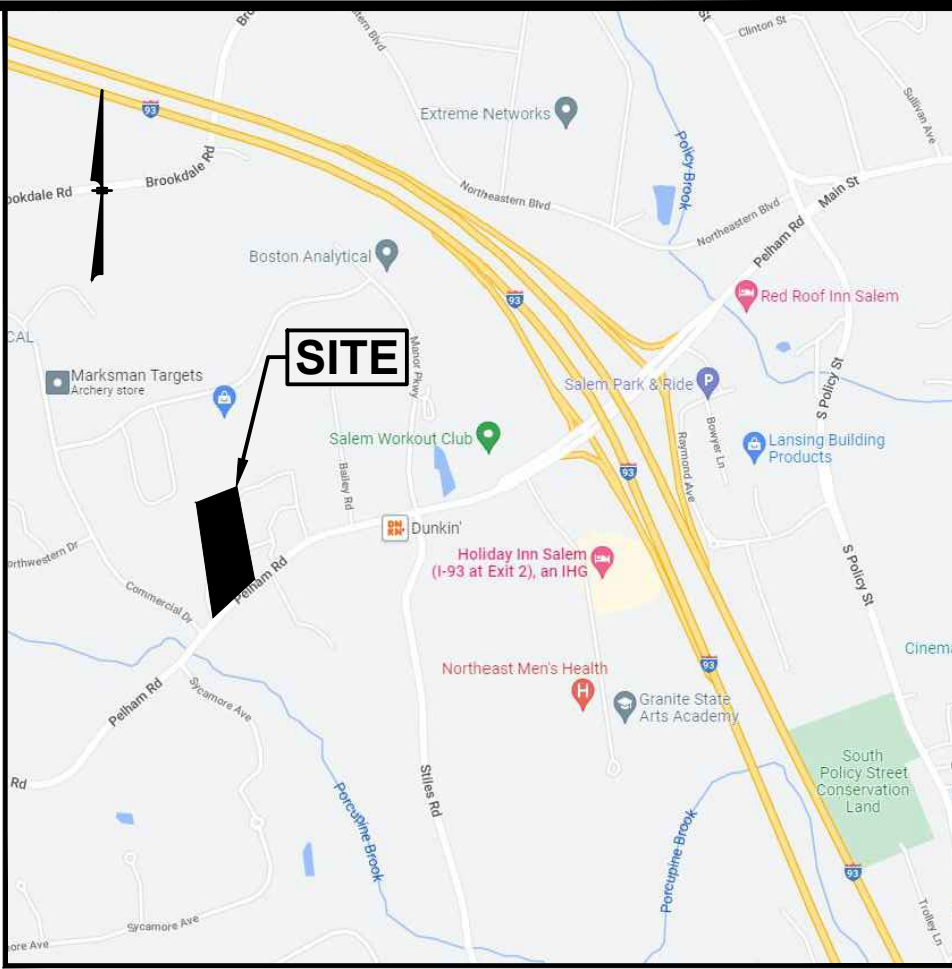
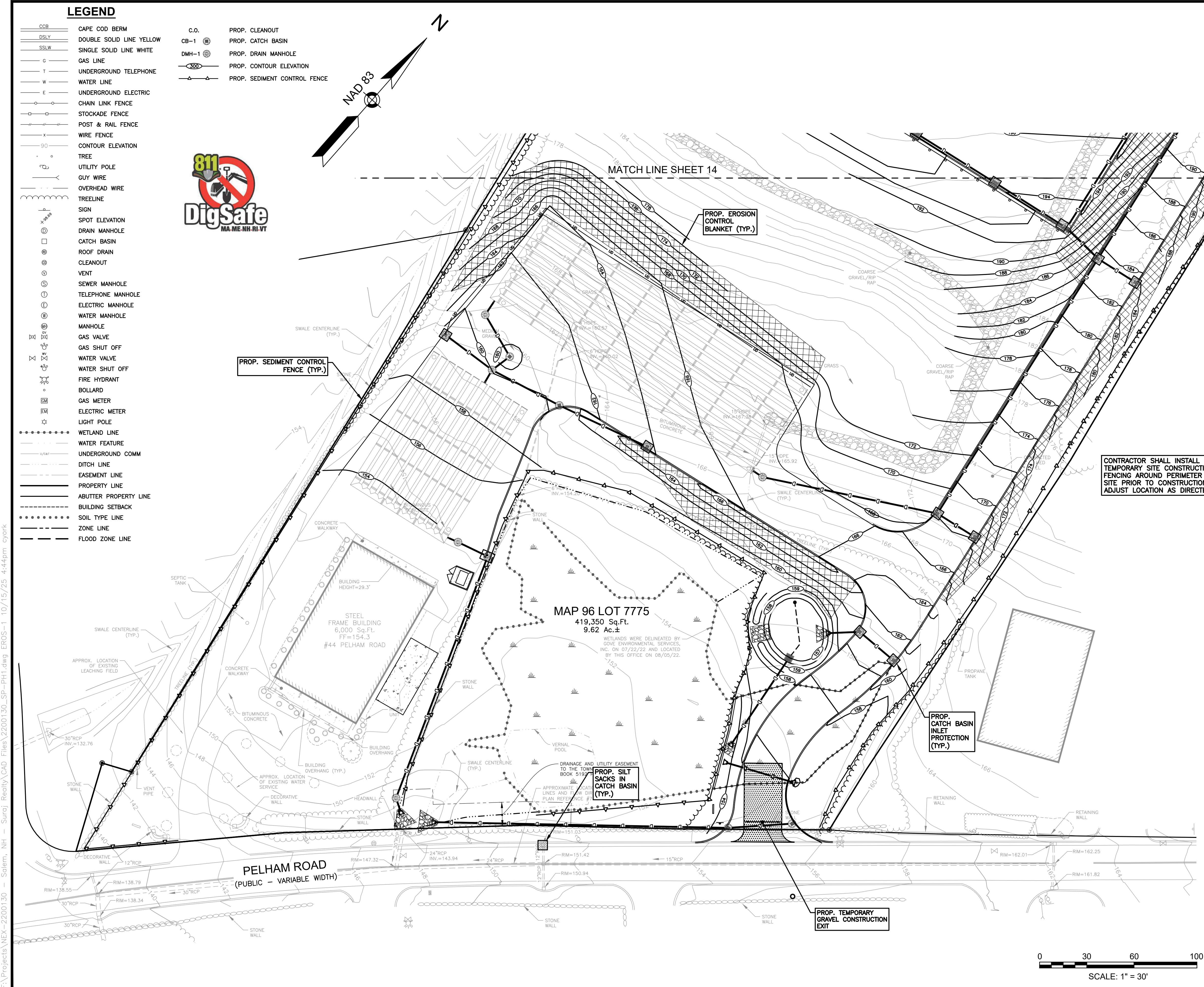
SCALE: 1" = 30' (H)
1" = 6' (V)

DRAINAGE STRUCTURES

CB-0 (FOR FUTURE DEVELOPMENT) RIM=218.00 INV.IN=209.81(CB-0) INV.OUT=212.00	DMH-0 RIM=215.31 INV.IN=209.81(CB-0) INV.OUT=204.91	* DENOTES LOW PROFILE FRAME, GRATE, AND TOP SLAB (FD) DENOTES FIRST DEFENSE FD-4HC HYDRODYNAMIC PARTICLE SEPARATOR OR APPROVED EQUAL (SEE DETAIL)
CB-1 RIM=198.03 INV.IN=192.75(CB-2) INV.IN=193.03(OCS-1) INV.OUT=192.65	DMH-1 (F.D.) RIM=206.50 INV.IN=201.00(DMH-0) INV.OUT=199.45	
CB-2 RIM=198.03 INV.OUT=193.03	DMH-2 (F.D.) RIM=166.50 INV.IN=160.20(CB-5) INV.OUT=157.45	
CB-3 RIM=183.41 INV.IN=178.41(CB-1) INV.IN=178.13(CB-4) INV.IN=177.63(CB-14) INV.OUT=177.03	DMH-3 (F.D.) RIM=159.00 INV.IN=153.32(CB-19) INV.IN=153.32(CB-18) INV.IN=153.32(CB-17) INV.OUT=150.96	
CB-4 RIM=183.41 INV.IN=178.41	DMH-4 (JELLYFISH) RIM=154.00 INV.IN=148.12(OCS-3) INV.OUT=147.65	
CB-5 RIM=168.11 INV.IN=162.83(CB-6) INV.IN=161.83(CB-3) INV.OUT=161.73	DMH-5 RIM=149.00 INV.IN=144.53(DMH-4 (JELLYFISH)) INV.OUT=144.43	
CB-6 RIM=168.11 INV.OUT=163.11	OCS-1 RIM=201.00 INV.IN=196.35(DET-1 OUT) INV.OUT=196.35	
CB-7 (F.D.) * RIM=160.84 INV.IN=157.69(CB-8) INV.OUT=157.59	OCS-2 RIM=160.50 INV.IN=155.35(DET-2 OUT) INV.OUT=155.35	
CB-8 * RIM=160.84 INV.OUT=157.84	OCS-3 RIM=154.00 INV.IN=148.35(DET-3 OUT) INV.OUT=148.35	
CB-9 (F.D.) RIM=154.85 INV.IN=149.85(CB-10) INV.OUT=149.75	OCS-4 RIM=158.80 INV.OUT=154.00	
CB-10 RIM=155.48 INV.OUT=150.48	FES-2 INV.=153.33	
CB-11 RIM=197.50 INV.OUT=194.10	FES-3 INV.=144.33	
CB-12 RIM=195.50 INV.OUT=190.10	FES-4 INV.=146.00	
CB-13 RIM=193.50 INV.IN=188.34(CB-12) INV.OUT=187.85	FES-5 INV.=153.20	
CB-14 RIM=192.50 INV.IN=186.72(CB-13) INV.IN=186.72(CB-15) INV.OUT=179.72	FES-6 INV.=152.60	
CB-15 RIM=197.00 INV.OUT=192.00	UNDERGROUND DETENTION SYSTEM #1 (DET-1) WITH IMPERMEABLE LINER 48" CMP PIPES, 8 ROWS x 249 LF/ROW S=0.000 FT/FT INV.IN=198.85 (DMH-1) INV.OUT=196.35	
CB-16 RIM=163.50 INV.OUT=158.50	UNDERGROUND DETENTION SYSTEM #2 (DET-2) WITH IMPERMEABLE LINER 48" CMP PIPES, 11 ROWS x 200 LF/ROW S=0.000 FT/FT INV.IN=157.35 (DMH-2) INV.OUT=155.35	
CB-17 RIM=160.50 INV.IN=155.60(CB-16) INV.OUT=155.50	UNDERGROUND DETENTION SYSTEM #3 (DET-3) WITH IMPERMEABLE LINER 48" CMP PIPES, 12 ROWS x 100 LF/ROW S=0.000 FT/FT INV.IN=150.85 (DMH-3) INV.OUT=148.35	
CB-18 RIM=159.50 INV.IN=155.04(OCS-2) INV.OUT=154.50		
CB-19 RIM=159.50 INV.OUT=154.50		

5	RESPONSE TO COMMENTS	CMY	5/30/25
4	RESPONSE TO COMMENTS	CMY	4/15/25
3	ADDRESS AOT COMMENTS	CMY	10/23/23
2	ADDRESS AOT COMMENTS	CMY	10/3/23
1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE
REVISIONS			
DRIVEWAY PROFILE & DRAINAGE SCHEDULE			
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD			
PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810			
GPI 603.893.0720 Engineering Design Planning Construction Management		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079	
SCALE: AS NOTED		DATE: APRIL 3, 2023	
		OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819	
		SALEM PLANNING BOARD APPROVAL	
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
NID	CCC/DRJ	2200130_SP-PH1	NEX-2200130
		SHEET No.	12 OF 25

F:\Projects\NEX-2200130 - Salem, NH - Suraj Realty\CAD Files\2200130_SP-PH1.dwg EROS-1 10/15/25 4:44pm cyork



LOCATION MAP
(NOT TO SCALE)

NOTES:
1) SEE SHEET 2 FOR EROSION CONTROL NOTES.

NO.	DESCRIPTION	BY	DATE
5	MISC REVS.	CMY	10/20/25
4	RESPONSE TO COMMENTS	CMY	4/15/25
3	ADDRESS AOT COMMENTS	CMY	10/3/23
2	RESPONSE TO COMMENTS	NID	9/5/23
1	RESPONSE TO COMMENTS	CMY	8/16/23

NO.	DESCRIPTION	BY	DATE
-----	-------------	----	------

PHASE 1 - EROSION & SEDIMENT CONTROL PLAN

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

PREPARED FOR:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810

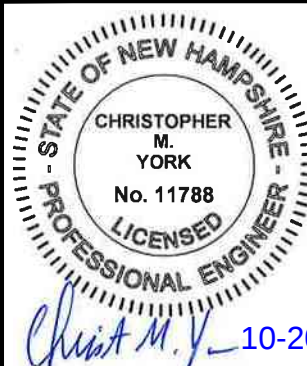
GPI
603.893.0720

Engineering
Design
Planning
Construction Management
GPINET.COM

Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

SCALE: 1" = 30'

DATE: APRIL 3, 2023



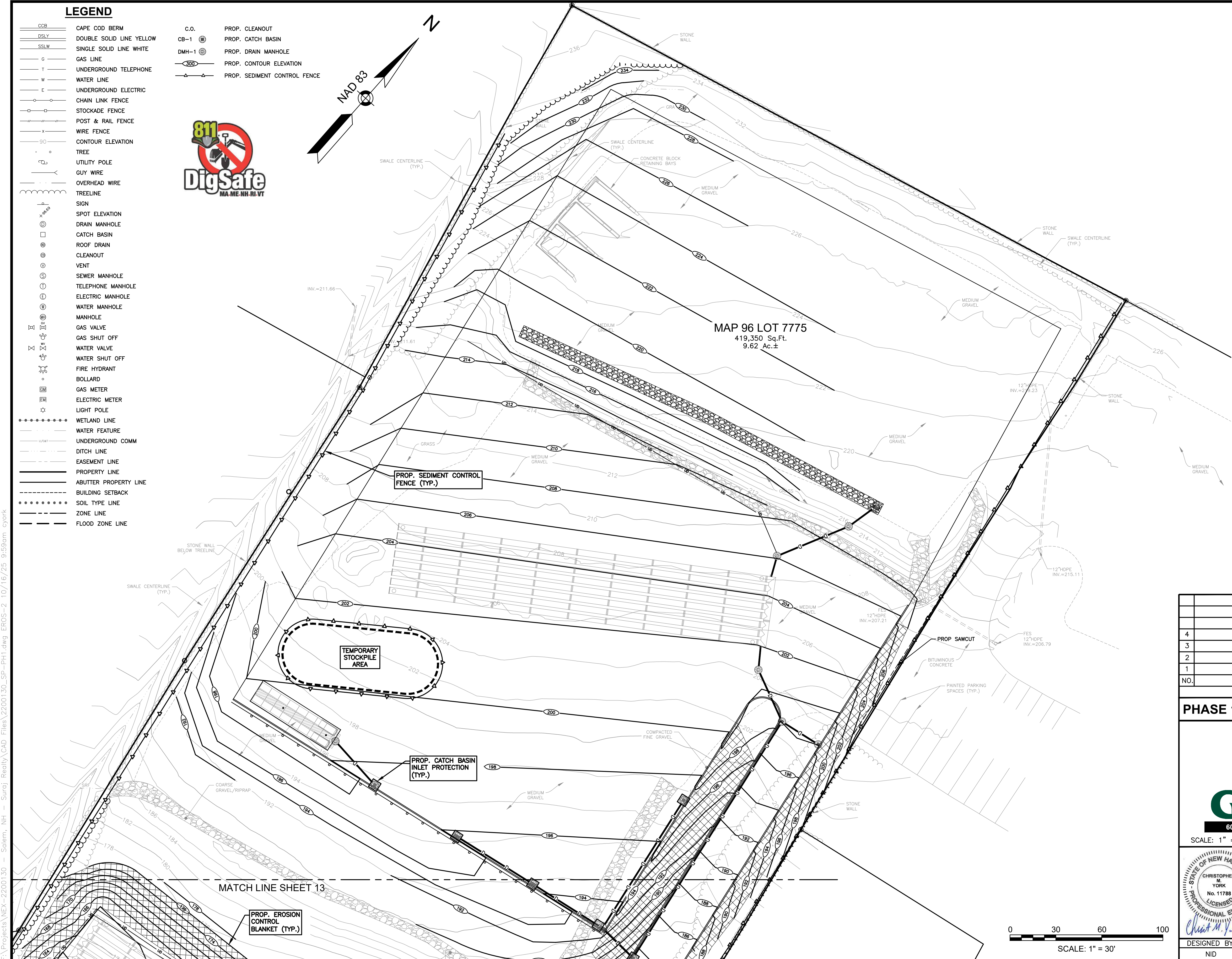
OWNER OF RECORD
YOUNG LAND HOLDINGS, LLC.
36 PELHAM RD, SALEM, NH
BOOK 6069 PAGE 1819

SALEM PLANNING BOARD
APPROVAL

ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)

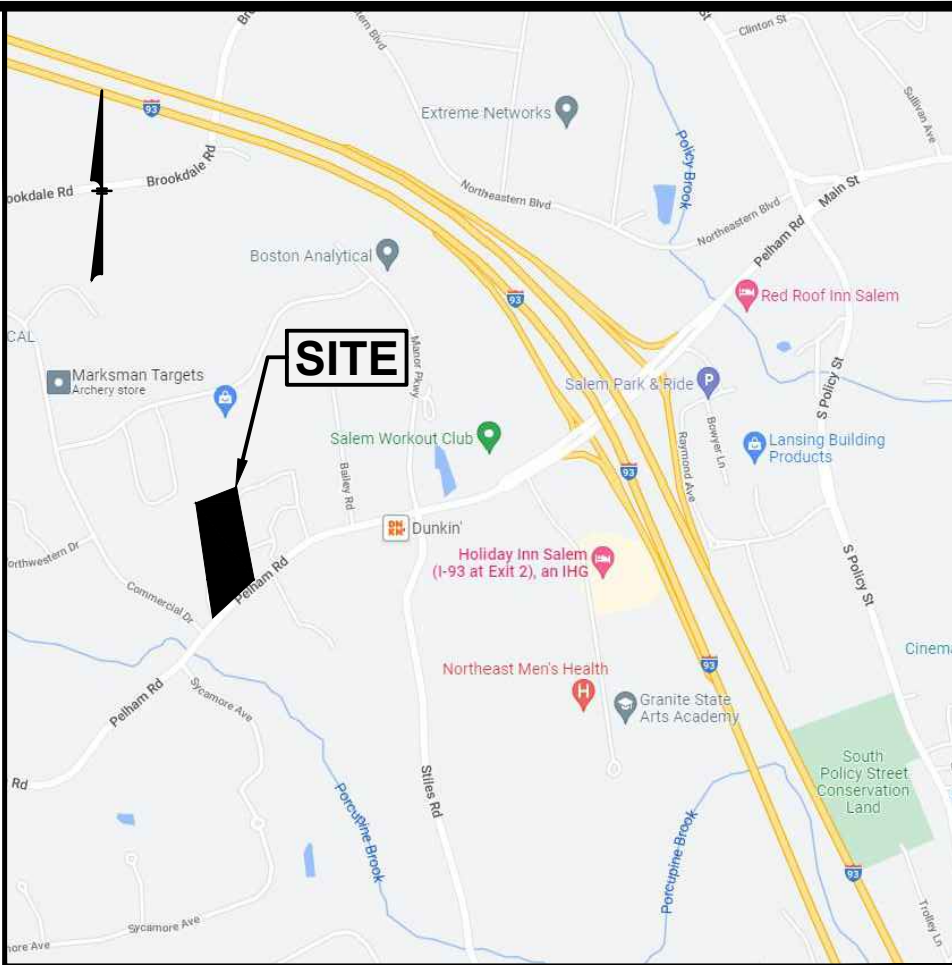
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_SP-PH1	NEX-2200130	13 OF 25

F:\Projects\NEX-2200130 - Salem, NH - Suraj Realty\CAD Files\2200130_SP-PH1.dwg EROs-2 10/16/25 9:59am cyork



LEGEND

CCB	CAPE COD BERM	C.O.	PROP. CLEANOUT
DSLY	DOUBLE SOLID LINE YELLOW	CB-1	PROP. CATCH BASIN
SSLW	SINGLE SOLID LINE WHITE	DMH-1	PROP. DRAIN MANHOLE
G	GAS LINE	300	PROP. CONTOUR ELEVATION
T	UNDERGROUND TELEPHONE	△-△	PROP. SEDIMENT CONTROL FENCE
W	WATER LINE		
E	UNDERGROUND ELECTRIC		
○-○	CHAIN LINK FENCE		
□-□	STOCKADE FENCE		
—x—	POST & RAIL FENCE		
—x—	WIRE FENCE		
—90—	CONTOUR ELEVATION		
○	TREE		
—○—	UTILITY POLE		
—○—	GUY WIRE		
—○—	OVERHEAD WIRE		
—○—	TREELINE		
—○—	SIGN		
—○—	SPOT ELEVATION		
—○—	DRAIN MANHOLE		
—○—	CATCH BASIN		
—○—	ROOF DRAIN		
—○—	CLEANOUT		
—○—	VENT		
—○—	SEWER MANHOLE		
—○—	TELEPHONE MANHOLE		
—○—	ELECTRIC MANHOLE		
—○—	WATER MANHOLE		
—○—	MANHOLE		
—○—	GAS VALVE		
—○—	GAS SHUT OFF		
—○—	WATER VALVE		
—○—	WATER SHUT OFF		
—○—	FIRE HYDRANT		
—○—	BOLLARD		
—○—	GAS METER		
—○—	ELECTRIC METER		
—○—	LIGHT POLE		
—○—	WETLAND LINE		
—○—	WATER FEATURE		
—○—	UNDERGROUND COMM		
—○—	DITCH LINE		
—○—	EASEMENT LINE		
—○—	PROPERTY LINE		
—○—	ABUTTER PROPERTY LINE		
—○—	BUILDING SETBACK		
—○—	SOIL TYPE LINE		
—○—	ZONE LINE		
—○—	FLOOD ZONE LINE		



LOCATION MAP
(NOT TO SCALE)

NOTES:

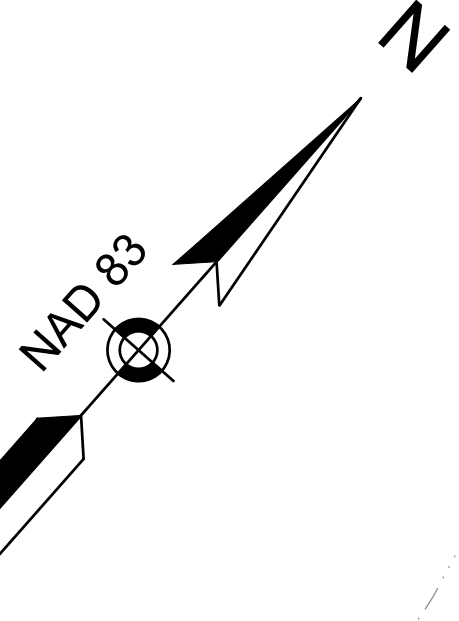
1) SEE SHEET 2 FOR EROSION CONTROL NOTES.

4	MISC REVS.	CMY	10/20/25
3	RESPONSE TO COMMENTS	CMY	4/15/25
2	ADDRESS AOT COMMENTS	CMY	10/3/23
1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE
REVISIONS			
PHASE 1 - EROSION & SEDIMENT CONTROL PLAN			
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810			
GPI Engineering Design Planning Construction Management 603.893.0720 GPINET.COM		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079	
SCALE: 1" = 30'		DATE: APRIL 3, 2023	
	OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819		SALEM PLANNING BOARD APPROVAL
	ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)		
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
NID	CCC/DRJ	2200130_SP-PH1	NEX-2200130
		SHEET No.	14 OF 25

F:\Projects\NEX-2200130 - Salem, NH - Suraj Realty\CAD Files\2200130_SP-PH1.dwg LA-1 10/15/25 4:44pm cyork

LEGEND

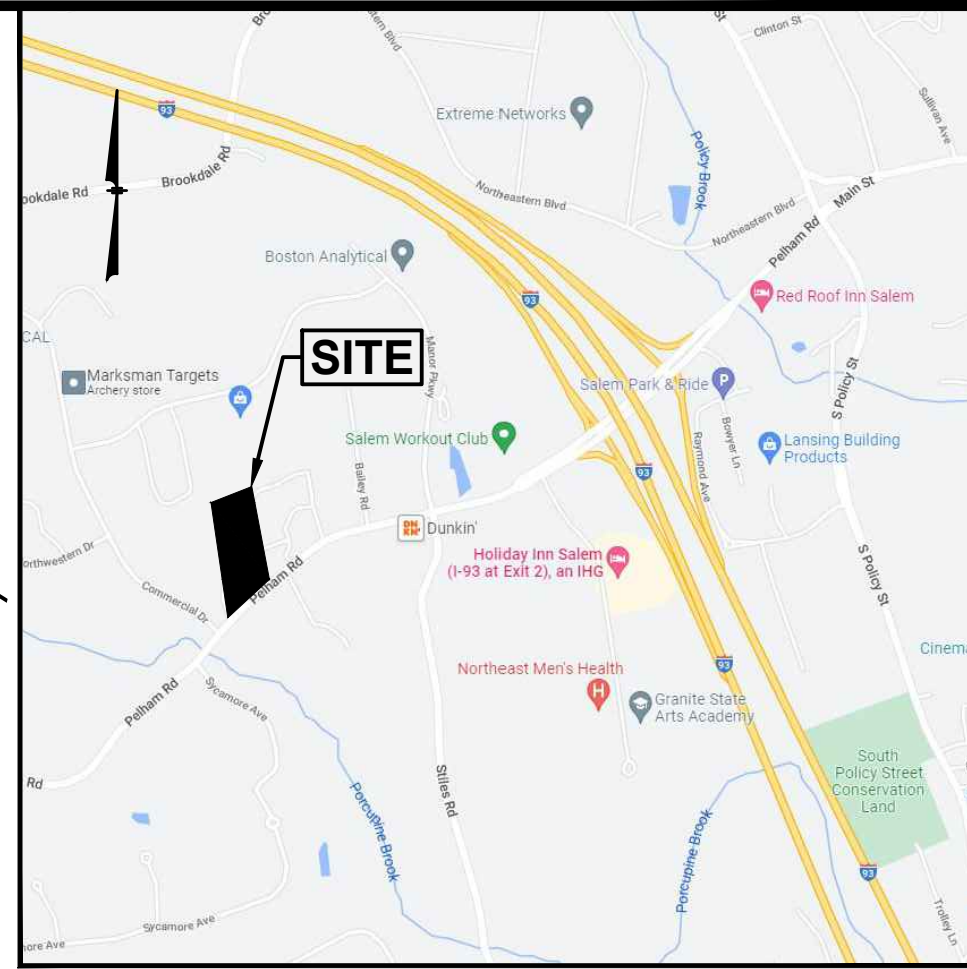
CCB	CAPE COD BERM
DSLY	DOUBLE SOLID LINE YELLOW
SSLW	SINGLE SOLID LINE WHITE
G	GAS LINE
T	UNDERGROUND TELEPHONE
W	WATER LINE
E	UNDERGROUND ELECTRIC
CL	CHAIN LINK FENCE
ST	STOCKADE FENCE
PR	POST & RAIL FENCE
WF	WIRE FENCE
90	CONTOUR ELEVATION
T	TREE
UP	UTILITY POLE
GW	GUY WIRE
OW	OVERHEAD WIRE
TL	TREELINE
S	SIGN
SE	SPOT ELEVATION
DM	DRAIN MANHOLE
CB	CATCH BASIN
RD	ROOF DRAIN
CLN	CLEANOUT
V	VENT
SM	SEWER MANHOLE
TM	TELEPHONE MANHOLE
EM	ELECTRIC MANHOLE
WM	WATER MANHOLE
M	MANHOLE
GV	GAS VALVE
GS	GAS SHUT OFF
WV	WATER VALVE
WS	WATER SHUT OFF
FH	FIRE HYDRANT
B	BOLLARD
GM	GAS METER
EM	ELECTRIC METER
L	LIGHT POLE
WL	WETLAND LINE
WF	WATER FEATURE
UC	UNDERGROUND COMM
DL	DITCH LINE
EL	EASEMENT LINE
PL	PROPERTY LINE
APL	ABUTTER PROPERTY LINE
BS	BUILDING SETBACK
SL	SOIL TYPE LINE
ZN	ZONE LINE
FL	FLOOD ZONE LINE



PHASE 1 PLANTING SCHEDULE					
PLANT	QNTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALL. SIZE	REMARKS
TREES					
AR	4	ACER RUBRUM "OCTOBER GLORY"	OCTOBER GLORY RED MAPLE	2 1/2"-3" GAL. B&B	
SHRUBS					
RE	12	RHODODENDRON "ENGLISH ROSEUM"	ENGLISH ROSEUM RHODODENDRON	3 GAL., 2'-3' HT.	6" O.C.
IV	16	ILEX VERTICILLATA	COMMON WINTERBERRY (FEMALE)	3 GAL., 3'-4' HT.	8" O.C.
IV	3	ILEX VERTICILLATA	COMMON WINTERBERRY (MALE)	3 GAL., 3'-4' HT.	8" O.C.
VC	26	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	3 GAL., 2'-3' HT.	6" O.C.
VD	15	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	3 GAL., 3'-4' HT.	8" O.C.
X	PLANT QUANTITY				
XX	PLANT DESIGNATION				
					PROP. LOAM AND SEED (SEE NOTES)

NOTES:

- ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.).
- A 4" DIA. TREE RING WITH 3" AGED PINE BARK MULCH SHALL BE INSTALLED AT BASE OF ALL TREES IN LAWN AREAS.
- THE CONTRACTOR SHALL PROVIDE TESTING OF SOILS IN PLANTING LOCATIONS. THE CONTRACTOR SHALL PROVIDE TEST RESULTS AND RECOMMENDATIONS AS NECESSARY FOR SOIL AMENDMENT TO THE ENGINEER FOR THE APPROVAL OF THE TOWN ENGINEER. BACKFILL SHALL BE A BLEND OF ONE-PART LOAM BORROW, ONE PART ORGANIC MATERIAL AND TWO-PARTS EXISTING SUBSOIL.
- ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH SEED AS INDICATED ON PLANS.
- ALL SHRUB AND TREE AREAS SHALL RECEIVE 6" PH CORRECTED TOPSOIL. AFTER TOPSOIL IS SPREAD EVENLY OVER ENTIRE AREA, ALL CLOUDS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.



LOCATION MAP (NOT TO SCALE)

- NEW ENGLAND WETMIX SHALL CONTAIN THE FOLLOWING SPECIES: FOX SEDGE (CAREX VULPINOIDEA), LURID SEDGE (CAREX LURIDA), BLUNT BROOM SEDGE (CAREX SCOPARIA), BLUE VERVAIN (VERBENA HASTATA), FOWL BLUEGRASS (POA PALUSTRIS), HOP SEDGE (CAREX LUPULINA), GREEN BULRUSH (SCIRPUS ATROVIRENS), CREEPING SPIKE RUSH (ELEOCHARIS PALUSTRIS), FRINGED SEDGE (CAREX CRINITA), SOFT RUSH (JUNCUS EFFUSUS), SPOTTED JOE PYE WEED (EUPATORIUM MACULATUM), RATTLESNAKE GRASS (GLYCERIA CANADENSIS), SWAMP ASTER (ASTER PUNICEUS), BLUEFLAG (IRIS VERSICOLOR), SWAMP MILKWEED (ASCLEPIAS INCARNATA), SQUARE STEMMED MONKEY FLOWER (MIMULUS RINGENS).
- NEW ENGLAND NATIVE WARM SEASON GRASS MIX SHALL CONTAIN THE FOLLOWING SPECIES: LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), BIG BLUESTEM (ANDROPOGON GERARDII), VIRGINIA WILD RYE (ELYMUS VIRGINICUS), INDIAN GRASS (SORGHASTRUM NUTANS), RED FESCUE (FESTUCA RUBRA), SWITCH GRASS (PANICUM VIRGATUM).
- APPLICATION OF GRASS SEED, FERTILIZERS AND STRAW MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:
LIMESTONE: 100 LBS./1,000 SQUARE FEET.
FERTILIZER: 500 LBS/ACRE OF 10-20-20 OR 1000 LBS/ACRE OF 5-10-10.
STRAW MULCH: APPROXIMATELY 3 TONS/ACRE
NEW ENGLAND NATIVE WARM SEASON GRASS MIX: 23 LBS/ACRE
SEED MIX (SLOPES LESS THAN 4:1) LBS/ACRE
CREEPING RED FESCUE 20
TALL FESCUE 15
PERENNIAL RYEGRASS 5
REDOG 42
SLOPE MIX (SLOPES GREATER THAN 4:1) LBS/ACRE
CREEPING RED FESCUE 20
TALL FESCUE 20
BIRDSFOOT TREEFOIL 8
48
- FOR TEMPORARY EROSION CONTROL NOTES, SEE SHEET 2.
- NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE STRAW MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.
- ANY CHANGES IN PLANT LOCATIONS OR TYPES SHALL BE APPROVED BY THE DEVELOPER, LANDOWNER AND TOWN PRIOR TO INSTALLATION.
- CLEAR AND GRUB (TO LIMITS REQUIRED ON GRADING PLAN) TO REMOVE VEGETATION, TREES, ROCKS, DEBRIS, ROOTS, ETC. STUMPS SHALL BE REMOVED AND DISPOSED OF OFF SITE IN ACCORDANCE WITH STATE REGULATIONS. AFTER CLEARING, STRIP AND STOCKPILE ALL ON-SITE TOPSOIL FOR REUSE TO THE MAXIMUM EXTENT POSSIBLE.
- FOR SEED AREAS USE EXISTING TOPSOIL, IF AVAILABLE, FOR A 4" DEPTH AND TOP DRESS WITH 2" OF SCREENED TOPSOIL. UNLESS OTHERWISE NOTED ON PLAN, ALL LOAM OR TOPSOIL IMPORTED OR RE-UTILIZED FROM ON SITE SHALL BE TESTED AND AMENDED AS DIRECTED BY DEVELOPER TO MEET MINIMUM REQUIREMENTS.
- PLANTINGS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER WRITTEN ACCEPTANCE BY THE DEVELOPER.
- EXPOSED SOILS SHALL BE SEED OR STRAW MULCHED WITHIN 72 HOURS OF FINAL GRADING.
- ALL WORK SHALL BE COORDINATED WITH APPLICABLE EPA NPDES/SWPPP PERMIT WORK AS REQUIRED.

NO.	DESCRIPTION	BY	DATE
3	MISC REVS.	CMY	10/20/25
2	RESPONSE TO COMMENTS	NID	9/5/23
1	RESPONSE TO COMMENTS	CMY	8/16/23

PHASE 1 - LANDSCAPE PLAN

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

PREPARED FOR:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810

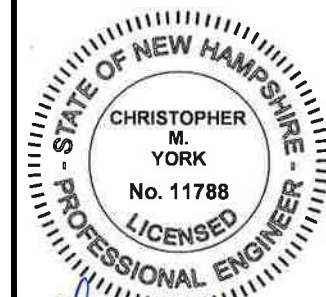


603.893.0720

Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

SCALE: 1" = 30'

DATE: APRIL 3, 2023



OWNER OF RECORD
YOUNG LAND HOLDINGS, LLC.
36 PELHAM RD., SALEM, NH
BOOK 6069 PAGE 1819

SALEM PLANNING BOARD
APPROVAL

ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_SP-PH1	NEX-2200130	15 OF 25

MATCH LINE SHEET 16

MAP 96 LOT 7775
419,350 Sq.Ft.
9.62 Ac.±

WETLANDS WERE DELINEATED BY
COVE ENVIRONMENTAL SERVICES,
INC. ON 07/22/22 AND LOCATED
BY THIS OFFICE ON 08/05/22.

EXISTING VEGETATED
BUFFER TO REMAIN

AREA OF
WETLAND IMPACT
= 4,880 SF

DRAINAGE AND UTILITY EASEMENT
TO THE TOWN OF SALEM
BOOK 5192 PAGE 1259

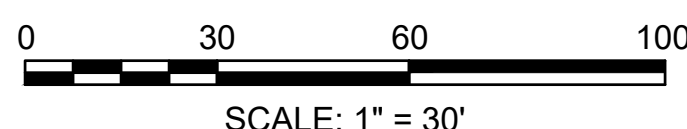
PROP. 6" LOAM AND
HYDROSEED ALL
DISTURBED AREAS (TYP.)

RETAINING WALL

RETAINING WALL

"EDWARDS, JAMES YOUNG" SIGN

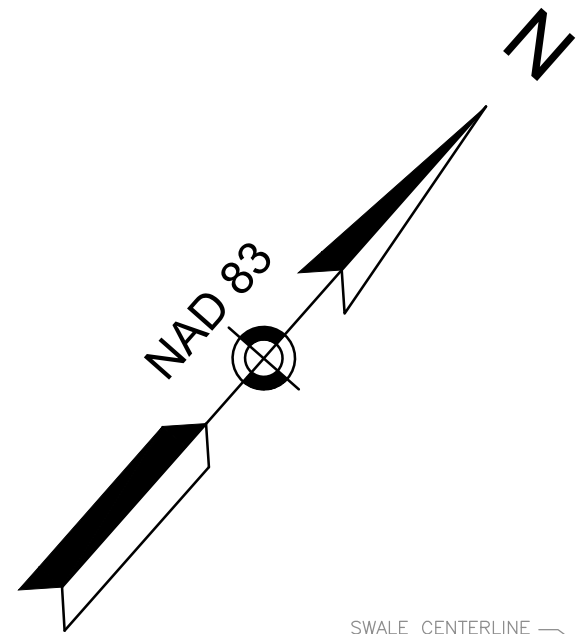
3/4" IRON PIPE FOUND
UP 0.1'



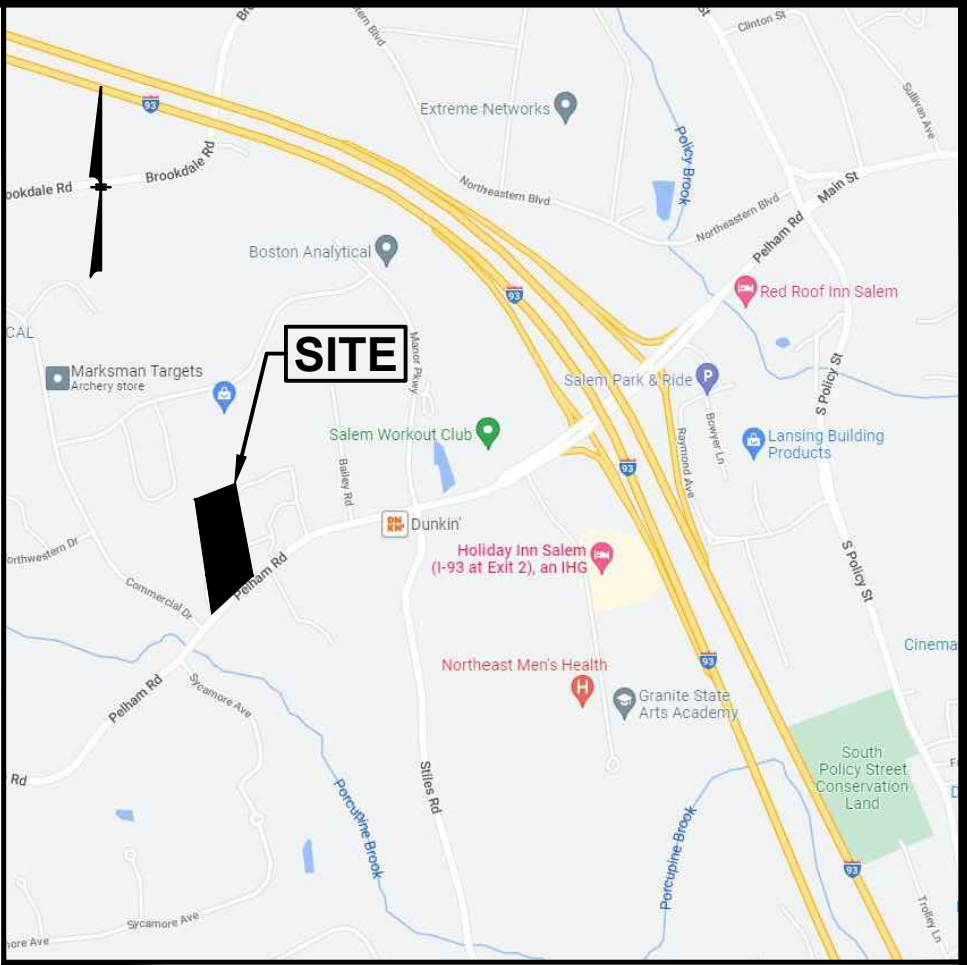
F:\Projects\NEX-2200130 - Salem, NH - Suraj Realty\CAD Files\2200130_SP-PH1.dwg LA-2 10/16/25 10:07am cyork

LEGEND

- CCB CAPE COD BERM
DSLY DOUBLE SOLID LINE YELLOW
SSLW SINGLE SOLID LINE WHITE
G GAS LINE
T UNDERGROUND TELEPHONE
W WATER LINE
E UNDERGROUND ELECTRIC
CHAIN LINK FENCE
STOCKADE FENCE
POST & RAIL FENCE
WIRE FENCE
90 CONTOUR ELEVATION
TREE
UTILITY POLE
GUY WIRE
OVERHEAD WIRE
TREELINE
SIGN
SPOT ELEVATION
DRAIN MANHOLE
CATCH BASIN
ROOF DRAIN
CLEANOUT
VENT
SEWER MANHOLE
TELEPHONE MANHOLE
ELECTRIC MANHOLE
WATER MANHOLE
MANHOLE
GAS VALVE
GAS SHUT OFF
WATER VALVE
WATER SHUT OFF
FIRE HYDRANT
BOLLARD
GAS METER
ELECTRIC METER
LIGHT POLE
WETLAND LINE
WATER FEATURE
UNDERGROUND COMM
DITCH LINE
EASEMENT LINE
PROPERTY LINE
ABUTTER PROPERTY LINE
BUILDING SETBACK
SOIL TYPE LINE
ZONE LINE
FLOOD ZONE LINE

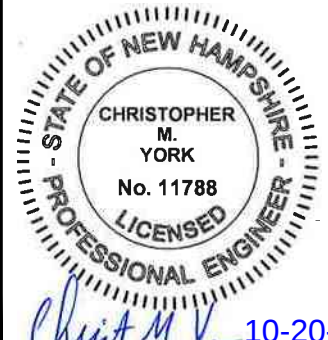


PHASE 1 PLANTING SCHEDULE					
PLANT	QNTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALL SIZE	REMARKS
TREES	2	GLEDTISIA TRIACANTHOS	SHADEMASTER	2 1/2"-3" CAL., B&B	
GT			SHADEMASTER HONEY LOCUST		
X	PLANT QUANTITY				
XX	PLANT DESIGNATION				PROP. LOAM AND SEED (SEE NOTES)



LOCATION MAP
(NOT TO SCALE)

MAP 96 LOT 7775
419,350 Sq.Ft.
9.62 Ac.±

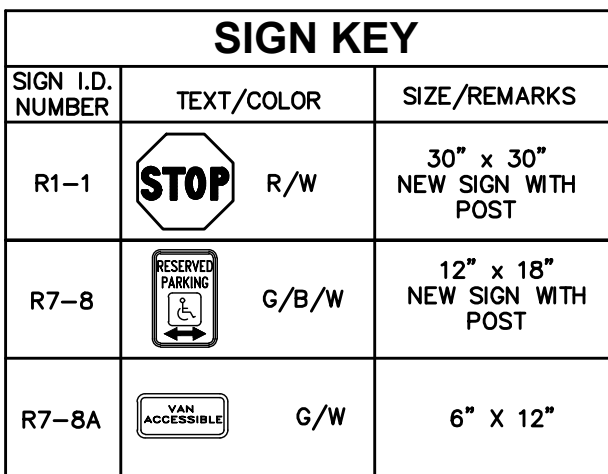
2	MISC REVS.	CMY	10/20/25
1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE
REVISIONS			
PHASE 1 - LANDSCAPE PLAN			
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810			
 603.893.0720		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079 GPI.NET.COM	
SCALE: 1" = 30'		DATE: APRIL 3, 2023	
 10-20-25		OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD., SALEM, NH BOOK 6069 PAGE 1819 APPROVAL	
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
NID	CCC/DRJ	2200130_SP-PH1	NEX-2200130
		SHEET No.	16 OF 25

0 30 60 100
SCALE: 1" = 30'

MATCH LINE SHEET 15

A diagram illustrating magnetic declination. It shows a compass needle pointing towards a magnetic north (labeled NAD 83) and a true north (labeled N) arrow. The angle between them is labeled 12° E.

SEPTIC TANK



1) SEE SHEET 2 FOR SITE AND UTILITY NOTES

PHASE 2 - SITE & UTILITY PLAN

PREPARED FOR:
SURAJ REALTY
45 RIVER ROAD
DOVER, MA 01810



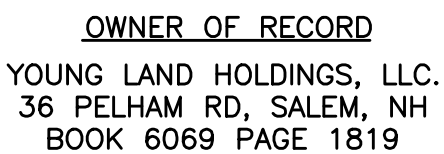
Engineering
Design
Planning
Construction Management

GPINET.COM

Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

SCALE: 1" = 30'

DATE: APRIL 3, 2023

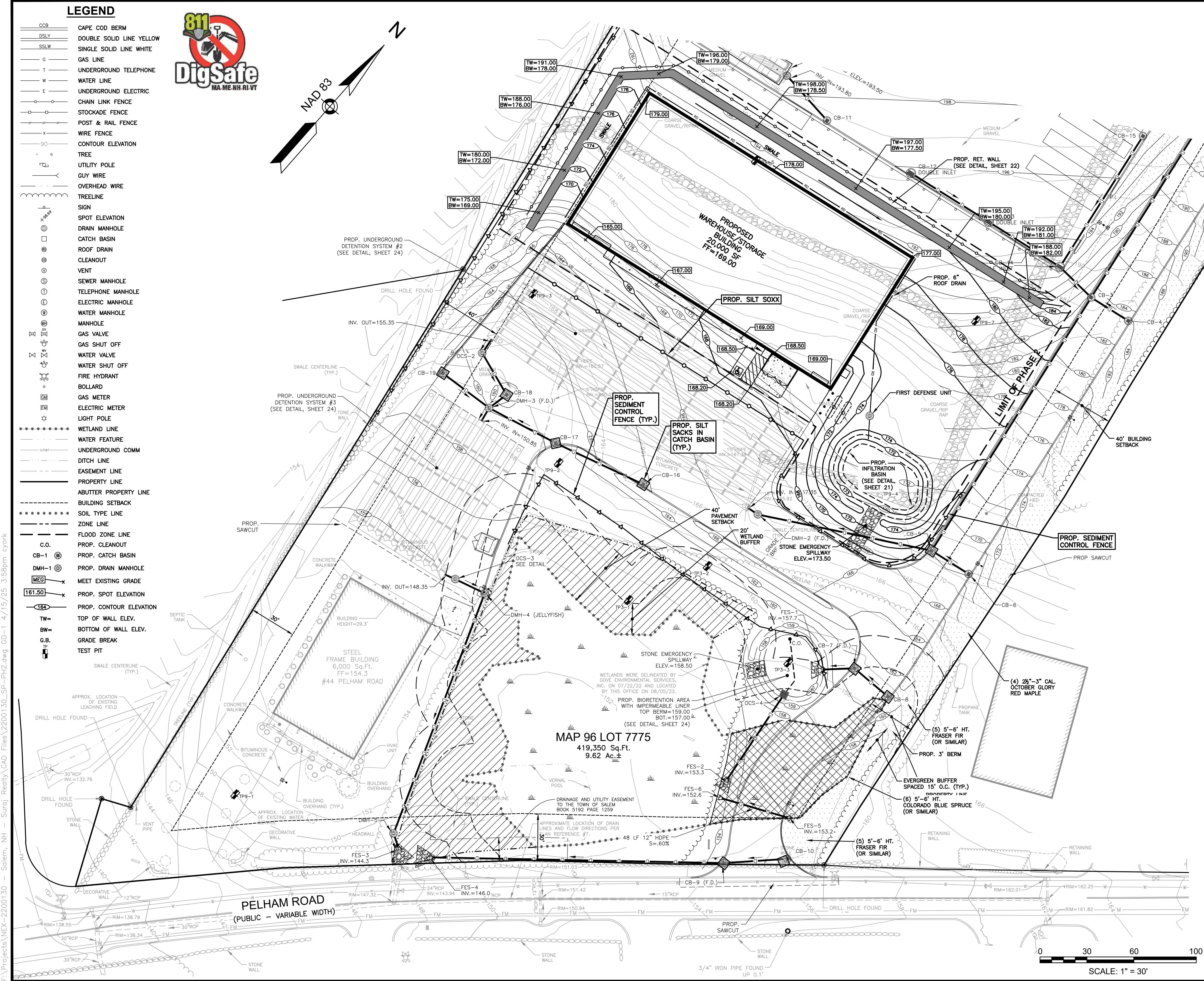


SALEM PLANNING BOARD
APPROVAL

ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_SP-PH2	NEX-2200130	17 OF 25

F:\Projects\NEX-2200130 - Salem, NH - Suraj Realty\CAD Files\2200130_SP-PH2.dwg GD-1 4/15/25 3:58pm oYork



LOCATION MAP
(NOT TO SCALE)

NOTES:
1) SEE SHEET 2 FOR GRADING, DRAINAGE AND EROSION CONTROL NOTES.

3	RESPONSE TO COMMENTS	CMY	4/15/25
2	ADDRESS AOT COMMENTS	CMY	10/3/23
1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE

PHASE 2 - GRADING, DRAINAGE & EROSION CONTROL PLAN

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

PREPARED FOR:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810

GPI Engineering
Design
Planning
Construction Management
603.893.0720 GPINET.COM

Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

SCALE: 1" = 30'

DATE: APRIL 3, 2023

OWNER OF RECORD
YOUNG LAND HOLDINGS, LLC.
36 PELHAM RD, SALEM, NH
BOOK 6069 PAGE 1819

SALEM PLANNING BOARD
APPROVAL

ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_SP-PH2	NEX-2200130	18 OF 25

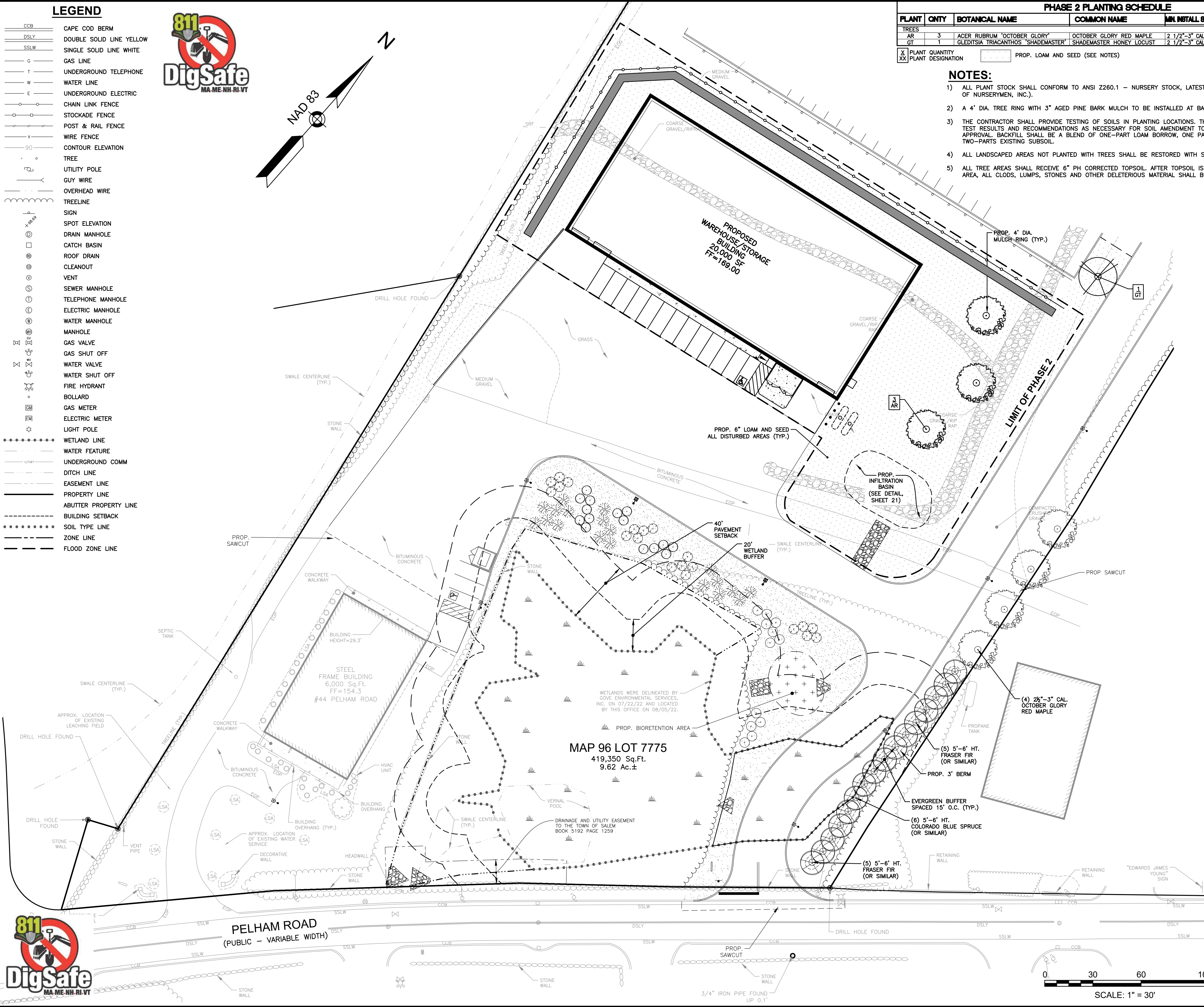
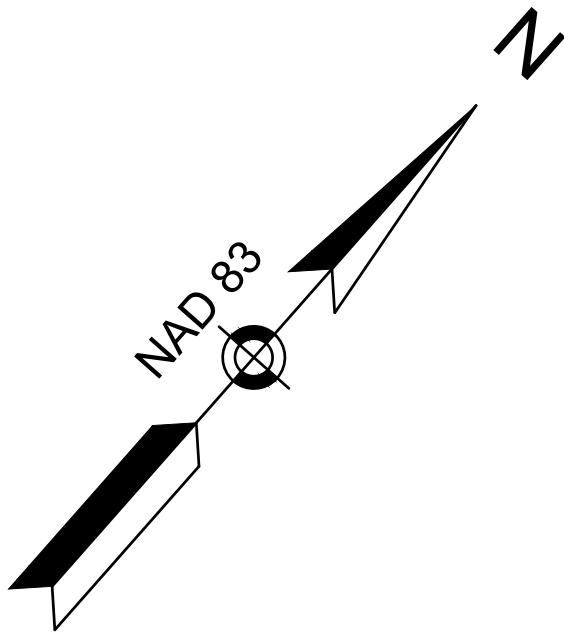
LEGEND

CCB	CAPE COD BERM
DSLY	DOUBLE SOLID LINE YELLOW
SSLW	SINGLE SOLID LINE WHITE
G	GAS LINE
T	UNDERGROUND TELEPHONE
W	WATER LINE
E	UNDERGROUND ELECTRIC
CL	CHAIN LINK FENCE
ST	STOCKADE FENCE
PR	POST & RAIL FENCE
WF	WIRE FENCE
90	CONTOUR ELEVATION
TREE	TREE
UP	UTILITY POLE
GW	GUY WIRE
OW	OVERHEAD WIRE
TL	TREELINE
SIGN	SIGN
SE	SPOT ELEVATION
DMH	DRAIN MANHOLE
CB	CATCH BASIN
RD	ROOF DRAIN
CN	CLEANOUT
VENT	VENT
SMH	SEWER MANHOLE
TMH	TELEPHONE MANHOLE
EMH	ELECTRIC MANHOLE
WMH	WATER MANHOLE
MH	MANHOLE
GV	GAS VALVE
GS	GAS SHUT OFF
WS	WATER VALVE
WSO	WATER SHUT OFF
FH	FIRE HYDRANT
B	BOLLARD
GM	GAS METER
EM	ELECTRIC METER
LP	LIGHT POLE
WL	WETLAND LINE
WF	WATER FEATURE
UGC	UNDERGROUND COMM
D	DITCH LINE
E	EASEMENT LINE
P	PROPERTY LINE
AP	ABUTTER PROPERTY LINE
B	BUILDING SETBACK
S	SOIL TYPE LINE
Z	ZONE LINE
F	FLOOD ZONE LINE
C	PROP. CLEANOUT
CB	PROP. CATCH BASIN
DMH	PROP. DRAIN MANHOLE
MEC	MEET EXISTING GRADE
161.50	PROP. SPOT ELEVATION
164	PROP. CONTOUR ELEVATION
TW	TOP OF WALL ELEV.
BW	BOTTOM OF WALL ELEV.
G.B.	GRADE BREAK
TP	TEST PIT

F:\Projects\NEX-2200130 - Salem, NH - Suraj Realty\CAD Files\2200130_SP-PH2.dwg LA-1 4/15/25 3:45pm cyork

LEGEND

CCB	CAPE COD BERM
DSLY	DOUBLE SOLID LINE YELLOW
SSLW	SINGLE SOLID LINE WHITE
G	GAS LINE
T	UNDERGROUND TELEPHONE
W	WATER LINE
E	UNDERGROUND ELECTRIC
CL	CHAIN LINK FENCE
ST	STOCKADE FENCE
PR	POST & RAIL FENCE
WF	WIRE FENCE
90	CONTOUR ELEVATION
T	TREE
UP	UTILITY POLE
GW	GUY WIRE
OW	OVERHEAD WIRE
TL	TREELINE
S	SIGN
SE	SPOT ELEVATION
DM	DRAIN MANHOLE
CB	CATCH BASIN
RD	ROOF DRAIN
CLN	CLEANOUT
V	VENT
SM	SEWER MANHOLE
TM	TELEPHONE MANHOLE
EM	ELECTRIC MANHOLE
WM	WATER MANHOLE
M	MANHOLE
GV	GAS VALVE
GS	GAS SHUT OFF
WS	WATER VALVE
WSO	WATER SHUT OFF
FH	FIRE HYDRANT
B	BOLLARD
GM	GAS METER
EM	ELECTRIC METER
LP	LIGHT POLE
WL	WETLAND LINE
WF	WATER FEATURE
UGC	UNDERGROUND COMM
D	DITCH LINE
E	EASEMENT LINE
P	PROPERTY LINE
AP	ABUTTER PROPERTY LINE
B	BUILDING SETBACK
STL	SOIL TYPE LINE
Z	ZONE LINE
F	FLOOD ZONE LINE



PHASE 2 PLANTING SCHEDULE				
PLANT	QNTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALL SIZE
TREES				
AR	3	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2"-3" CAL., B&B
GT	1	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	2 1/2"-3" CAL., B&B
X PLANT QUANTITY				
XX PLANT DESIGNATION				

NOTES:

- 1) ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.).
- 2) A 4' DIA. TREE RING WITH 3" AGED PINE BARK MULCH TO BE INSTALLED AT BASE OF ALL TREES IN LAWN AREAS.
- 3) THE CONTRACTOR SHALL PROVIDE TESTING OF SOILS IN PLANTING LOCATIONS. THE CONTRACTOR SHALL PROVIDE TEST RESULTS AND RECOMMENDATIONS AS NECESSARY FOR SOIL AMENDMENT TO THE ENGINEER FOR THEIR APPROVAL. BACKFILL SHALL BE A BLEND OF ONE-PART LOAM BORROW, ONE PART ORGANIC MATERIAL AND TWO-PARTS EXISTING SUBSOIL.
- 4) ALL LANDSCAPED AREAS NOT PLANTED WITH TREES SHALL BE RESTORED WITH SEED AS INDICATED ON PLANS.
- 5) ALL TREE AREAS SHALL RECEIVE 6" PH CORRECTED TOPSOIL. AFTER TOPSOIL IS SPREAD EVENLY OVER ENTIRE AREA, ALL CLODS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.



LOCATION MAP
(NOT TO SCALE)

- 6) APPLICATION OF GRASS SEED, FERTILIZERS AND STRAW MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:

LIMESTONE: 100 LBS./1,000 SQUARE FEET.
FERTILIZER: 500 LBS/ACRE OF 10-20-20 OR 1000 LBS/ACRE OF 5-10-10.
STRAW MULCH: APPROXIMATELY 3 TONS/ACRE
NEW ENGLAND NATIVE WARM SEASON GRASS MIX: 23 LBS/ACRE

SEED MIX (SLOPES LESS THAN 4:1)	LBS/ACRE
CREeping RED FESCUE	20
TALL FESCUE	15
PERENNIAL RYEGRASS	5
REDTOP	2
	42

SLOPE MIX (SLOPES GREATER THAN 4:1)	LBS/ACRE
CREeping RED FESCUE	20
TALL FESCUE	20
BIRDSFOOT TREEFOIL	8
	48
- 7) FOR TEMPORARY EROSION CONTROL NOTES, SEE EROSION & SEDIMENT CONTROL PLAN.
- 8) NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE STRAW MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.
- 9) ANY CHANGES IN PLANT LOCATIONS OR TYPES SHALL BE APPROVED BY THE DEVELOPER, LANDOWNER AND TOWN PRIOR TO INSTALLATION.
- 10) CLEAR AND GRUB (TO LIMITS REQUIRED ON GRADING PLAN) TO REMOVE VEGETATION, TREES, ROCKS, DEBRIS, ROOTS, ETC. STUMPS SHALL BE REMOVED AND DISPOSED OF OFF SITE IN ACCORDANCE WITH STATE REGULATIONS. AFTER CLEARING, STRIP AND STOCKPILE ALL ON-SITE TOPSOIL FOR REUSE TO THE MAXIMUM EXTENT POSSIBLE.
- 11) FOR SEED AREAS USE EXISTING TOPSOIL, IF AVAILABLE, FOR A 4" DEPTH AND TOP DRESS WITH 2" OF SCREENED TOPSOIL, UNLESS OTHERWISE NOTED ON PLAN. ALL LOAM OR TOPSOIL IMPORTED OR RE-UTILIZED FROM ON SITE SHALL BE TESTED AND AMENDED AS DIRECTED BY DEVELOPER TO MEET MINIMUM REQUIREMENTS.
- 12) PLANTINGS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER WRITTEN ACCEPTANCE BY THE DEVELOPER.
- 13) EXPOSED SOILS SHALL BE SEEDDED OR STRAW MULCHED WITHIN 72 HOURS OF FINAL GRADING.
- 14) ALL WORK SHALL BE COORDINATED WITH APPLICABLE EPA NPDES/SWPPP PERMIT WORK AS REQUIRED.

1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE
REVISIONS			

PHASE 2 - LANDSCAPE PLAN

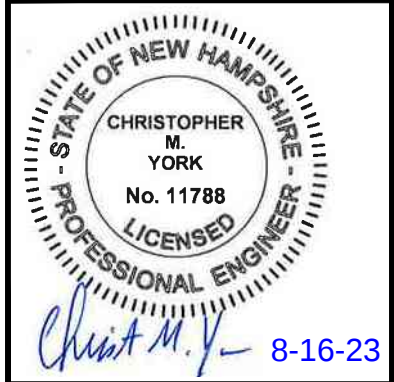
SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD
PREPARED FOR:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810



Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

SCALE: 1" = 30'

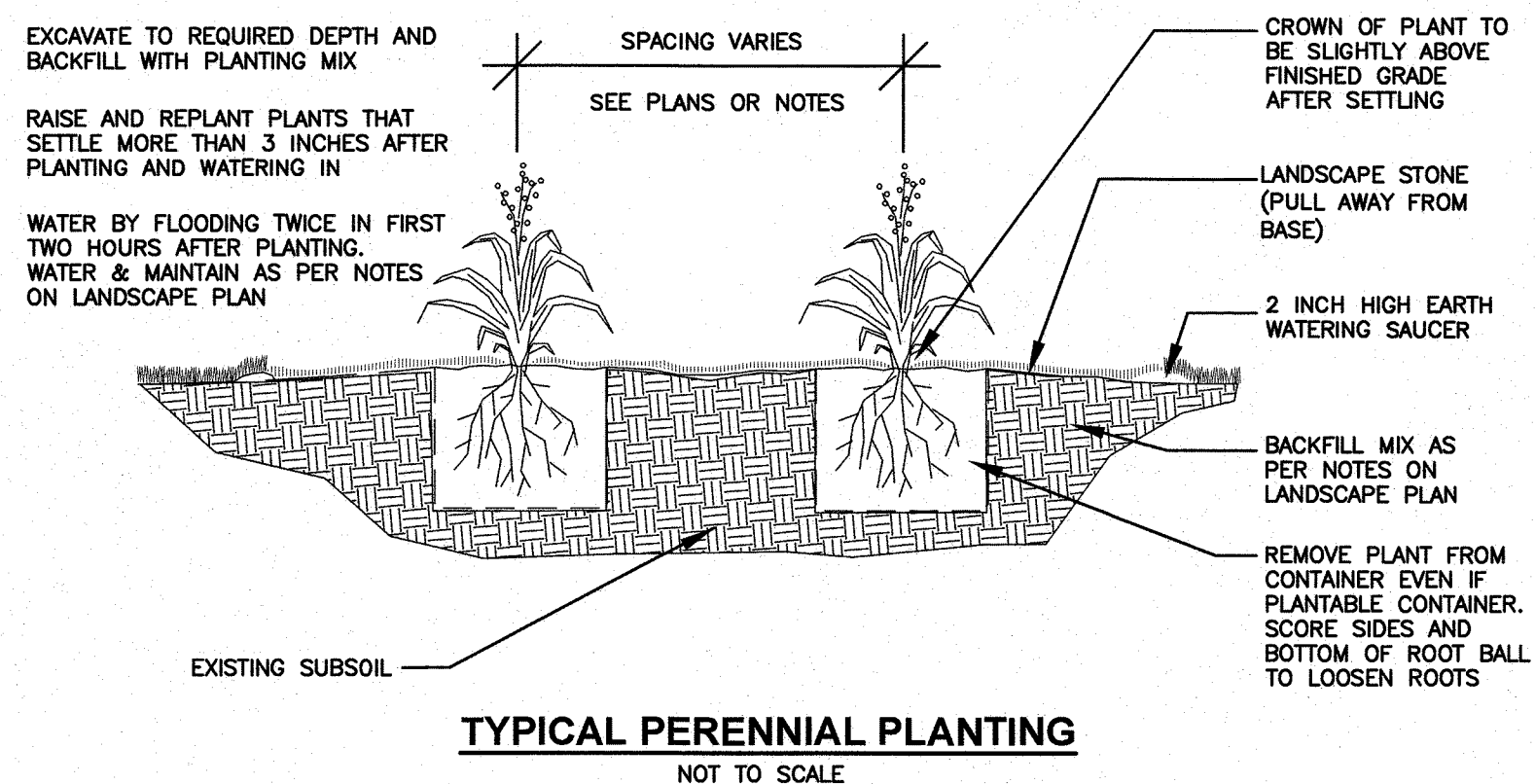
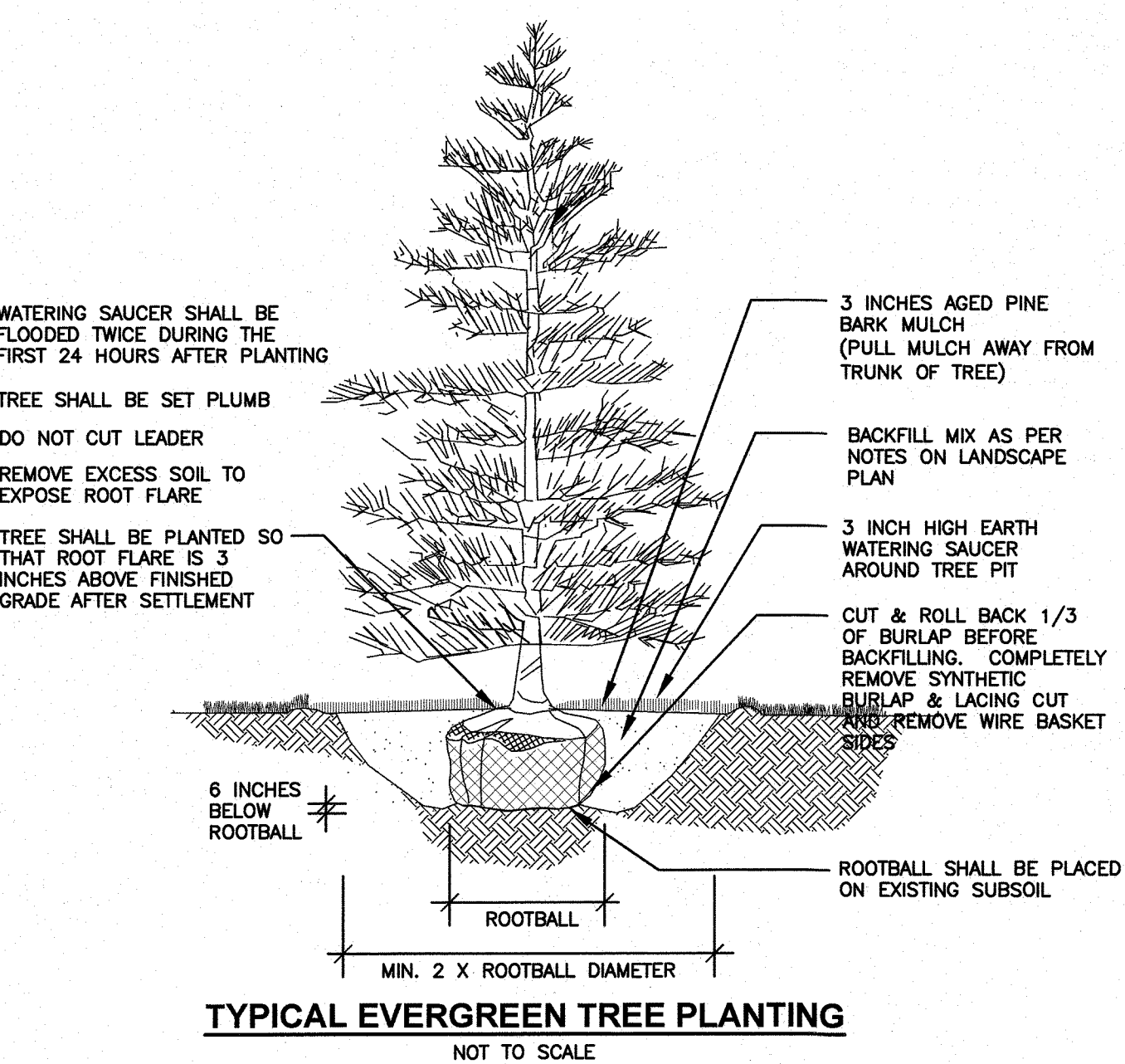
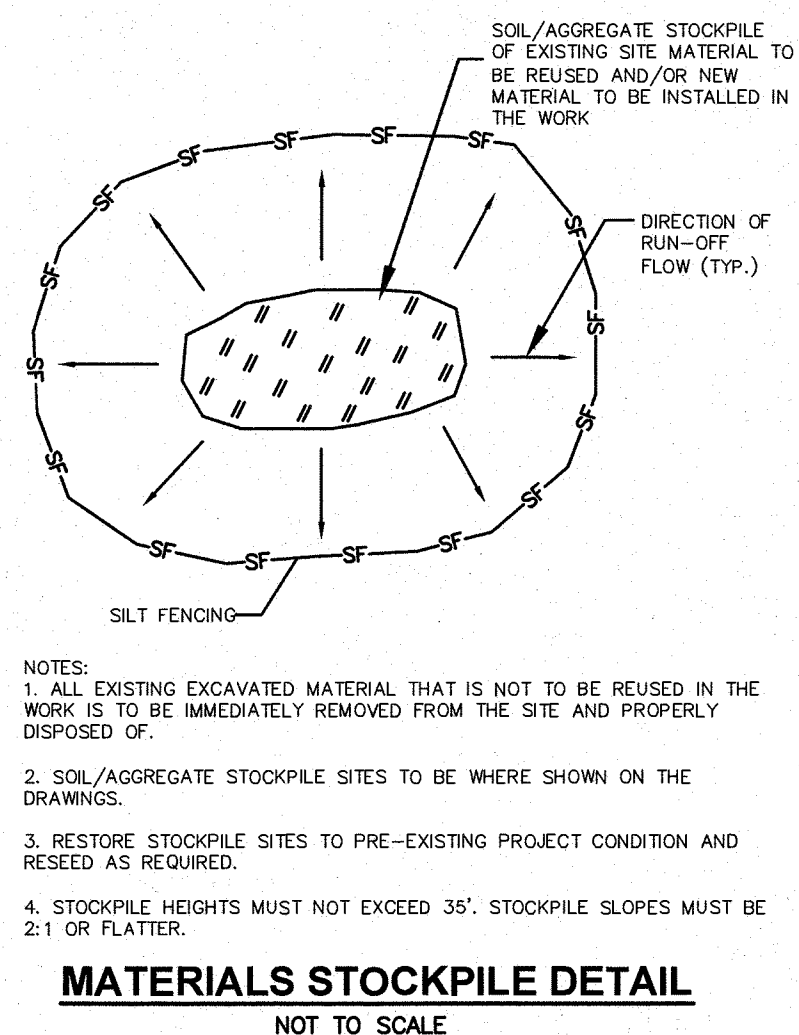
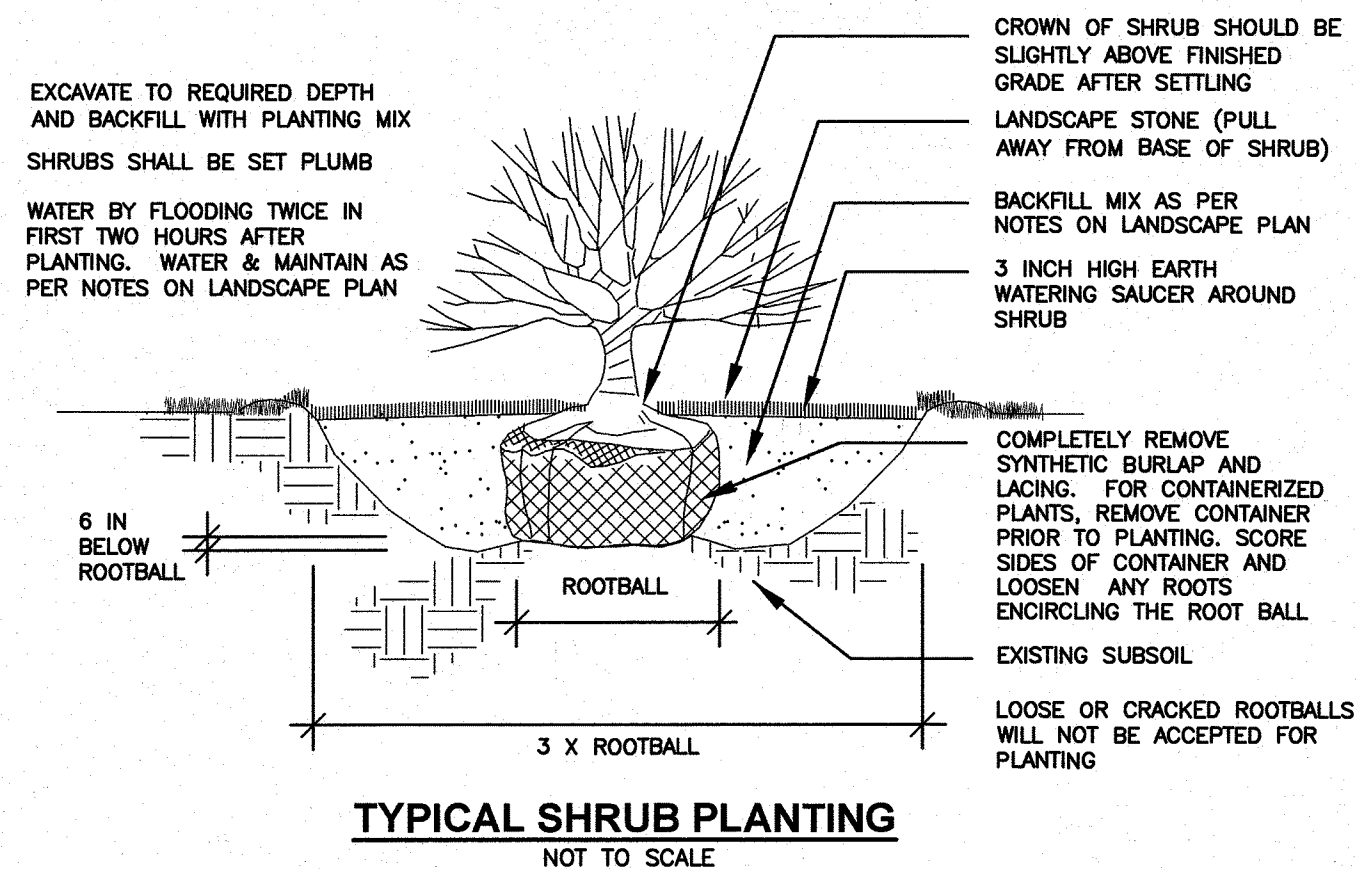
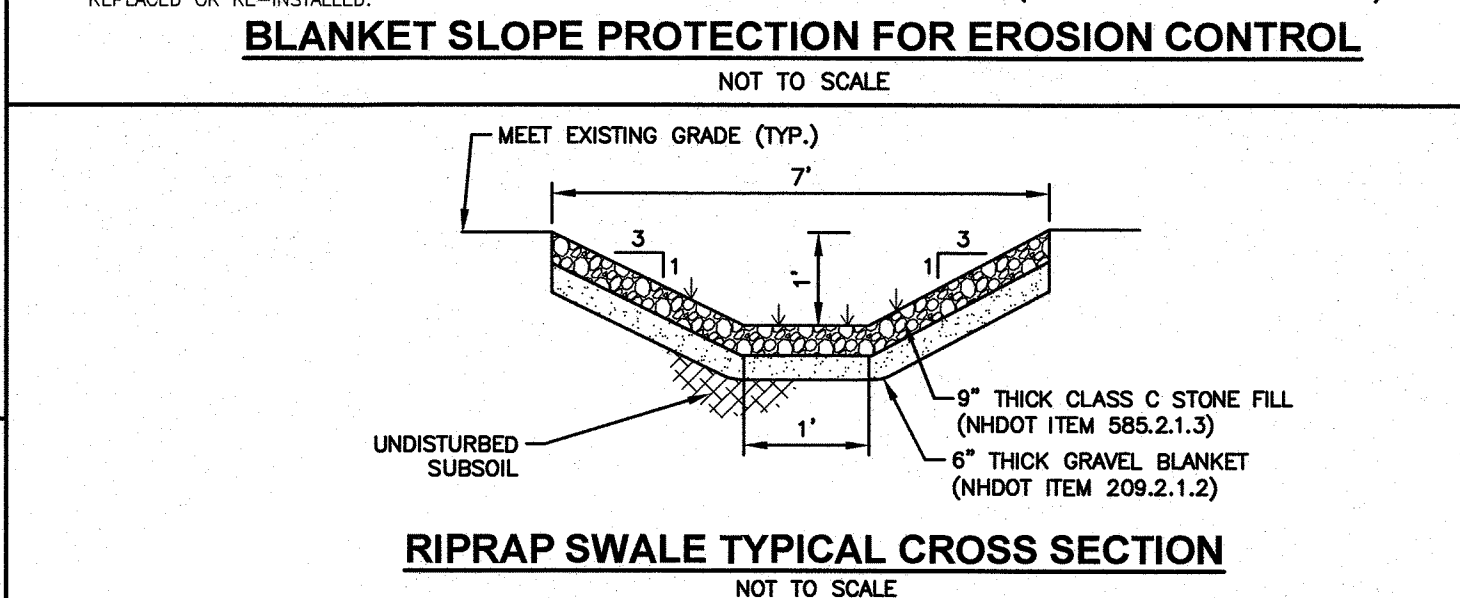
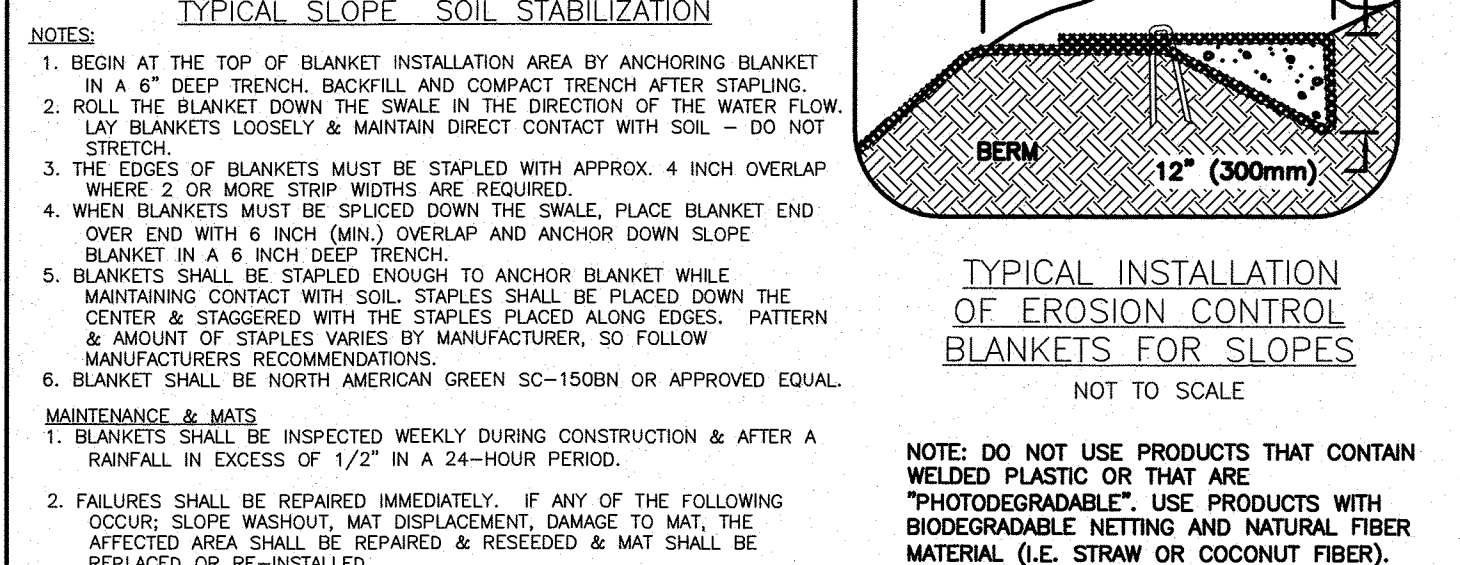
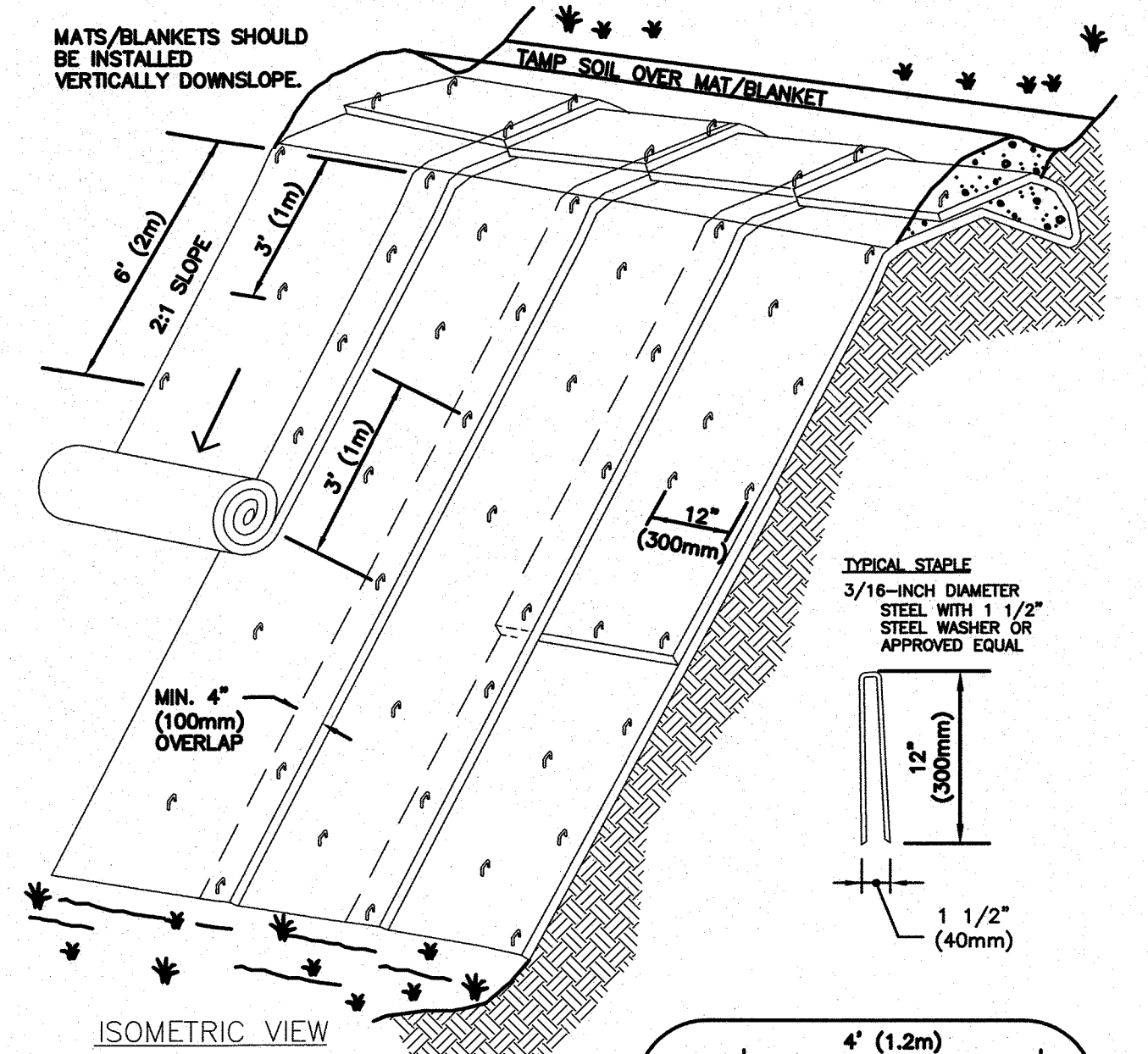
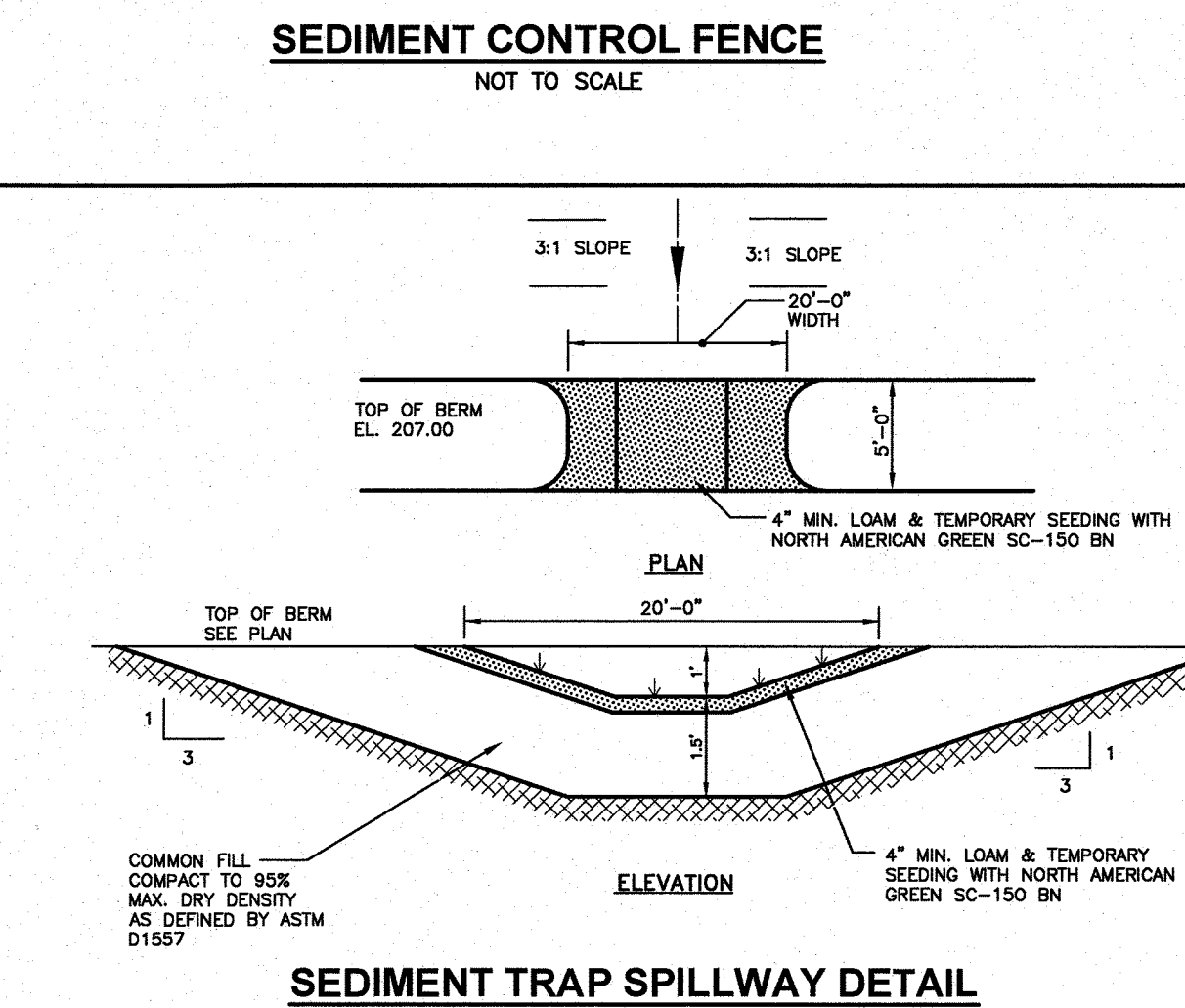
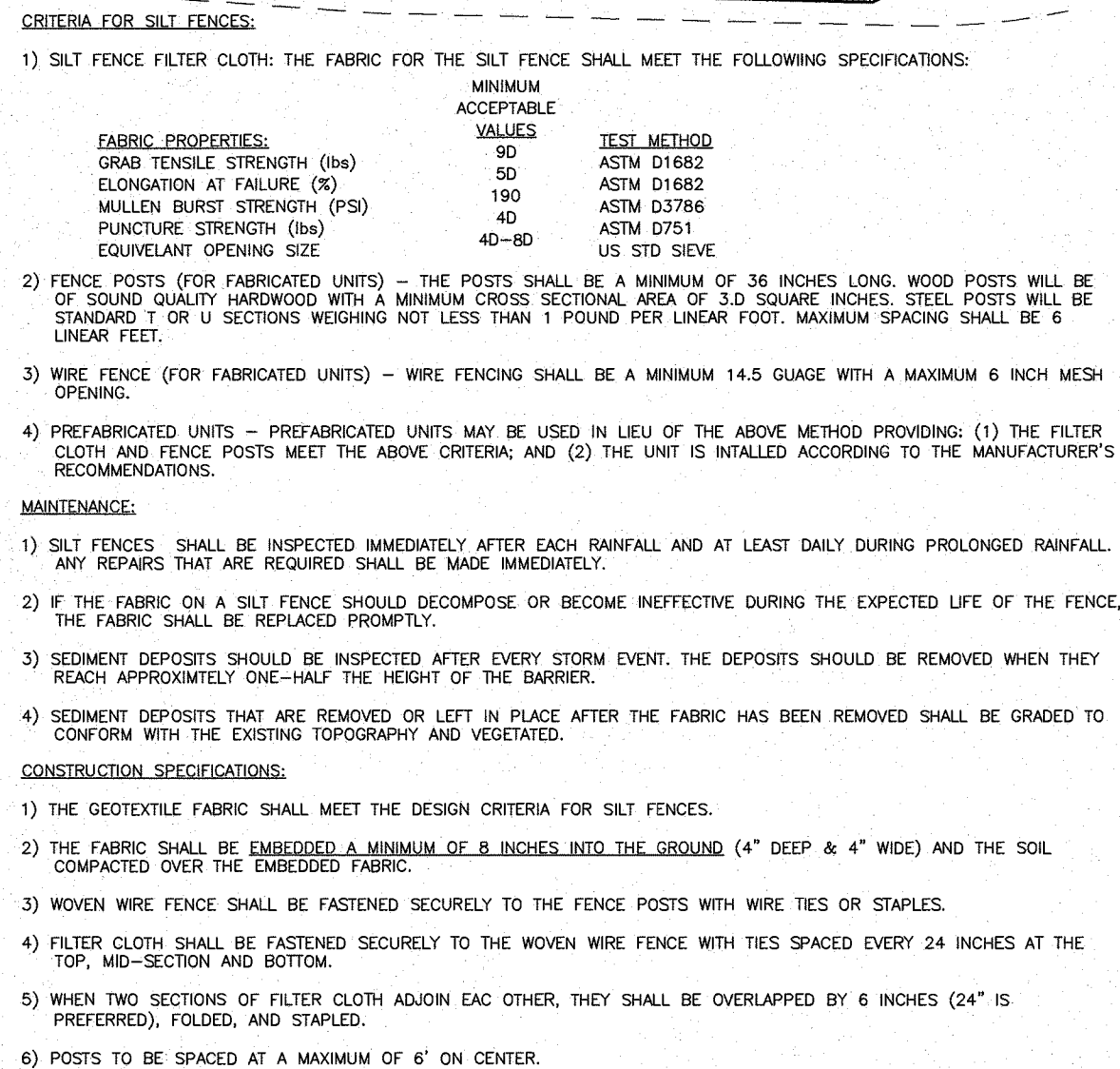
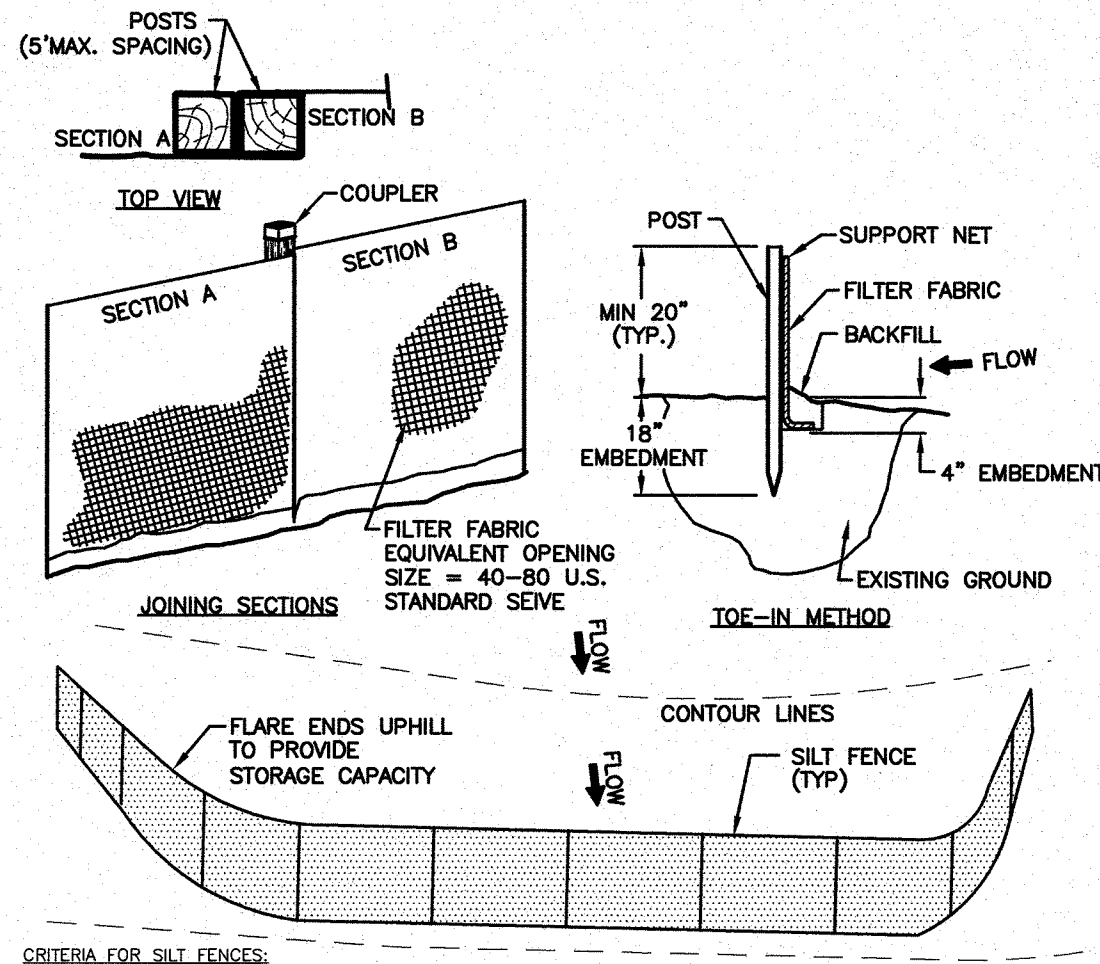
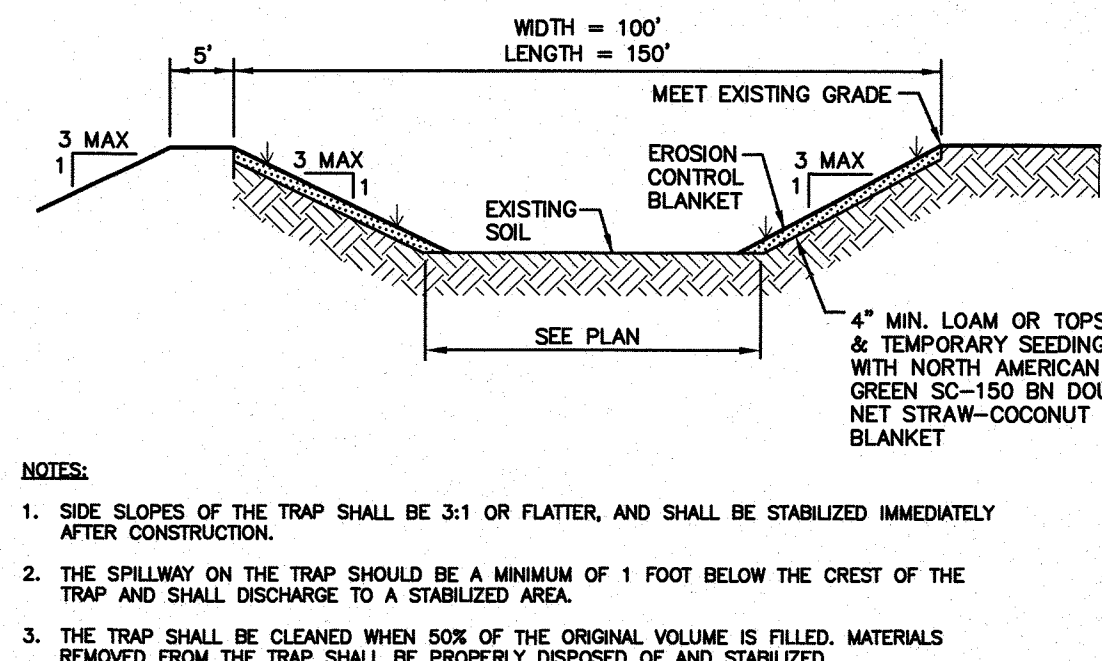
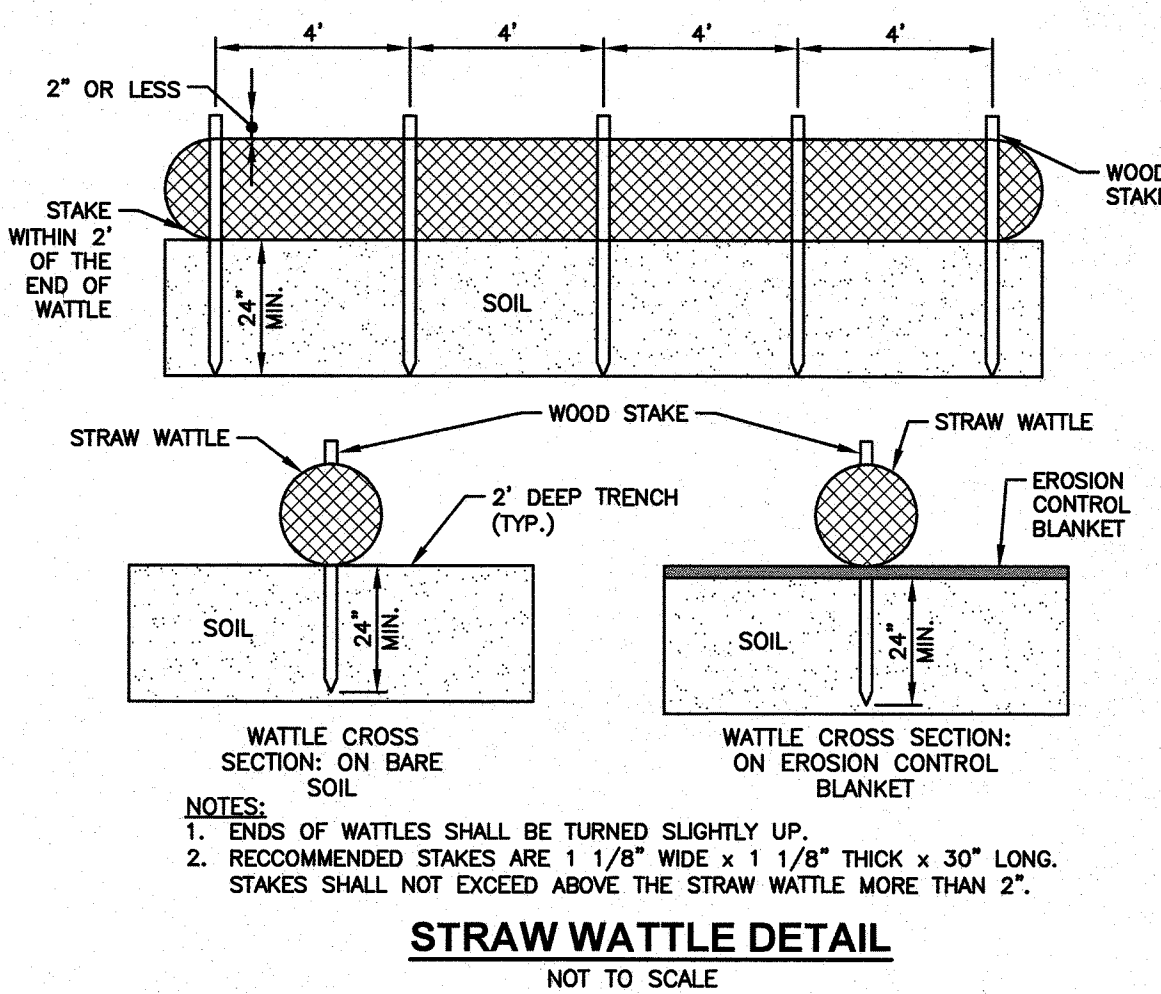
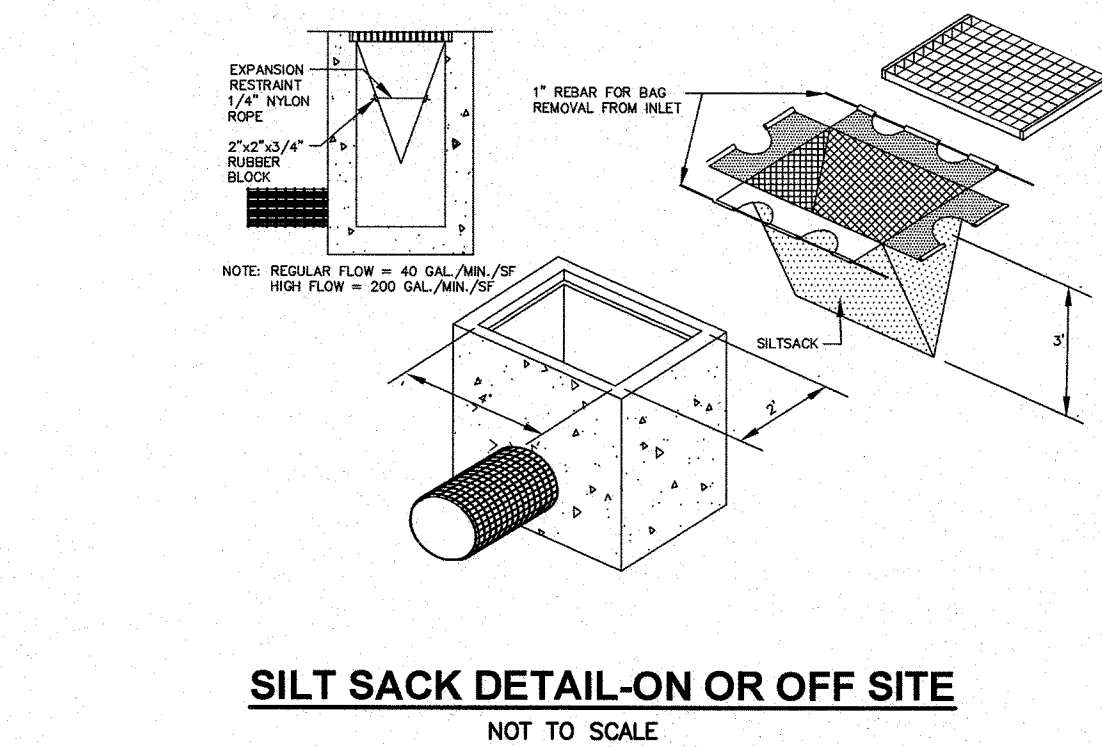
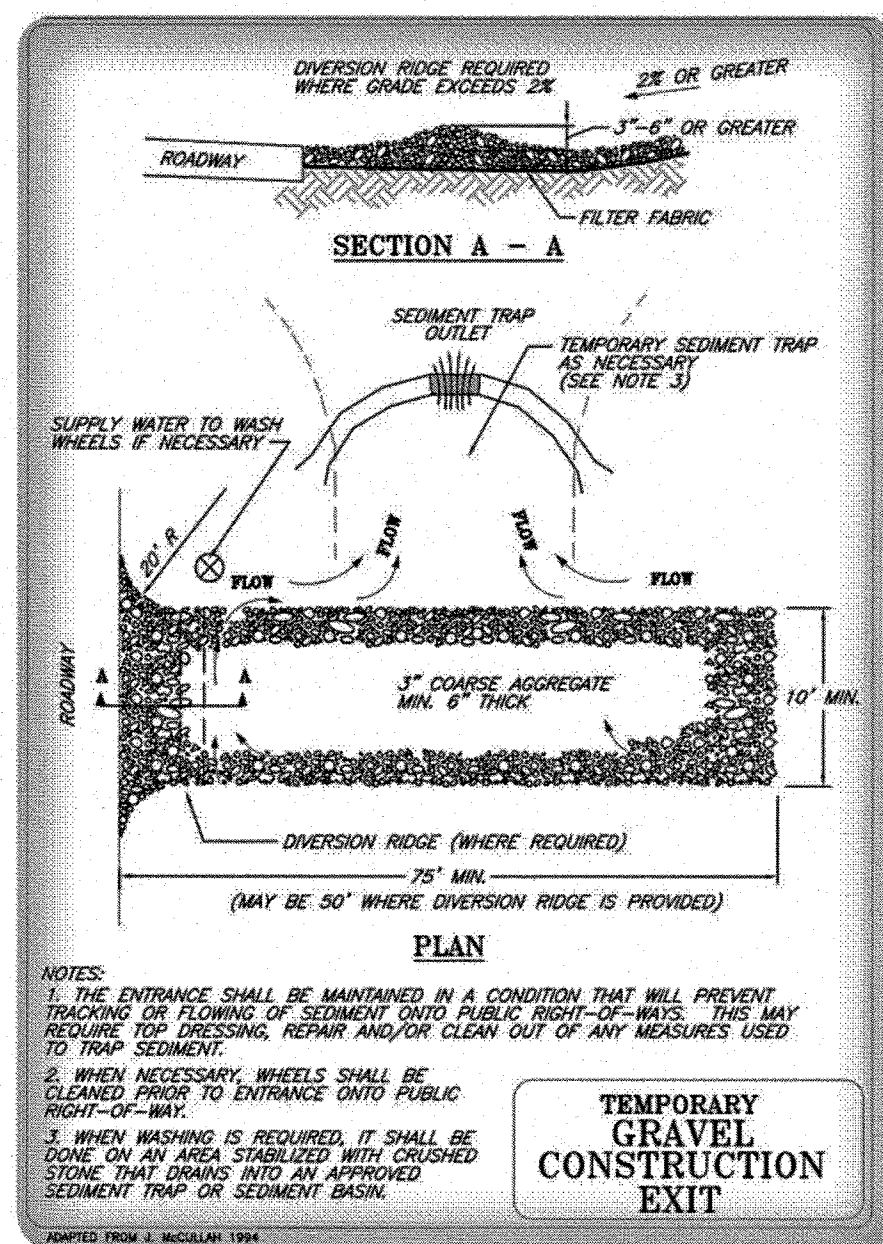
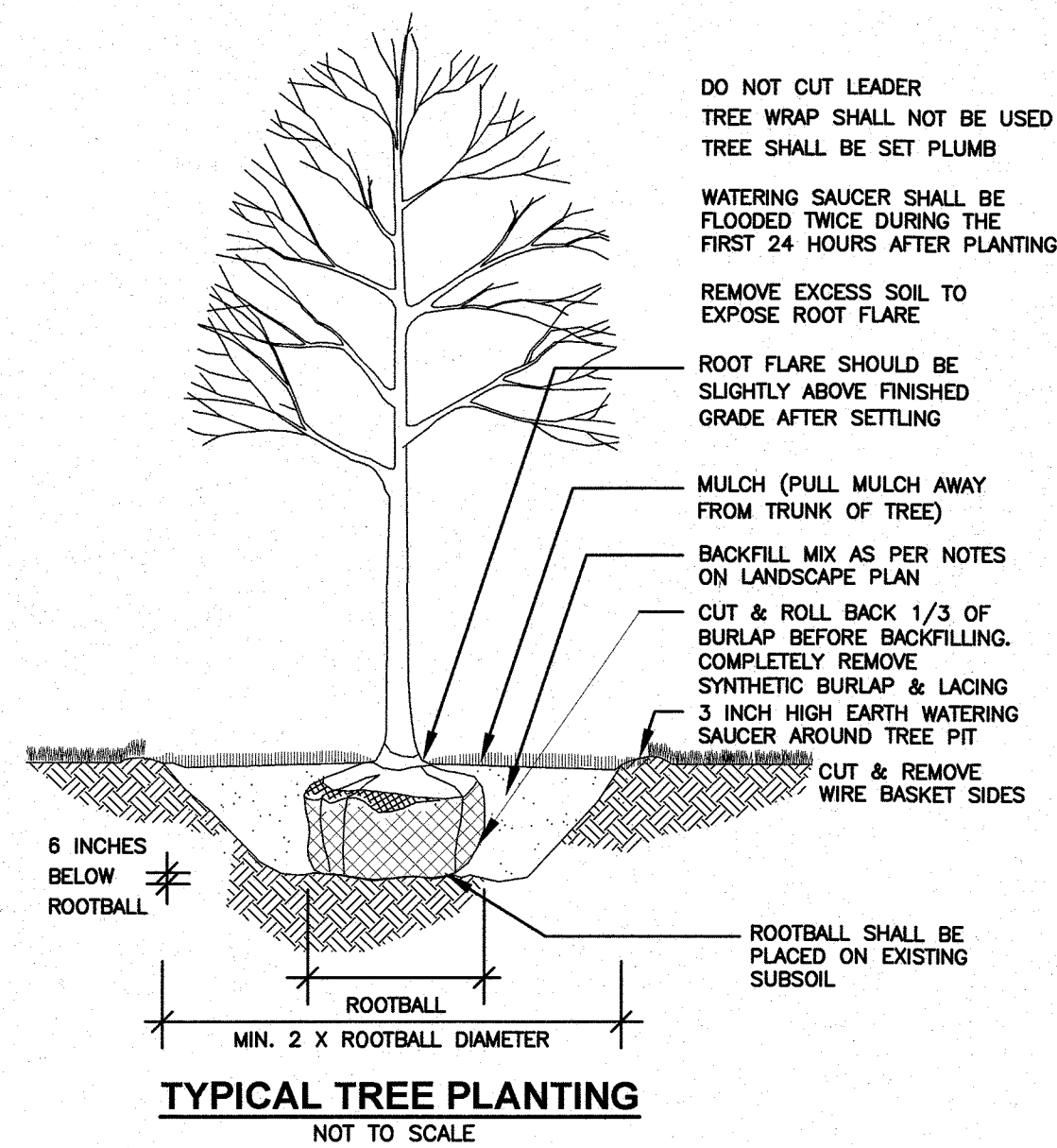
OWNER OF RECORD		SALEM PLANNING BOARD	
YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819		APPROVAL	

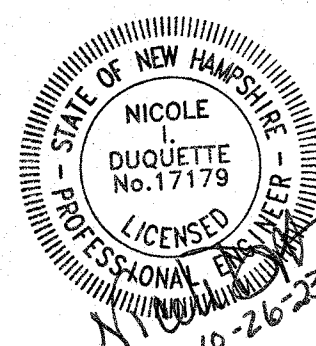


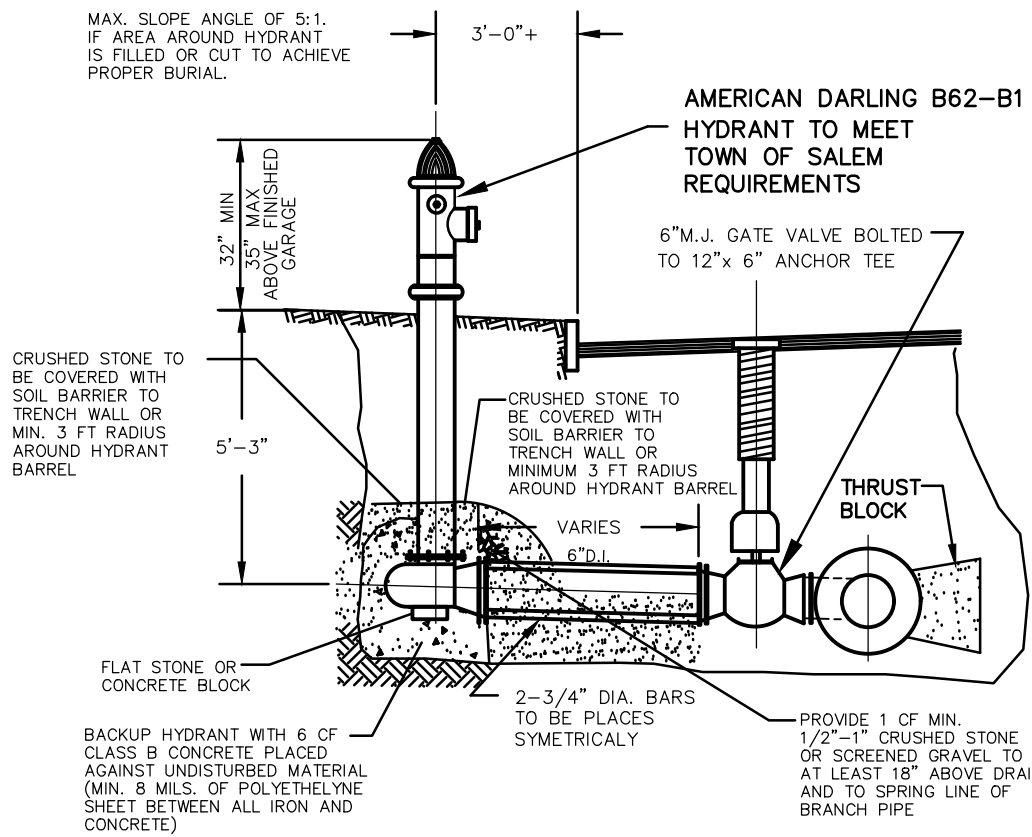
8-16-23

ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_SP-PH2	NEX-2200130	19 OF 25



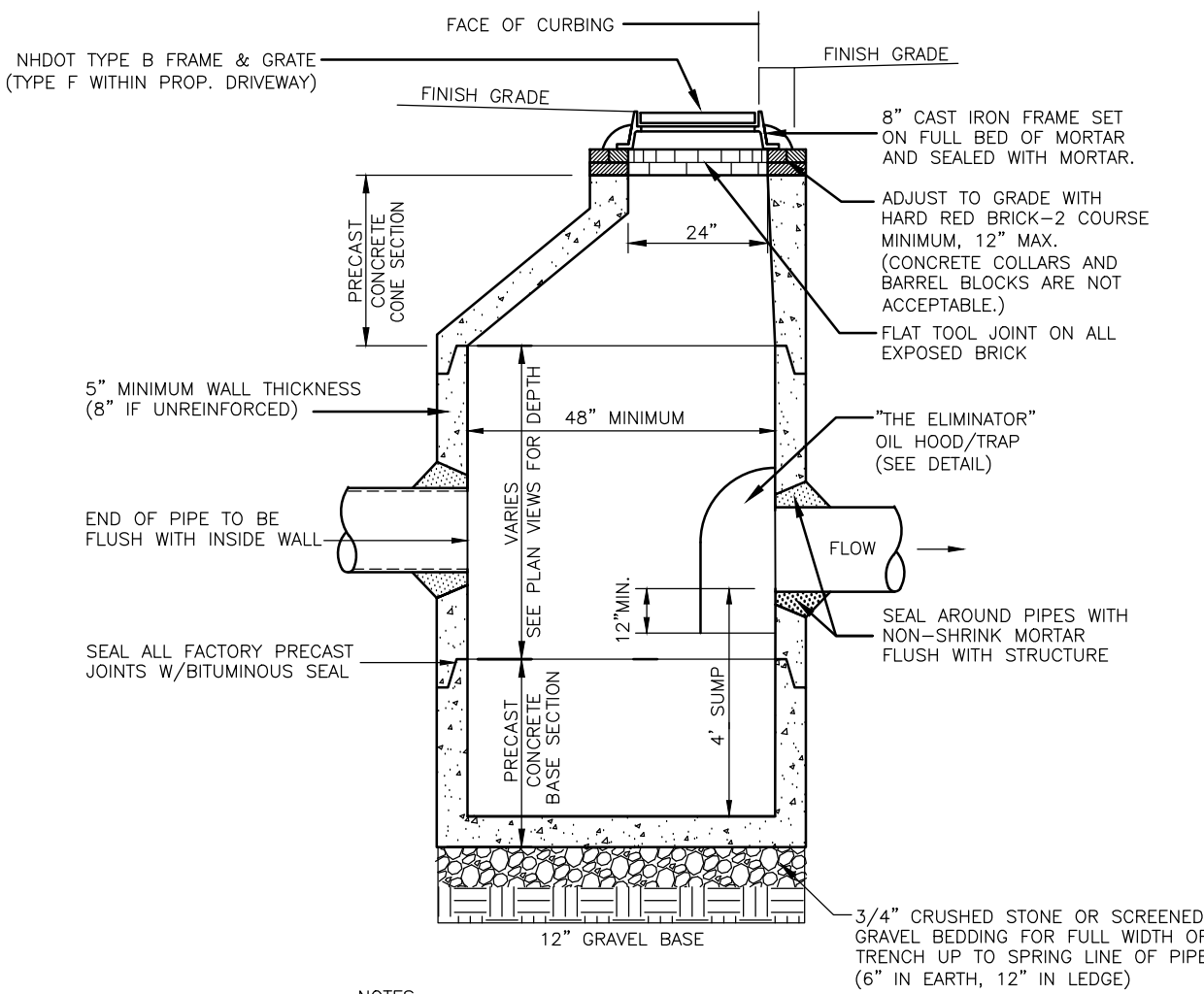
3	ADDRESS AOT COMMENTS	CMY	10/23/23	
2	ADDRESS AOT COMMENTS	CMY	10/3/23	
1	RESPONSE TO COMMENTS	CMY	8/16/23	
NO.	DESCRIPTION	BY	DATE	
REVISIONS				
DETAIL SHEET				
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD				
PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810				
		Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079		
603.893.0720		GINET.COM		
SCALE: AS SHOWN		DATE: APRIL 3, 2023		
	<u>OWNER OF RECORD</u> YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819		<u>SALEM PLANNING BOARD</u> <u>APPROVAL</u>	
	ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_DET	NEX-2200130	21 OF 25



HYDRANT CONNECTION (TYP.)

NOT TO SCALE

NOTE: ALL FIRE HYDRANTS MUST BE TESTED AND PAINTED/LABELED IN ACCORDANCE WITH TOWN OF SALEM REQUIREMENTS.

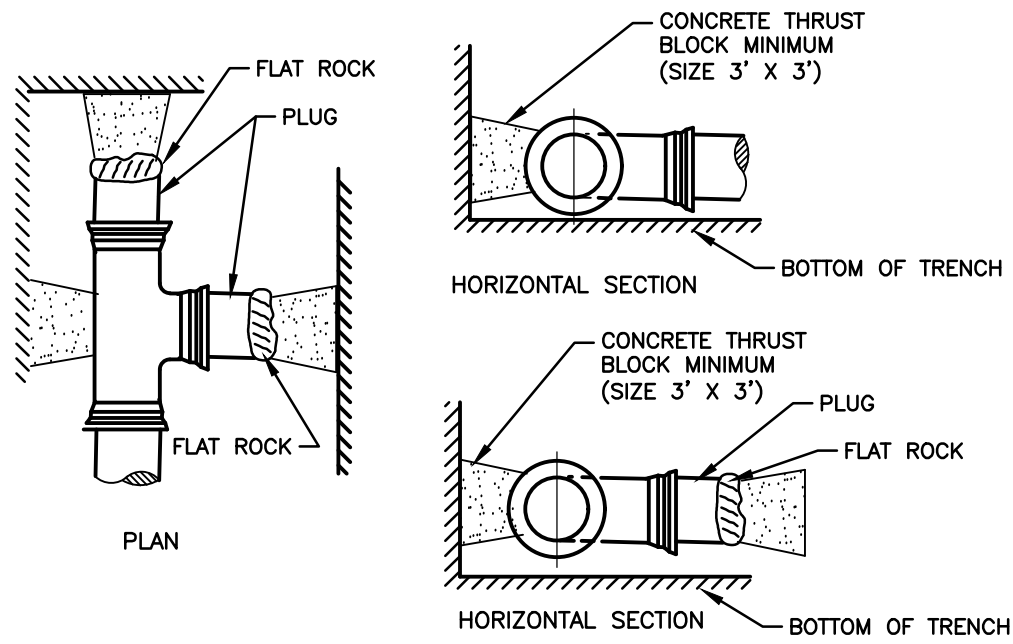


NOTES:

1. PRECAST CONCRETE CATCH BASIN AS MANUFACTURED BY SUPERIOR CONCRETE OR APPROVED EQUAL.
2. CONCRETE: 4,000 PSI AFTER 28 DAYS.
3. REINFORCING: H-20 LOADING, 4 X 4 X 4/4 W.W.M. SLAB TOP -NO. 5'S @ 8" O.C.
4. SHIFLAP JOINTS SEALED WITH 1 STRIP OF 1" DIA BUTYL RUBBER SEALANT.
5. EACH CASTING TO HAVE LIFTING HOLES CAST IN.
6. EACH SECTION TO BE LABELED AS NOTED.
7. OIL HOODS TO BE INSTALLED ON ALL OUTLET PIPES FOR CATCH BASINS AND MANHOLES WITH DEEP SUMPS.

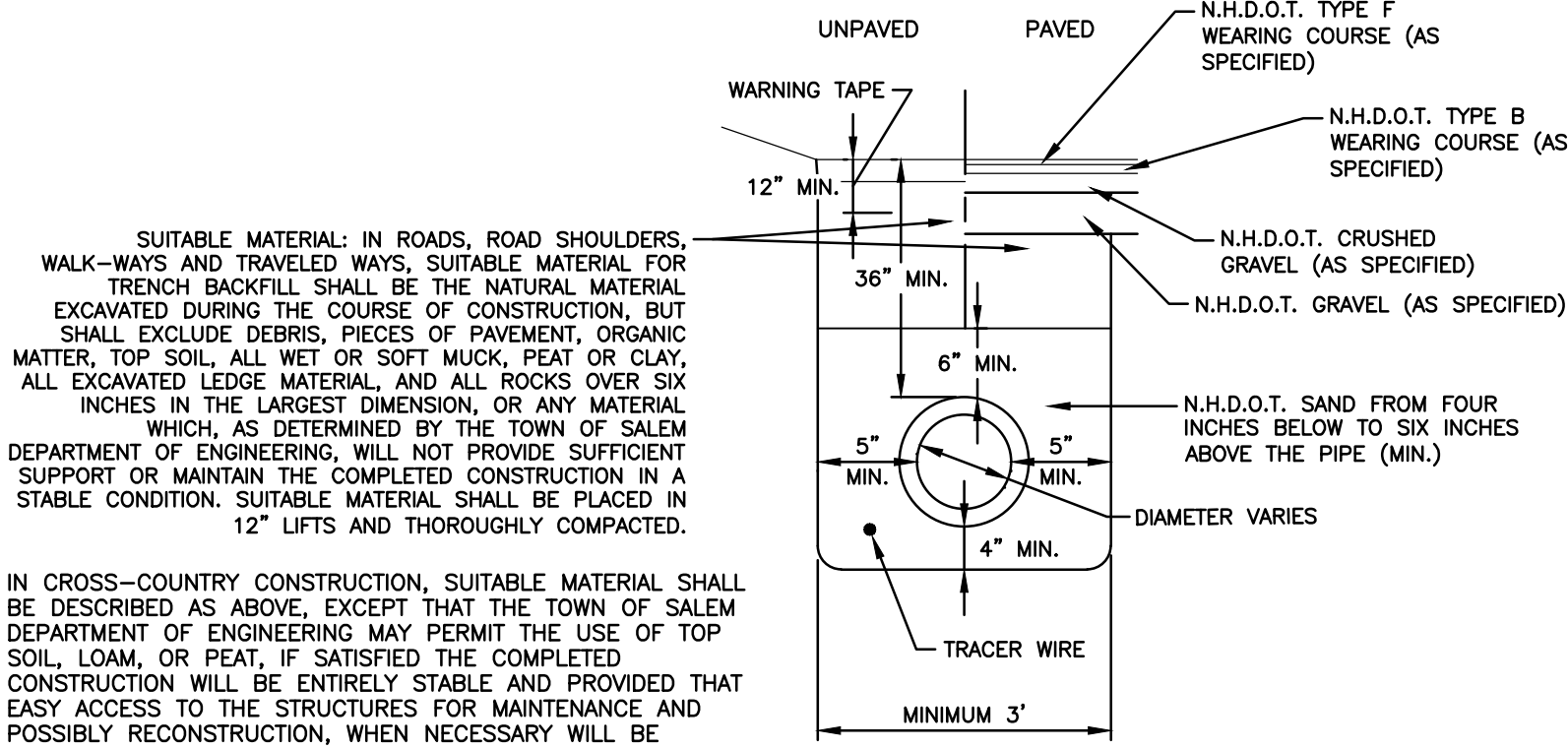
DEEP SUMP CATCH BASIN
ECCENTRIC CONE

NOT TO SCALE



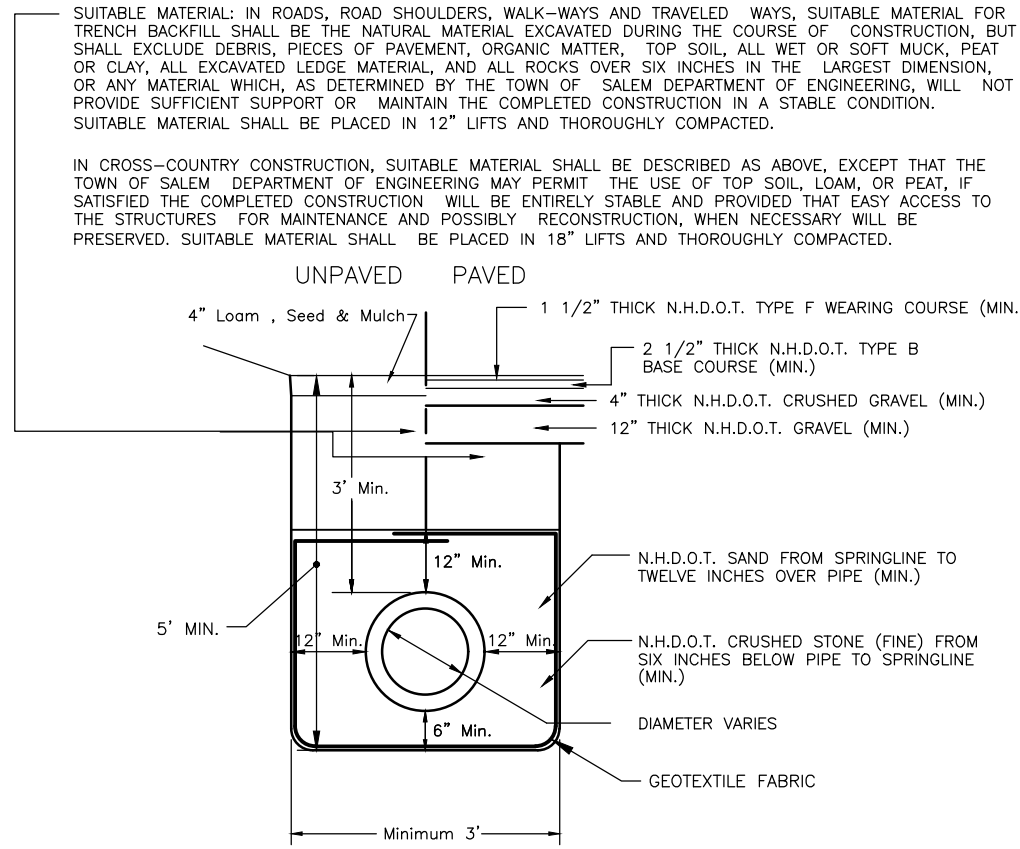
THRUST BLOCK

NOT TO SCALE



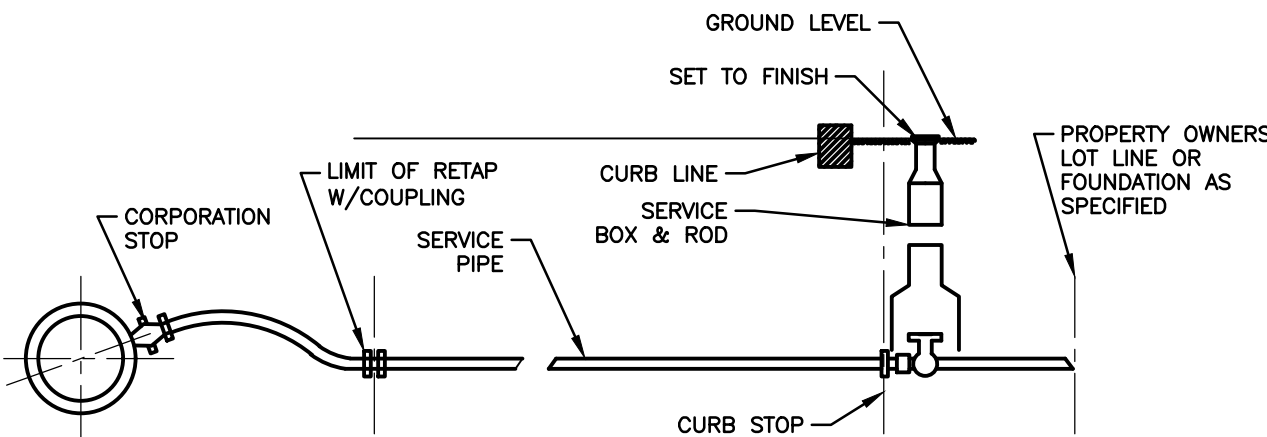
TYPICAL GAS TRENCH

NOT TO SCALE



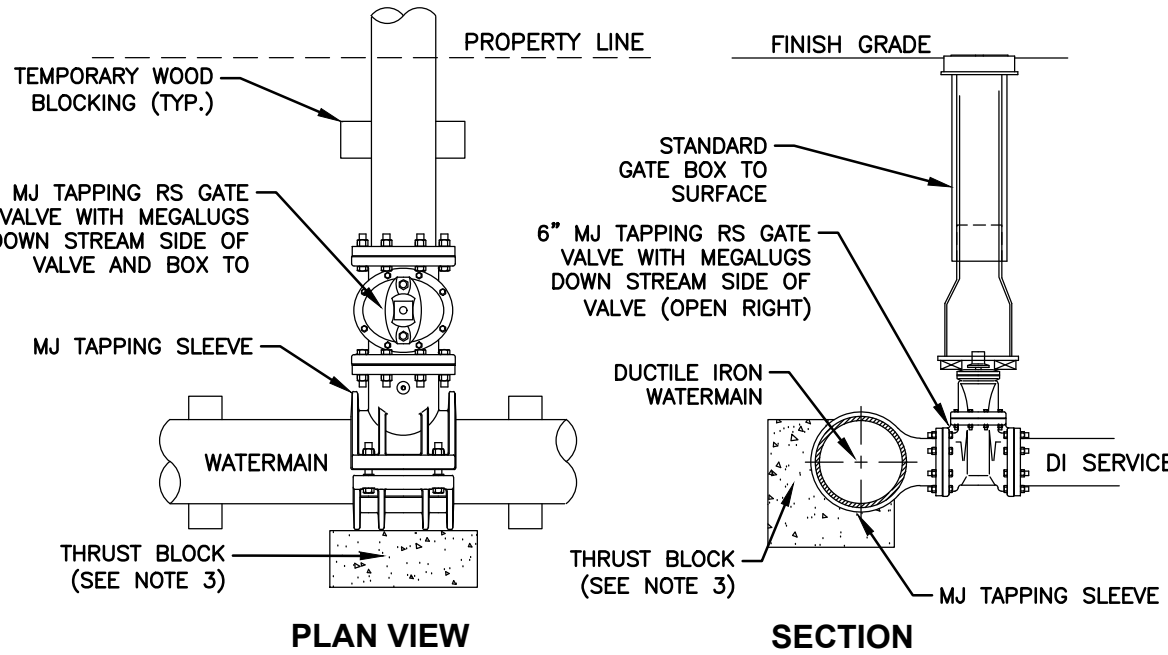
DRAIN TRENCH W/LESS THAN 4 FT OF COVER

NOT TO SCALE



TYPICAL WATER SERVICE CONNECTION

NOT TO SCALE



PLAN VIEW

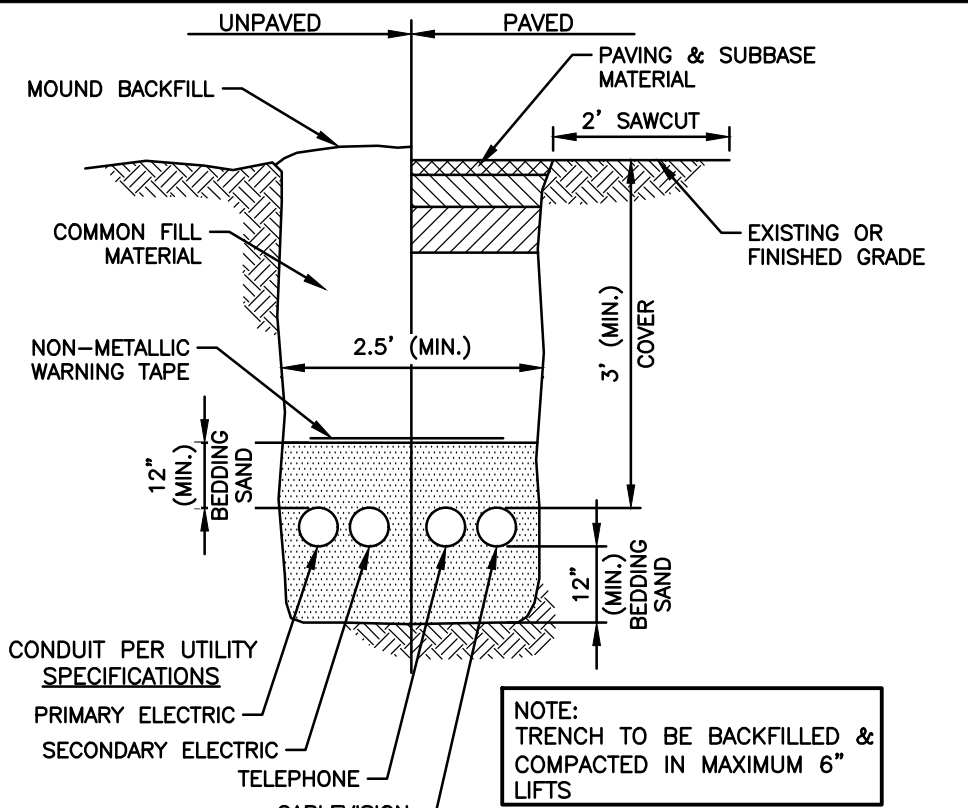
SECTION

NOTE:

1. ALL MATERIAL AND INSTALLATION PROCEDURES WILL CONFORM TO D.P.W. TECHNICAL SPECIFICATIONS.
2. ALL PIPE SHOULD HAVE A MINIMUM DEPTHS OF 5' FROM TOP OF PIPE TO FINISH GRADE.
3. MIN 2'x2'x4' PRECAST CONCRETE THRUST BLOCK MAY BE USED WITH D.P.W. APPROVAL OR CONCRETE THRUST BLOCK POURED AGAINST UNDISTURBED EARTH - SIZE TO BE BASED ON SIZE OF FITTING AND PRESSURE IN WATERMAIN.

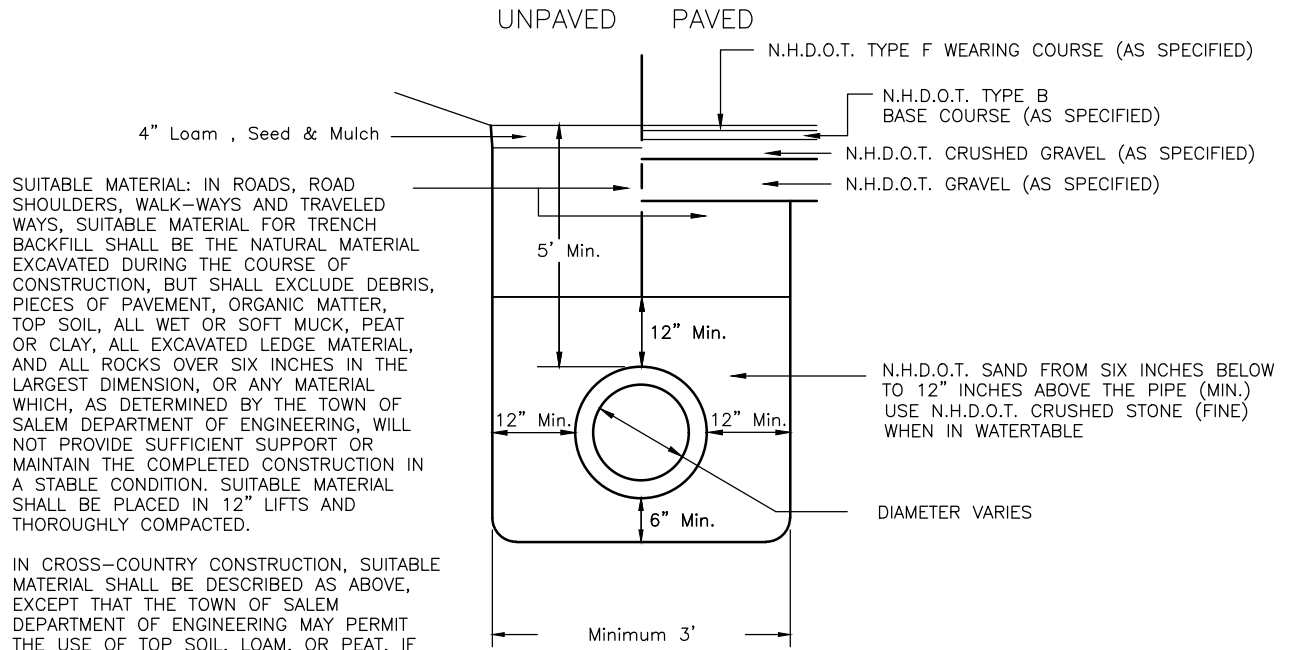
WET TAP TEE INSTALLATION

NOT TO SCALE



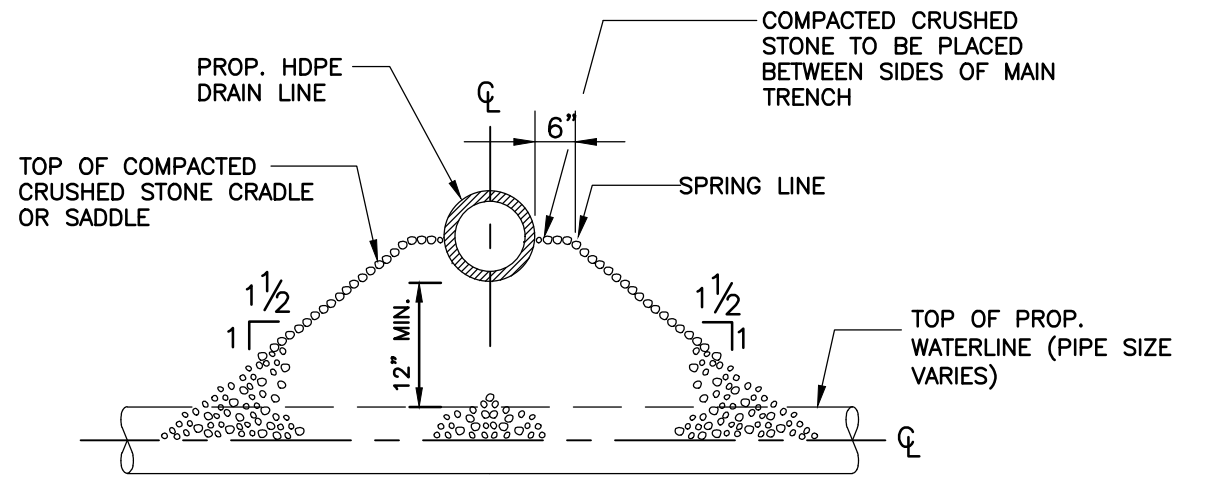
UTILITY TRENCH

NOT TO SCALE



TOWN OF SALEM TYPICAL WATER TRENCH (ON-SITE)

NOT TO SCALE



PIPE CROSSING DETAIL

NOT TO SCALE

NO.	DESCRIPTION	BY	DATE
3	RESPONSE TO COMMENTS	CMY	5/30/25
2	RESPONSE TO COMMENTS	CMY	4/15/25
1	RESPONSE TO COMMENTS	CMY	8/16/23

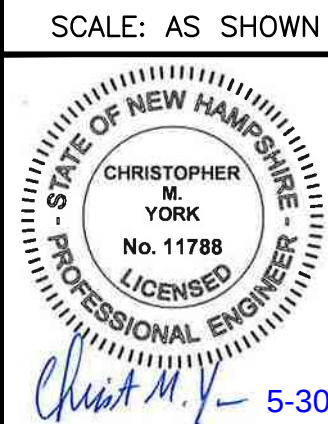
DETAIL SHEET

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

PREPARED FOR:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810

GPI
Engineering
Design
Planning
Construction Management
603.893.0720
GPINET.COM

Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079



5-30-25

OWNER OF RECORD
YOUNG LAND HOLDINGS, LLC.
36 PELHAM RD, SALEM, NH
BOOK 6069 PAGE 1819

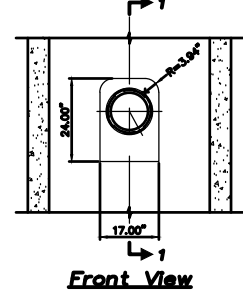
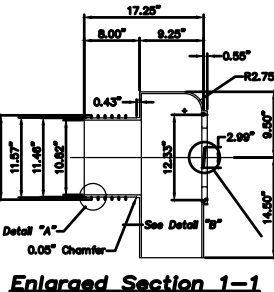
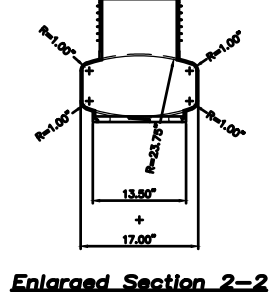
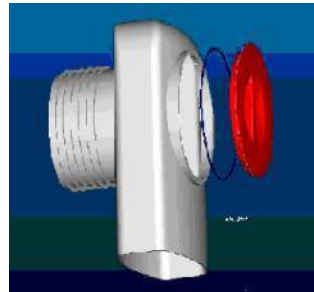
SALEM PLANNING BOARD
APPROVAL

ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)

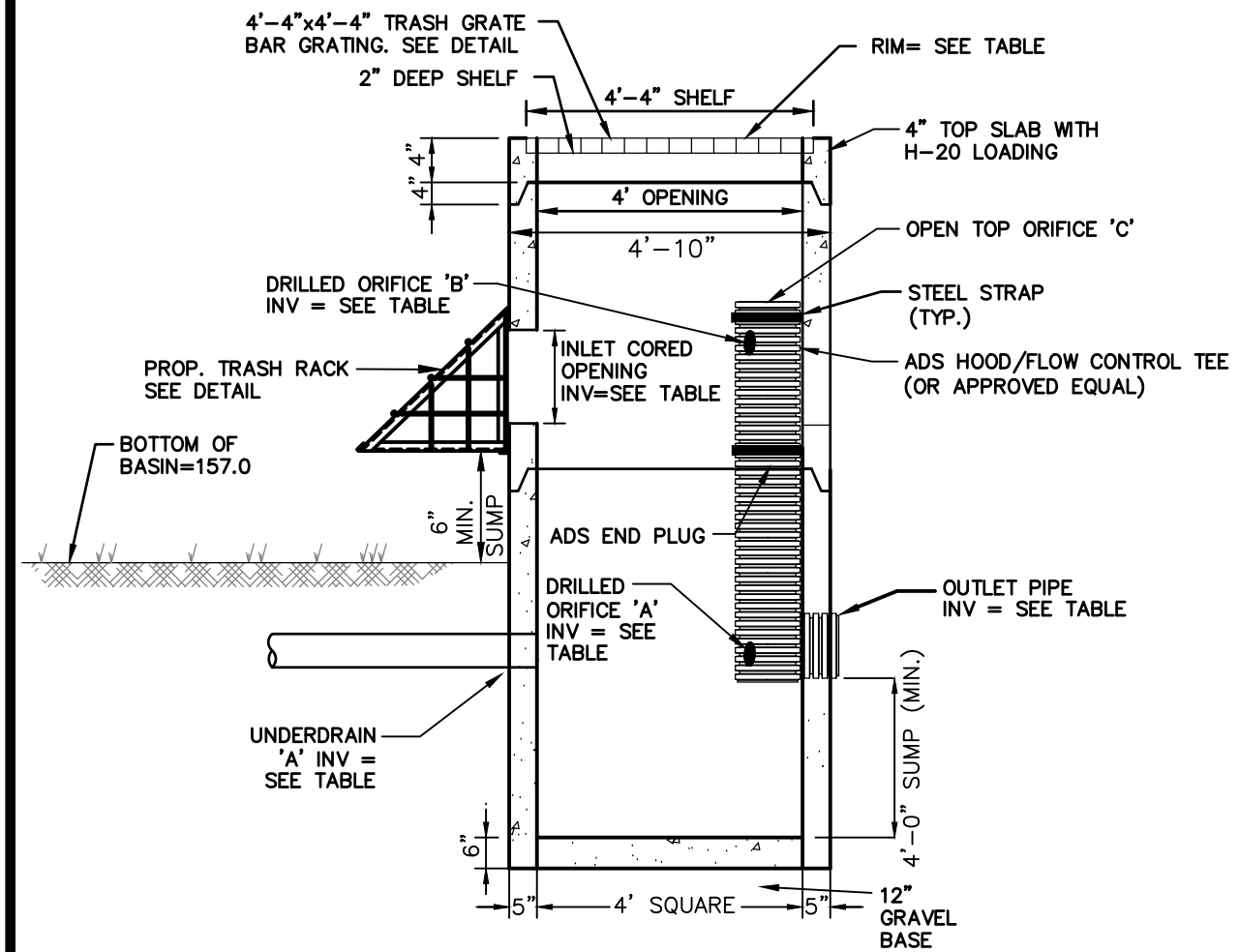
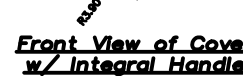
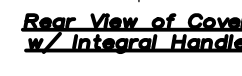
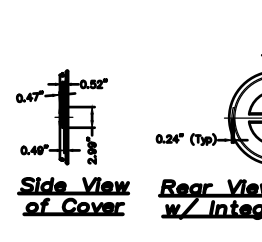
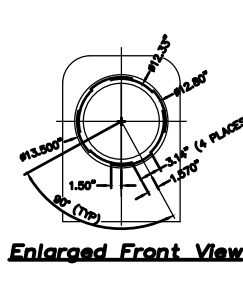
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_DET	NEX-2200130	22 OF 25

TEST PIT DATA

Test Pit No. 3-1	SCS Soil: Canton Fine Sandy Loam	Test Pit No. 9-5	SCS Soil: Canton Fine Sandy Loam
ESHW: 24"	Standing Water: None	ESHW: >120"	Standing Water: None
Refusal: >90"	Roots: None	Refusal: >120"	Roots: None
Depth: 0-18" Horizon A Soil Texture Lousy Sand Color 10yr 3/2 Consistency FR	Mottles; Quantity/Contrast @24" Distinct	Depth: 0-5" Horizon Pavement Soil Texture Gravel Color 10yr 5/6 Consistency FR	Mottles; Quantity/Contrast
18-30" Horizon B Soil Texture Lousy Sand Color 10yr 5/6 Consistency FR		30-48" Horizon C Soil Texture Lousy Sand Color 2.5y 7/4 Consistency FR	
30-48" Horizon C Soil Texture Lousy Sand Color 2.5y 7/4 Consistency FR			
Test Pit No. 3-2	SCS Soil: Canton Fine Sandy Loam	Test Pit No. 9-6	SCS Soil: Canton Fine Sandy Loam
ESHW: >90"	Standing Water: None	ESHW: >74"	Standing Water: None
Refusal: >90"	Roots: None	Refusal: 74"	Roots: None
Depth: 0-72" Horizon Fill Soil Texture Mixed Soils Color Variable Consistency FR	Mottles; Quantity/Contrast	Depth: 0-74" Horizon Fill Soil Texture Mixed Soils Color 10yr 5/6 Consistency FR	Mottles; Quantity/Contrast
72-90" Horizon C Soil Texture Mixed Soils Color 2.5y 7/4 Consistency FR			
Test Pit No. 3-3	SCS Soil: Canton Fine Sandy Loam	Test Pit No. 9-7	SCS Soil: Canton Fine Sandy Loam
ESHW: 24"	Standing Water: 32"	ESHW: >108"	Standing Water: None
Refusal: >78"	Roots: 32"	Refusal: 108"	Roots: None
Depth: 0-12" Horizon A Soil Texture Lousy Sand Color 10yr 3/2 Consistency FR	Mottles; Quantity/Contrast @24" Distinct	Depth: 0-108" Horizon Fill Soil Texture Mixed Soils Color 10yr 5/6 Consistency FR	Mottles; Quantity/Contrast
12-24" Horizon B Soil Texture Lousy Sand Color 10yr 5/6 Consistency FR			
24-78" Horizon C Soil Texture Lousy Sand Color 2.5y 7/4 Consistency FR			
Test Pit No. 9-1	SCS Soil: Canton Fine Sandy Loam	Test Pit No. 9-8	SCS Soil: Canton Fine Sandy Loam
ESHW: 32"	Standing Water: None	ESHW: 48"	Standing Water: None
Refusal: >72"	Roots: None	Refusal: >108"	Roots: None
Depth: 0-30" Horizon Fill Soil Texture Mixed Soils Color 2.5y 6/3 Consistency FR	Mottles; Quantity/Contrast @ 32" Distinct	Depth: 0-48" Horizon Fill Soil Texture Mixed Soils Color 2.5y 5/1 Consistency FR	Mottles; Quantity/Contrast
30-72" Horizon C Soil Texture Mixed Soils Color 2.5y 6/3 Consistency FR			
Test Pit No. 9-2	SCS Soil: Canton Fine Sandy Loam	Test Pit No. 9-9	SCS Soil: Canton Fine Sandy Loam
ESHW: >50"	Standing Water: None	ESHW: 24"	Standing Water: None
Refusal: 36-50"	Roots: None	Refusal: 60"	Roots: None
Depth: 0-50" Horizon Fill Soil Texture Mixed Soils Color 2.5y 6/3 Consistency FR	Mottles; Quantity/Contrast @24" Distinct	Depth: 0-24" Horizon Fill Soil Texture Mixed Soils Color 2.5y 6/3 Consistency FR	Mottles; Quantity/Contrast
Test Pit No. 9-3	SCS Soil: Canton Fine Sandy Loam	Test Pit No. 9-10	SCS Soil: Canton Fine Sandy Loam
ESHW: 24"	Standing Water: 102"	ESHW: >102"	Standing Water: None
Refusal: 60"	Roots: 102"	Refusal: 102"	Roots: None
Depth: 0-4" Horizon A Soil Texture Sandy Loam Color 10yr 3/2 Consistency FR	Mottles; Quantity/Contrast @24" Distinct	Depth: 0-72" Horizon Fill Soil Texture Mixed Soils Color 2.5y 6/3 Consistency FR	Mottles; Quantity/Contrast
4-50" Horizon C Soil Texture Sandy Loam Color 10yr 3/2 Consistency FR			
50-60" Horizon C Soil Texture Sandy Loam Color 10yr 3/2 Consistency FR			
Test Pit No. 9-4	SCS Soil: Canton Fine Sandy Loam		
ESHW: 24"	Standing Water: None		
Refusal: >74"	Roots: None		
Depth: 0-10" Horizon Fill Soil Texture Mixed Soils Color 10yr 6/4 Consistency FR	Mottles; Quantity/Contrast @24" Distinct		
10-74" Horizon C Soil Texture Mixed Soils Color 10yr 6/4 Consistency FR			



THE ELIMINATOR CATCH BASIN OIL & DEBRIS TRAP



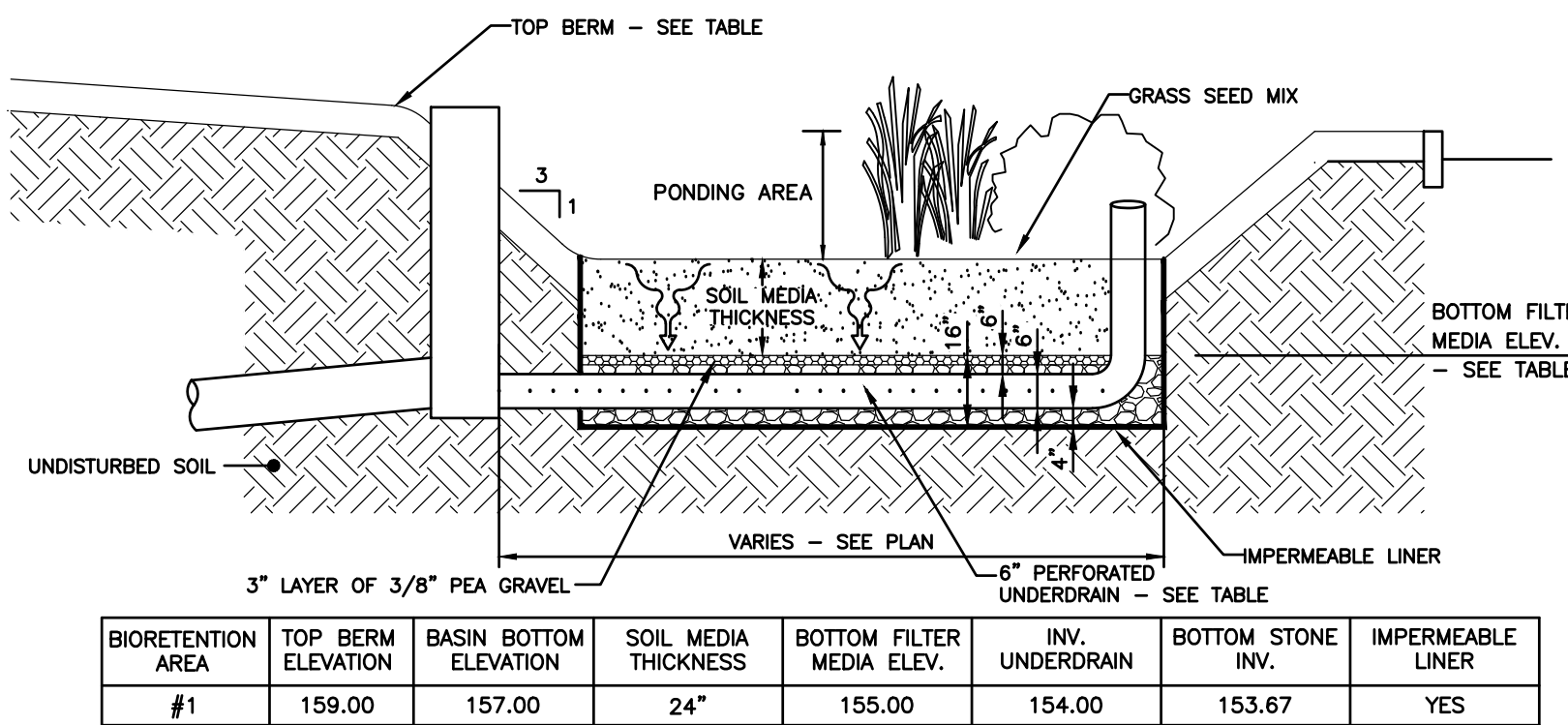
OUTLET CONTROL STRUCTURE TABLE									
OCS	RIM	ORIFICE	SIZE (IN.)	ELEV.	INV.IN (SIZE)	INV.IN (ELEV)	INV.OUT (SIZE)	INV.OUT (ELEV)	
#4	158.80	A	1" DIA.	154.00	6"	157.50	12"	154.00	
		B	2" DIA.	157.50					
		C	12" DIA.	158.10					

NOTES:

1. PRECAST CONCRETE MAN HOLE AS MANUFACTURED BY SUPERIOR CONCRETE OR APPROVED EQUAL.
2. CONCRETE: 4,000 PSI AFTER 28 DAYS.
3. REINFORCING: H-20 LOADING, 4 X 4/4 X 4 W.W.M. SLAB TOP -NO. 5'S @ 8" O.C.
4. SHIPLAP JOINTS SEALED WITH 1 STRIP OF 1" DIA BUTYL RUBBER SEALANT.
5. EACH CASTING TO HAVE LIFTING HOLES CAST IN.
6. LENGTH AND DIAMETER OF TEE VARIES WITH PIPE.

PRECAST CONCRETE OUTLET CONTROL STRUCTURE (OCS) FOR BIORETENTION SYSTEMS

NOT TO SCALE

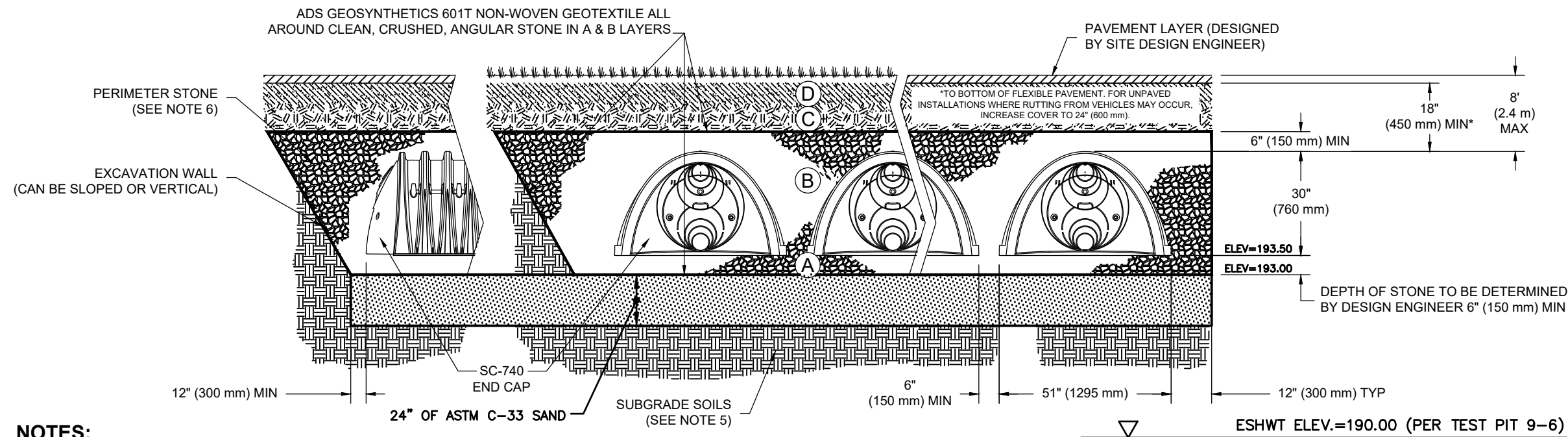


BIORETENTION AREA	TOP BERM ELEVATION	BASIN BOTTOM ELEVATION	SOIL MEDIA THICKNESS	BOTTOM FILTER MEDIA ELEV.	INV. UNDERDRAIN	BOTTOM STONE INV.	IMPERMEABLE LINER
#1	159.00	157.00	24"	155.00	154.00	153.67	YES

- NOTES:
1. DO NOT PLACE THE BIORETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
 2. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
 3. DO NOT TRAFFIC EXPOSED SOIL SURFACES WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

BIORETENTION AREA DETAIL

NOT TO SCALE

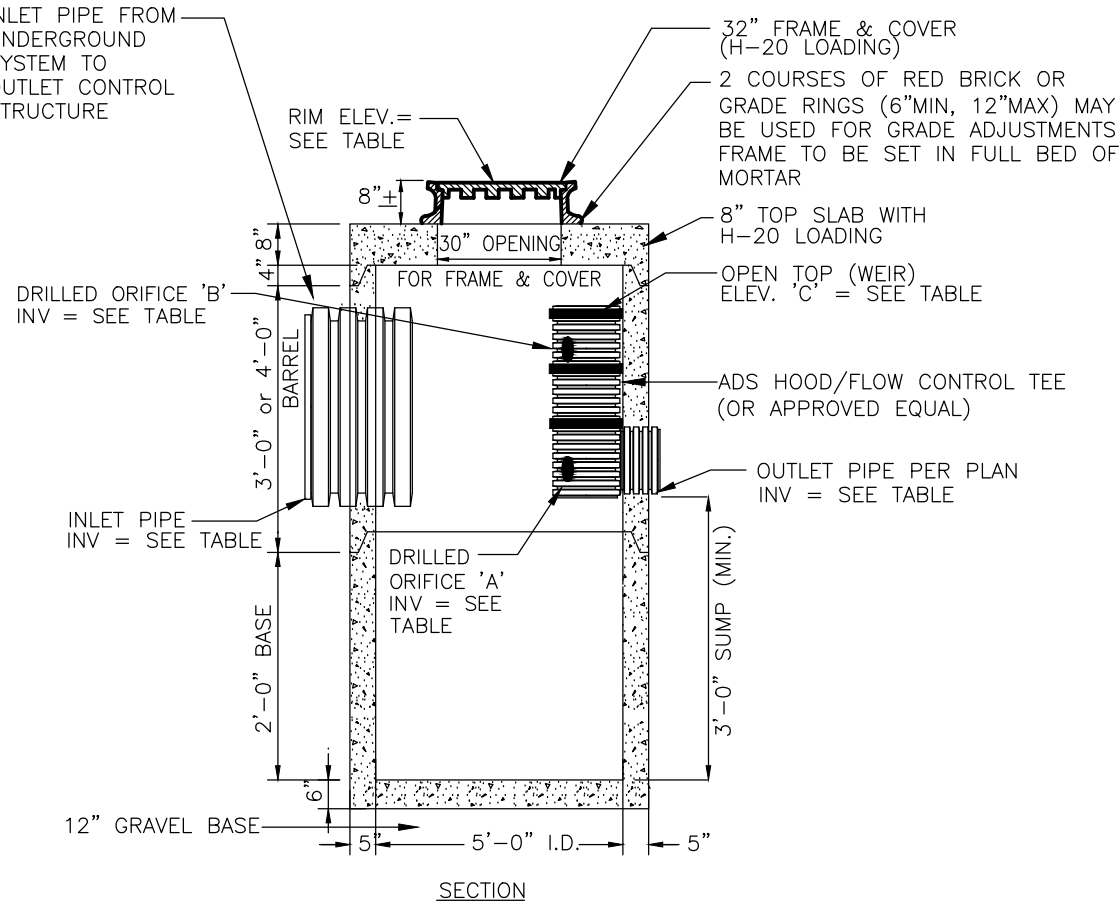


NOTES:

1. SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F3418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
4. THE "SITE DESIGN ENGINEER" REFERS TO THE ENGINEER RESPONSIBLE FOR THE DESIGN AND LAYOUT OF THE STORMTECH CHAMBERS FOR THIS PROJECT.
5. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE ALLOWABLE BEARING CAPACITY OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
6. PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
7. ONCE LAYER 'C' IS PLACED, ANY SOLIMATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.
8. SYSTEM TO BE INSTALLED LEVEL.

UNDERGROUND INFILTRATION SYSTEM
STORMTECH SC-740 CHAMBER TYPICAL CROSS SECTION DETAIL

NOT TO SCALE



NOTES:

1. PRECAST CONCRETE MAN HOLE AS MANUFACTURED BY SUPERIOR CONCRETE OR APPROVED EQUAL.
2. CONCRETE: 4,000 PSI AFTER 28 DAYS.
3. REINFORCING: H-20 LOADING, 4 X 4/4 X 4 W.W.M. SLAB TOP -NO. 5'S @ 8" O.C.
4. SHIPLAP JOINTS SEALED WITH 1 STRIP OF 1" DIA BUTYL RUBBER SEALANT.
5. EACH CASTING TO HAVE LIFTING HOLES CAST IN.
6. LENGTH AND DIAMETER OF TEE VARIES WITH PIPE.

OUTLET CONTROL STRUCTURE TABLE							
OCS	RIM	ORIFICE	SIZE (IN.)	ELEV.	INV.IN (SIZE)	INV.IN (ELEV)	INV.OUT (ELEV)
#1	201.00	A	1" DIA.	196.35	18"	196.35	196.35
		B	6" DIA.	196.85			
		C	12" DIA.	199.50			
#2	160.50	A	1" DIA.	155.35	24"	155.35	155.35
		B	10" DIA.	155.95			
		C	12" DIA.	158.50			
#3	154.00	A	1" DIA.	148.35	18"	148.35	148.35
		B	6" DIA.	148.85			
		C	12" DIA.	151.50			

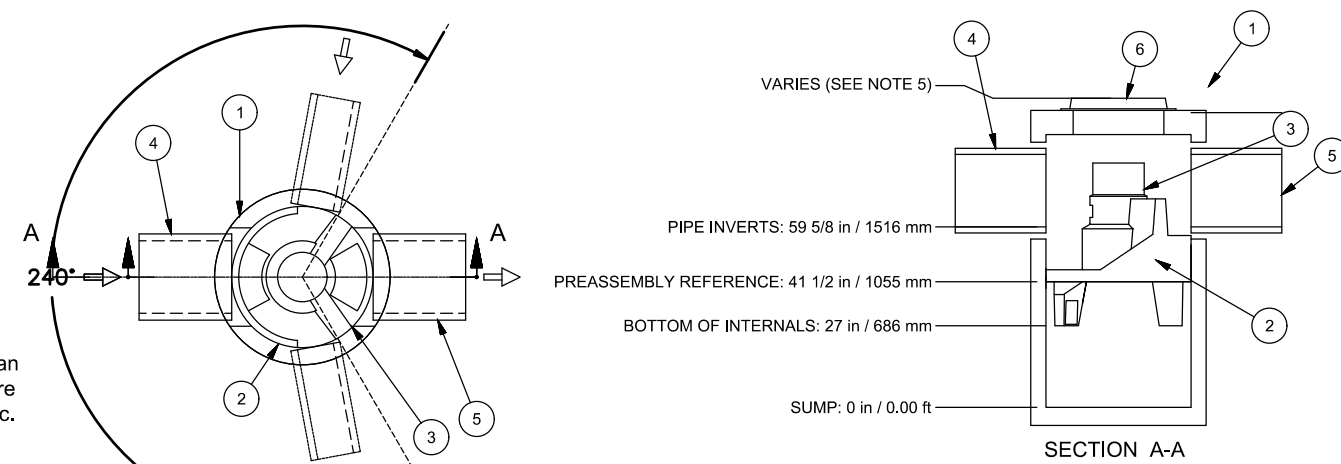
PRECAST CONCRETE OUTLET CONTROL STRUCTURE (OCS) FOR UNDERGROUND SYSTEMS

NOT TO SCALE

NOTES:

FOR ADDITIONAL INFORMATION REFER TO THE NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 2, POST-CONSTRUCTION BEST MANAGEMENT PRACTICES, DECEMBER 2008.

Table 4-4. Bioretention Filter Media			
Component Material	Percent of Mixture by Volume	Sieve No.	Percent by Weight Passing Standard Sieve
Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Lousy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
Filter Media Option B			
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
	70 to 80	10	85 to 100
		20	70 to 100
		60	15 to 40
	200		8 to 15



GENERAL NOTES:

1. GENERAL ARRANGEMENT DRAWINGS ONLY. CONTACT HYDRO INTERNATIONAL FOR SITE SPECIFIC FABRICATION DRAWINGS.
2. THE DIAMETER OF THE INLET & OUTLET PIPES MAY BE NO MORE THAN 24".
3. MULTIPLE INLET PIPES POSSIBLE (REFER TO PROJECT PLANS).
4. INLET/OUTLET PIPE ANGLE CAN VARY TO ALIGN WITH DRAINAGE NETWORK (REFER TO PROJECT PLANS).
5. PEAK FLOW RATE AND MINIMUM HEIGHT LIMITED BY AVAILABLE COVER AND PIPE DIAMETER.
6. LARGER SEDIMENT STORAGE CAPACITY MAY BE PROVIDED WITH A DEEPER SUMP DEPTH.

PRODUCT SPECIFICATIONS:

- A. THE TREATMENT SYSTEM SHALL USE AN INDUCED VORTEX TO SEPARATE POLLUTANTS FROM STORMWATER RUNOFF.
- B. THE TREATMENT SYSTEM SHALL FIT WITHIN THE LIMITS OF EXCAVATION (AREA AND DEPTH) AS SHOWN IN THE PROJECT PLANS AND WILL NOT EXCEED THE DIMENSIONS FOR THE DESIGN FLOW RATES SPECIFIED HEREIN.
- C. THE TREATMENT SYSTEM SHALL REMOVE GREATER THAN OR EQUAL TO 90% OF TSS BASED ON THE INLET PARTICLE SIZE (TSS) OF 100 MICRONS AND/OR 90% OF TSS BASED ON THE TSS OF 200 MICRONS AT 100 GPM AND 100 GPM, RESPECTIVELY.
- D. THE TREATMENT SYSTEM SHALL CONVEY THE PEAK ON-LINE FLOW RATES OF UP TO 18 CFS WITHOUT CAUSING UPSTREAM SURCHARGE CONDITIONS. FULL-SCALE INDUSTRY LABORATORY SCOUR TESTING SHALL DEMONSTRATE EFFICIENT CONTROL OF LESS THAN OR EQUAL TO 15 MICRONS FOR ALL FLOWS UP TO 100% OF WQV-100.
- E. THE TREATMENT SYSTEM SHALL BE CAPABLE OF CAPTURING AND RETAINING FINE SILT AND SAND SIZE PARTICLES. ANALYSIS OF CAPTURED SEDIMENT FROM FULL-SCALE FIELD INSTALLATIONS SHALL DEMONSTRATE PARTICLE SIZES PREDOMINATELY IN THE 20-MICRON RANGE.

NOTE: CONTRACTOR SHALL CONFIRM SYSTEM PARTS AND OBTAIN SHOP DRAWINGS FROM MANUFACTURER PRIOR TO CONSTRUCTION.

PARTS LIST				
ITEM	QTY	SIZE (in)	SIZE (mm)	DESCRIPTION
1	1	48	1200	I.D. PRECAST MANHOLE
2	1			INTERNAL COMPONENTS (PRE-INSTALLED)
3	1	30	750	FRAME AND GRATE
4	1	24 (MAX)	600 (MAX)	OUTLET PIPE (BY OTHERS)
5	1	24 (MAX)	600 (MAX)	INLET PIPE (BY OTHERS)

"FIRST DEFENSE" FD-4HC UNIT DETAIL

(OR APPROVED EQUAL)
NOT TO SCALE

NO.	DESCRIPTION	BY	DATE
4	RESPONSE TO COMMENTS	CMY	4/15/25
3	ADDRESS AOT COMMENTS	CMY	10/23/23
2	ADDRESS AOT COMMENTS	CMY	10/3/23
1	RESPONSE TO COMMENTS	CMY	8/16/23
REVISIONS			

DETAIL SHEET

SALEM PROPERTY MAP 96 - LOT 7775
PROPERTY ADDRESS - 44 PELHAM ROAD

PREPARED FOR:
SURAJ REALTY
345 RIVER ROAD
ANDOVER, MA 01810

GPI
Engineering
Design
Planning
Construction Management
603.893.0720
GPINET.COM

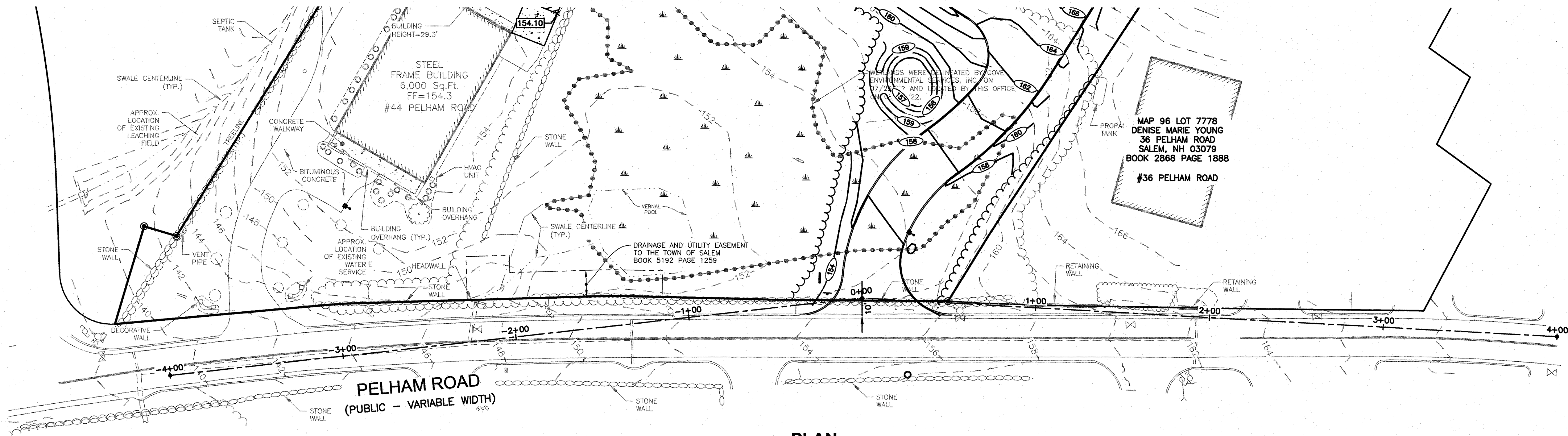
Greenman-Pedersen, Inc.
44 Stiles Road
Suite One
Salem, NH 03079

SCALE: AS SHOWN

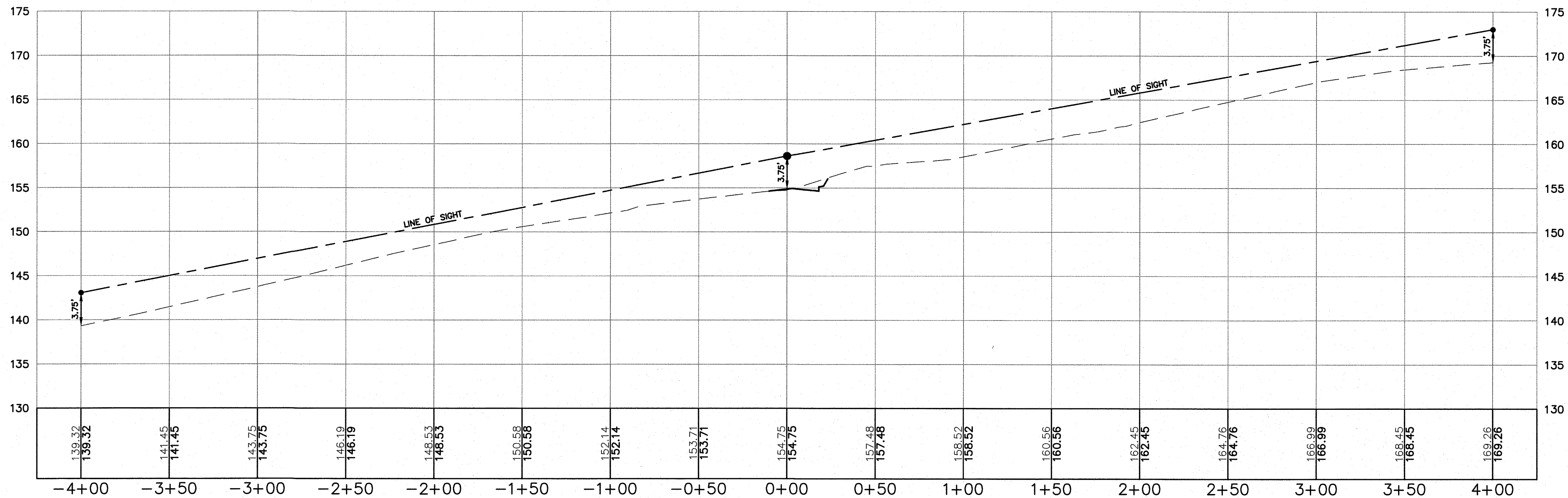
DATE: APRIL 3, 2023

 <i>Christopher M. York</i> 4-15-25	<u>OWNER OF RECORD</u> YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819		<u>SALEM PLANNING BOARD</u> <u>APPROVAL</u>	
	ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)			
	DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
NID	CCC/DRJ	2200130_DET	NEX-2200130	24 OF 25

F:\Projects\NEX-2200130 - Salem, NH - Suraj Realty\CAD Files\2200130_SP-PH1.dwg SIGHT DIST 8/16/23 10:21am ccdl



PLAN
SCALE: 1"=40'



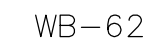
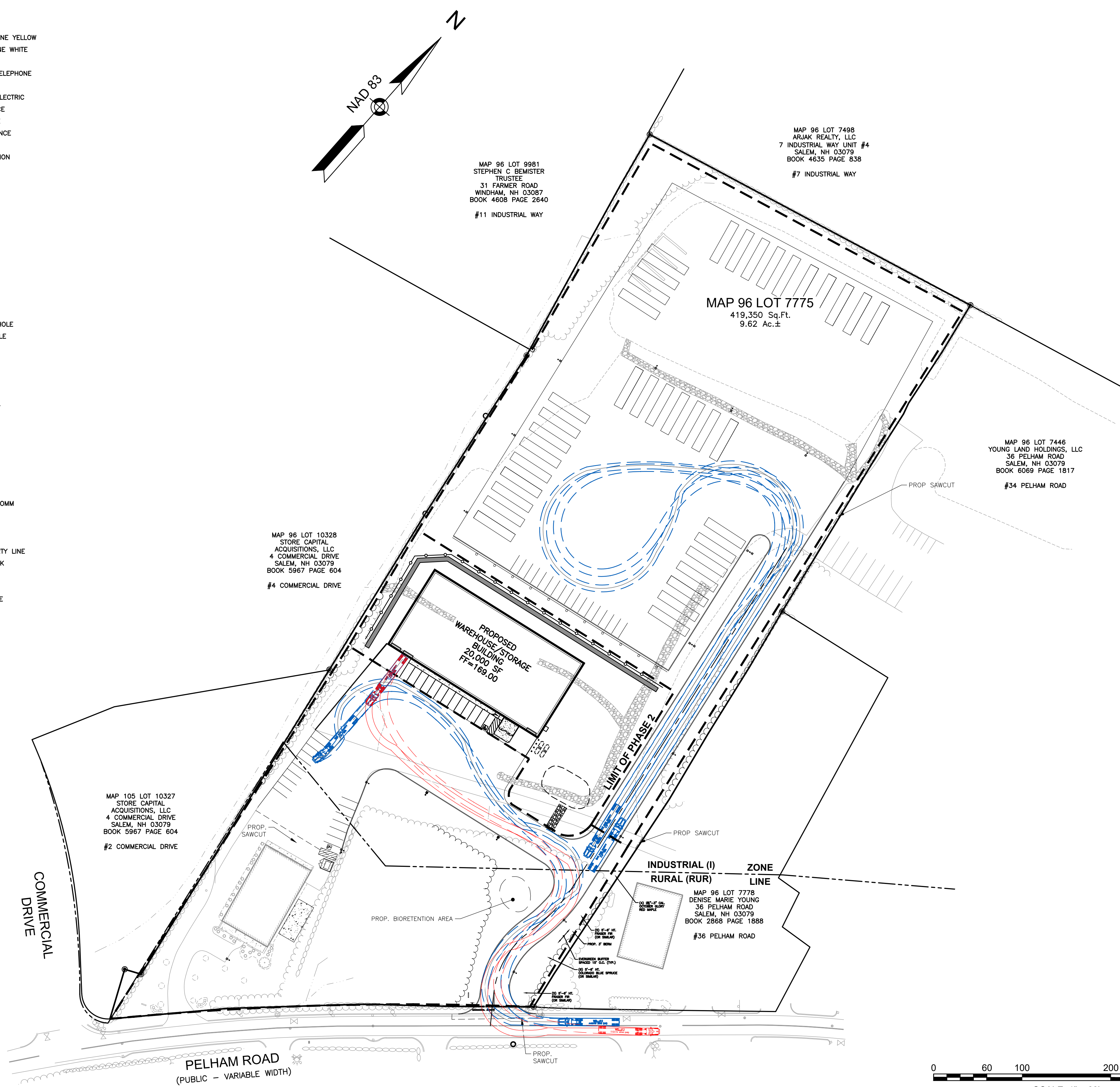
PROFILE
SCALE: 1"=40'H/4'V



SCALE: 1" = 40' (H)
1" = 8' (V)

1		RESPONSE TO COMMENTS	CMY	8/16/23
NO.		DESCRIPTION	BY	DATE
REVISIONS				
SIGHT DISTANCE PLAN & PROFILE				
SALEM PROPERTY MAP 96 - LOT 7775 PROPERTY ADDRESS - 44 PELHAM ROAD				
PREPARED FOR: SURAJ REALTY 345 RIVER ROAD ANDOVER, MA 01810				
GPI 603.893.0720 GPI.NET.COM		Engineering Design Planning Construction Management Greenman-Pedersen, Inc. 44 Stiles Road Suite One Salem, NH 03079		
SCALE: 1" = 40'		DATE: APRIL 3, 2023		
		OWNER OF RECORD YOUNG LAND HOLDINGS, LLC. 36 PELHAM RD, SALEM, NH BOOK 6069 PAGE 1819		SALEM PLANNING BOARD APPROVAL
ZONE: RURAL DISTRICT (RUR), INDUSTRIAL DISTRICT (I)				
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_SP-PH1	NEX-2200130	25 OF 25

	CAPE COD BERM
	DOUBLE SOLID LINE YELLOW
	SINGLE SOLID LINE WHITE
	GAS LINE
	UNDERGROUND TELEPHONE
	WATER LINE
	UNDERGROUND ELECTRIC
	CHAIN LINK FENCE
	STOCKADE FENCE
	POST & RAIL FENCE
	WIRE FENCE
	CONTOUR ELEVATION
	TREE
	UTILITY POLE
	GUY WIRE
	OVERHEAD WIRE
	TREELINE
	SIGN
	SPOT ELEVATION
	DRAIN MANHOLE
	CATCH BASIN
	ROOF DRAIN
	CLEANOUT
	VENT
	SEWER MANHOLE
	TELEPHONE MANHOLE
	ELECTRIC MANHOLE
	WATER MANHOLE
	MANHOLE
	GAS VALVE
	GAS SHUT OFF
	WATER VALVE
	WATER SHUT OFF
	FIRE HYDRANT
	BOLLARD
	GAS METER
	ELECTRIC METER
	LIGHT POLE
	WETLAND LINE
	WATER FEATURE
	UNDERGROUND COMM
	DITCH LINE
	EASEMENT LINE
	PROPERTY LINE
	ABUTTER PROPERTY LINE
	BUILDING SETBACK
	SOIL TYPE LINE
	ZONE LINE
	FLOOD ZONE LINE



	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		

2	MISC REVS.	CMY	10/20/25
1	RESPONSE TO COMMENTS	CMY	8/16/23
NO.	DESCRIPTION	BY	DATE
REVISIONS			

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
NID	CCC/DRJ	2200130_SP-PH2	NEX-2200130	1 OF 1

