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ABUTTERS

MAP/LOT #	NAME & ADDRESS	MAP/LOT #	NAME & ADDRESS
98/7887	ROCKINGHAM ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079	98/12543	TUSCAN VILLAGE RESIDENTIAL HOLDINGS, LLC 150 PRESIDENTIAL WAY SUITE 220 WOBURN, MA 01801
98/4080	MESIT REAL ESTATE INC. 99 CLINTON STREET CONCORD, NH 03301	98/12542	BLACK BROOK REALTY TUSCAN VILLAGE NORTH, 17 MAIN STREET HOPKINTON, MA 01748
98/12507	DILORENZO, LAFAYETTE LEDGEWOOD REAL ESTATE, LLC C/O ANTHONY DILORENZO, MANAGER 549 US HIGHWAY 1 BYPASS PORTSMOUTH, NH 03801	151/12213	STATE OF NH DOT JOHN O'MORROW BUILDING ONE HAZEN DRIVE CONCORD, NH 03302

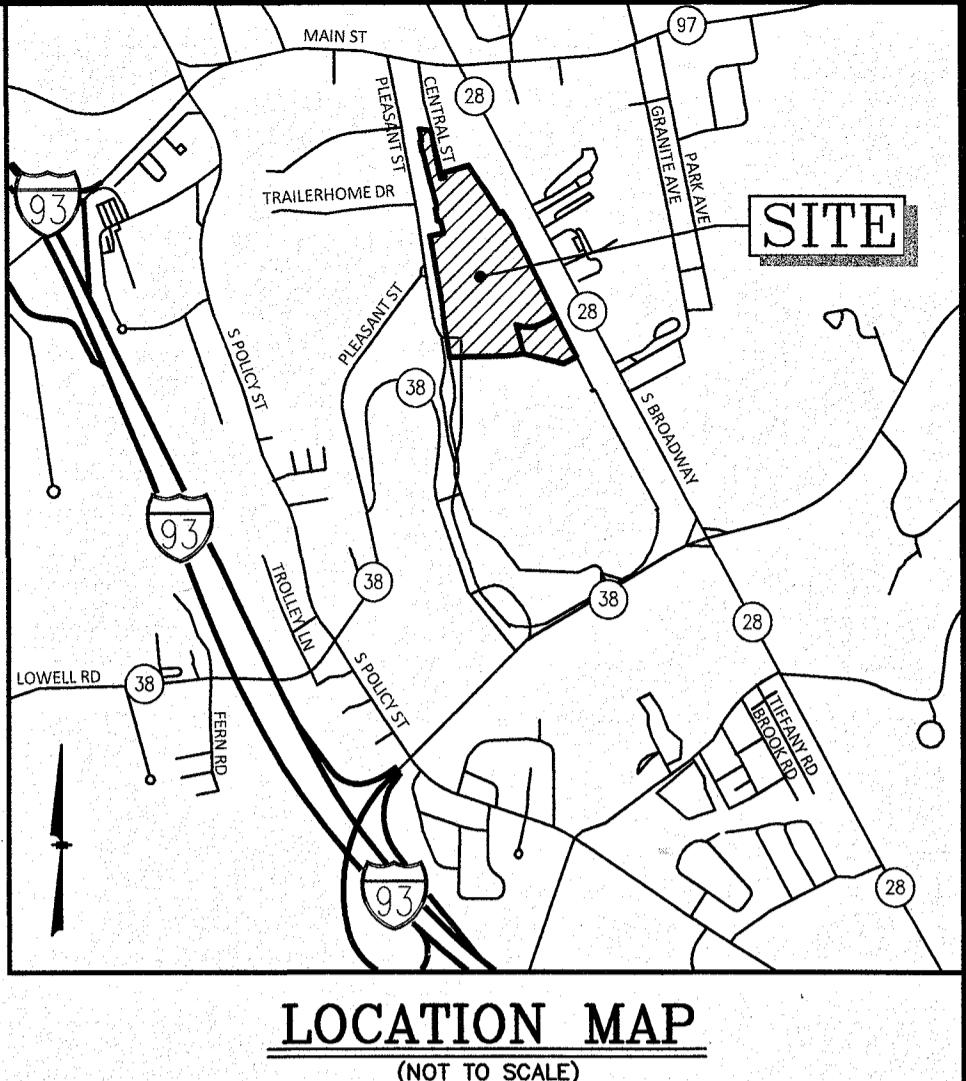
SALEM PLANNING BOARD

- 1) ON MARCH 28, 2017 THE SALEM PLANNING BOARD VOTED TO APPROVE A CONDITIONAL USE PERMIT TO ALLOW 11,170 SQUARE FEET OF PERMANENT WETLAND IMPACT AND 65,531 SQUARE FEET OF TEMPORARY WETLAND IMPACT RELATED TO THE REDEVELOPMENT OF THE FORMER ROCKINGHAM RACE TRACK PROPERTY.
- 2) ON SEPTEMBER 26, 2017 THE SALEM PLANNING BOARD VOTED TO APPROVE A WAIVER FROM SECTION 278-611.5.3 OF THE SUBDIVISION REGULATIONS TO ALLOW CATCH BASINS THAT HAVE A HYDRAULIC GRADE LINE THAT IS LESS THAN 2 FEET BELOW THE RIM FOR THE 50-YEAR STORM EVENT.
- 3) ON SEPTEMBER 26, 2017 THE SALEM PLANNING BOARD VOTED TO APPROVE A CONDITIONAL USE PERMIT FOR SECTION 490-702.D.(2) OR THE ZONING ORDINANCE TO ALLOW THE FOLLOWING WALL SIGNS: MARKET BASKET: 354.25 S.F. FACING CENTRAL STREET AND TWO 100 S.F. SIGNS FACING FOUR RETAIL TENANTS: 100 S.F. FACING THE PARKING LOT AND 100 S.F. FACING SOUTH BROADWAY (EACH)
- 4) ON SEPTEMBER 26, 2017 THE SALEM PLANNING BOARD VOTED TO APPROVE THE FOLLOWING CONDITIONAL USE PERMITS:
490-501 C. BUILDING HEIGHT - A BUILDING HEIGHT OF 39 FEET 6 INCHES, TWO (2) STORIES IS PROPOSED WHERE A MAXIMUM HEIGHT OF 35 FEET (3) STORIES IS PERMITTED IN THE COMMERCIAL-INDUSTRIAL C DISTRICT.
490-501 C. LOT COVERAGE - A LOT COVERAGE OF 78% IS PROPOSED WHERE A MAXIMUM LOT COVERAGE OF 70% IS PERMITTED IN THE COMMERCIAL-INDUSTRIAL C DISTRICT.
- 5) ON SEPTEMBER 26, 2017 THE SALEM PLANNING BOARD VOTED TO APPROVE THIS SITE PLAN SUBJECT TO THE FOLLOWING CONDITIONS:
1. PAY FOR OUTSIDE INSPECTIONS PER DIRECTION OF ENGINEERING DIVISION;
2. SUBMIT STATE PERMITS (ALTERATION OF TERRAIN, SEWER EXTENSION, NHDOT APPROVAL);
3. NO CONSTRUCTION ALLOWED BEFORE CONDITIONAL LETTER OF MAP REVISION IS APPROVED BY FEMA;
4. SUBMIT APPROVAL FROM ENGINEERING DIVISION;
5. SUBMIT APPROVAL FROM TOWN'S TRAFFIC REVIEW CONSULTANT;
6. SUBMIT APPROVAL FROM TOWN'S DESIGN REVIEW CONSULTANT;
7. SUBMIT DETAILED ELEVATION DRAWINGS FOR RESTAURANTS, COFFEE SHOP, AND BANK THAT MEET DESIGN GUIDELINES;
8. SUBMIT CONDITIONAL USE PERMIT FOR BUILDING HEIGHT, LOT COVERAGE, WALL SIGNS;
9. NO STORAGE OF PALLETS, BOXES, AND OTHER MATERIAL BEHIND STORES TO BE VISIBLE FROM RT. 28;
10. SUBMIT CONSTRUCTION VEHICLE ACCESS PLAN;

PRIOR TO OCCUPANCY:

11. PAY ROAD IMPACT FEE - \$549,343 (SUPERMARKET-\$285,600, RETAIL STORES-\$156,770, RESTAURANT 1-\$22,200, RESTAURANT 2-\$35,20, BANK-\$16,605, COFFEE SHOP-\$32,648);
12. CONSTRUCT ALL SITE IMPROVEMENTS (BUILDING LOCATION, DIMENSIONS, AND SETBACKS, SITE GRADING, UTILITIES, ROAD WORK, DRAINAGE, LANDSCAPING, LIGHTING, PARKING SPACES, SIGNAGE, WETLAND/FLOODPLAIN MITIGATION AREAS) IN ACCORDANCE WITH APPROVED PLAN;
13. PROVIDE CERTIFIED AS-BUILT SITE PLAN;
14. CONSTRUCT ALL ROAD IMPROVEMENTS (INCLUDING CONNECTION TO MALL ROAD);
15. SUBMIT BOND OR PERFORMANCE GUARANTY FOR COMPLETION OF FLOODPLAIN IMPROVEMENTS;
16. CONSTRUCT TRAFFIC SIGNAL AT MARKET STREET/CENTRAL STREET;
17. ANY PROPOSED USE THAT INCREASES TRAFFIC GENERATION BEYOND ESTIMATES IN TRAFFIC STUDY REQUIRES FURTHER APPROVAL FROM THE PLANNING BOARD;
18. SUBMIT TRAFFIC MONITORING STUDY AFTER OCCUPANCY FOR PLEASANT STREET/VILLAGE WAY AND CENTRAL STREET/VILLAGE WAY INTERSECTIONS;
19. ALL REPRESENTATIONS MADE BY APPLICANT OR AGENTS AND ALL NOTES ON PLANS ARE INCORPORATED AS PART OF APPROVAL.

TUSCAN VILLAGE NORTH VILLAGE RETAIL DEVELOPMENT SALEM PROPERTY MAP 98 LOT 12502 56 SOUTH BROADWAY SALEM, NEW HAMPSHIRE



Prepared for:

DEMOULAS SUPER MARKETS, INC.
875 EAST STREET
TEWKSBURY, MA 01876

PERMITS & APPROVALS

TYPE	PERMIT NUMBER	APPROVED
NHDES ALTERATION OF TERRAIN	AOT-1315	9-25-2017
NHDES SEWER CONNECTION	D2017-1109	12-7-2017
NHDES WETLANDS PERMIT	2016-03374	8-28-2017
NHDOT	INTERIM CONDITION CONCURRENCE	10-6-2017

SALEM ZONING BOARD OF ADJUSTMENT

- 1) ON SEPTEMBER 5, 2017 THE ZONING BOARD OF ADJUSTMENT VOTED TO GRANT A VARIANCE FROM ARTICLE VII, SECTION 490-705D, AND ASKS THAT SAID TERMS OF THE ZONING ORDINANCE BE WAIVED TO PERMIT DEVELOPMENT INCLUDING THE CONSTRUCTION OF A 161,000 SQ. FT. MULTI-TENANT RETAIL PLAZA ON LAND DESIGNATED AS A FLOOD HAZARD AREA, WHERE SAID DEVELOPMENT DOES NOT COMPLY WITH THE REQUIREMENTS FOR FLOODPLAIN DEVELOPMENT CONTAINED IN SUBSECTION D, SUBJECT TO THE FOLLOWING CONDITIONS:
1. NO CONSTRUCTION TO BEGIN BEFORE CONDITIONAL LETTER OF MAP REVISION IS APPROVED FROM FEMA;
2. SUBMIT BOND OR PERFORMANCE GUARANTY FOR COMPLETION OF FLOODPLAIN IMPROVEMENTS PRIOR TO OCCUPANCY;
3. SUBMIT FLOOD STUDY.

9	REV. SHEETS 6-8, 10-14, 16-18, 20-22	DRJ	2/20/18
8	REV. SHEETS 6-8, 10-13, 16-20, 20A, 21-22, ADD SHEET 9A, T1	DRJ	1/4/18
7	ADD SEWER CONNECTION PERMIT	DRJ	12/12/17
6	REVISE SHEETS 16-20, ADD SHEET 20A	DRJ	12/1/17
5	ADD PERMITS, CONDITIONS OF APPROVAL	DRJ	11/21/17
4	REVISE SHEETS 11, 12, 13, 27, 28	DRJ	11/7/17
3	REVISE SHEETS 7-13, 16-22, 25, 28, 29	DRJ	9/25/17
2	REVISE SHEETS 11, 12, 28	DRJ	9/15/17
1	REVISIONS PER REVIEW COMMENTS	DRJ	8/22/17
NO.	DESCRIPTION	BY	DATE
	REVISIONS		

TITLE SHEET

TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT
SALEM PROPERTY MAP 98 - LOT 12502
56 SOUTH BROADWAY, SALEM, NH 03079

PREPARED FOR:
DEMOULAS SUPER MARKETS, INC.
875 EAST STREET, TEWKSBURY, MA 01876

 MHF Design Consultants, Inc.	44 Stiles Road, Suite One Salem, New Hampshire 03079 (603) 893-0720 ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com	SCALE: NONE		
	OWNER OF RECORD DEMOULAS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67			
APPROVAL Approved 9/26/17 Signed 9/26/17	SALEM PLANNING BOARD			
2/26/18	ZONE: COMMERCIAL - INDUSTRIAL 'C'			
DESIGNED BY: DRJ	DRAWN/CHECKED: CCC/DRJ	DWG. NAME: 3787RETAIL-CVR	PROJECT No.: 378715	SHEET No.: 1 OF 29

PLAN REFERENCES:

- 1) RIGHT OF WAY & TRACK MAP, MANCHESTER & LAWRENCE R.R. OPERATED BY THE BOSTON & MAINE R.R. STATION 1671+80 TO STATION 1724+60 SCALE: 1"=100'; DATED: JUNE 30, 1914 (V.10/3).
- 2) RIGHT OF WAY & TRACK MAP, MANCHESTER & LAWRENCE R.R. OPERATED BY THE BOSTON & MAINE R.R. STATION 1724+60 TO STATION 1777+40 SCALE: 1"=100'; DATED: JUNE 30, 1914 (V.10/4).
- 3) ROCKINGHAM COUNTY REGISTRY OF DEEDS (R.C.R.D.) PLAN IN BOOK 1456 PAGE 21.
- 4) R.C.R.D. PLAN #608.
- 5) R.C.R.D. PLAN #1086.
- 6) R.C.R.D. PLAN #12055.
- 7) R.C.R.D. PLAN #16856.
- 8) R.C.R.D. PLAN #16425.
- 9) R.C.R.D. PLAN #16221.
- 10) ALTA/ACSM LAND LINE SURVEY, BOUNDARY & EXISTING CONDITIONS PLAN OF ROCKINGHAM RACETRACK IN ROCKINGHAM COUNTY ON MAIN ST, MALL RD, RTE 38, & ROCKINGHAM BLVD, SALEM, NH; CLIENT: ROCKINGHAM VENTURE, INC.; SCALE: 1"=100'; DATE: MAY, 1994 BY KIMBALL CHASE CO.
- 11) R.C.R.D. PLAN #D-38619.
- 12) SUBDIVISION PLAN FOR OMJ REALTY, 11 CENTRAL STREET, SALEM, NEW HAMPSHIRE, PROPERTY MAP 98, LOT 12502, OWNER OF RECORD: OMJ REALTY, PREPARED BY: MCGOWAN CONSULTANTS, INC., DATE: JULY 23, 2015, NOT RECORDED.
- 13) R.C.R.D. PLAN #D-38673.
- 14) R.C.R.D. PLAN #D-39140.
- 15) R.C.R.D. PLAN #D-39172.
- 16) R.C.R.D. PLAN #D-39763.
- 17) R.C.R.D. PLAN #D-40059

CERTIFICATION:

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND BETWEEN OCTOBER 2014 AND SEPTEMBER 2016 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

 DATE
6/26/17

LICENSED LAND SURVEYOR

LEGEND

- BOUND FOUND
- IRON PIPE/PIN FOUND
- DRAIN MANHOLE
- CATCH BASIN
- ROUND CATCH BASIN
- ◎ SEWER MANHOLE
- UTILITY POLE
- ✖ FIRE HYDRANT

NO.	DESCRIPTION	BY	DATE
REVISIONS			

EXISTING CONDITIONS PLAN

TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT
SALEM PROPERTY MAP 98 - LOT 12502
56 SOUTH BROADWAY, SALEM, NH 03079

PREPARED FOR:
DEMOLAS SUPER MARKETS, INC.
875 EAST STREET, TEWKSBURY, MA 01876

44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

SOIL SURVEY PERFORMED	
BY GOVE ENVIRONMENTAL SERVICES, INC.	
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SOIL SURVEY PERFORMED	

TEST PIT LOG: TUSCAN VILLAGE 2016157
 LOGGED BY: LUKE HURLEY & BRENDEN WALDEN
 DATE LOGGED: 5/19/17
 TEST PIT #1
 0-64 INCHES, BOULDERY FILL, MIXED COLOR
 ESHWT: 39 INCHES REFUSAL: NO OBSERVED WATER: 48 INCHES

TEST PIT #2
 0-16 INCHES, MIXED COLOR, SAND&GRAVEL FILL
 16-32 INCHES, 2.5Y 5/4, FINE SAND, SINGLE GRAIN, LOOSE, WITH RED REDOX (10YR 5/8) 15%
 32-60 INCHES, 6/4, FINE SAND, SINGLE GRAIN, LOOSE, WITH RED REDOX (10YR 5/8) 15%
 ESHWT: 16 INCHES REFUSAL: NO OBSERVED WATER: 42 INCHES

TEST PIT #3
 WAS NOT OPENED PRESUMABLY DUE TO PROXIMITY TO EXISTING FIRE HYDRANT
 TEST PIT #4
 0-12 INCHES, MIXED COLOR, SAND&GRAVEL FILL
 12-36 INCHES, 2.5Y 4/4, FINE SAND, SINGLE GRAIN, LOOSE, WITH RED REDOX (10YR 5/8) 15%
 36-44 INCHES, 10YR 2/1, FINE SANDY LOAM, GRAIN, FRIABLE
 44-52 INCHES, 2.5Y 3/3, FINE SAND, GRANULAR, FRIABLE, WITH RED REDOX (10YR 5/8) 15%
 ESHWT: 12 INCHES REFUSAL: NO OBSERVED WATER: 52 INCHES

TEST PIT #5
 0-36 INCHES, MIXED COLOR, SAND&GRAVEL FILL
 36-60 INCHES, 10YR 3/6, SAND, SINGLE GRAIN, FRIABLE, WITH RED REDOX (10YR 5/8) 15%
 ESHWT: 36 INCHES REFUSAL: NO OBSERVED WATER: 48 INCHES
 TEST PIT #6
 0-12 INCHES, MIXED COLOR, SAND&GRAVEL FILL
 12-20 INCHES, 2.5Y 4/3, FINE SANDY LOAM, GRANULAR, FRIABLE
 20-34 INCHES, 2.5Y 4/2, FINE SANDY LOAM, GRANULAR, FRIABLE, WITH RED REDOX (10YR 5/8) 15%
 34-43 INCHES, 10YR 2/1, LOAMY SAND, GRANULAR, FRIABLE
 43-64 INCHES, 10YR 3/3, SAND, SINGLE GRAIN, LOOSE, WITH RED REDOX (10YR 5/8) 15%
 ESHWT: 34 INCHES REFUSAL: NO OBSERVED WATER: 60 INCHES

TEST PIT #7
 0-27 INCHES, 10YR 3/6, SAND& GRAVEL FILL
 27-31 INCHES, 2.5Y 4/2, FINE SANDY LOAM, GRANULAR, FRIABLE, WITH RED REDOX (10YR 5/8) 15%
 31-40 INCHES, 10YR 2/1, LOAMY SAND, GRANULAR, FRIABLE
 40-52 INCHES, 2.5Y 3/2, FINE SANDY LOAM, GRANULAR, FRIABLE, WITH RED REDOX (10YR 5/8) 15%
 ESHWT: 27 INCHES REFUSAL: NO OBSERVED WATER: 48 INCHES

TEST PIT #8
 0-12 INCHES, 10YR 4/4, SAND&GRAVEL FILL

12-30 INCHES, 2.5Y 6/3, FINE SAND, GRANULAR, FRIABLE
 30-50 INCHES, 10YR 2/1, SANDY LOAM, GRANULAR, FRIABLE, WITH RED REDOX (10YR 5/8) 5%
 ESHWT: 30 INCHES REFUSAL: NO OBSERVED WATER: 44 INCHES

TEST PIT #9
 0-14 INCHES, 10YR 3/6, SAND&GRAVEL FILL
 14-33 INCHES, 2.5Y 5/3, GRANULAR, FRIABLE
 33-42 INCHES, 2.5Y 5/2, FINE SANDY LOAM, GRANULAR, FRIABLE, WITH RED REDOX (10YR 5/8) 15%
 42-60 INCHES, 10YR 3/2, FINE SANDY LOAM, GRANULAR, FRIABLE, WITH RED REDOX (10YR 5/8) 15%
 ESHWT: 33 INCHES REFUSAL: NO OBSERVED WATER: 48 INCHES

TEST PIT #10 (11?) STATION: 50241
 0-12 INCHES, 10YR 4/3, SAND, SINGLE GRAIN, FRIABLE
 12-32 INCHES, 2.5Y 5/1, FINE SAND, GRANULAR, FRIABLE, WITH RED REDOX (10YR 5/8) 15%
 32-64 INCHES, 10YR 3/3, FINE SAND, SINGLE GRAIN, LOOSE, WITH RED REDOX (10YR 5/8) 15%
 ESHWT: 12 INCHES REFUSAL: NO OBSERVED WATER: 56 INCHES

TEST PIT #12
 0-8 INCHES, MIXED COLOR, SAND&GRAVEL FILL
 8-14 INCHES, 2.5Y 4/2, FINE SANDY LOAM, GRANULAR, FRIABLE, WITH RED REDOX (10YR 5/8) 15%
 14-28 INCHES, 2.5Y 4/3, FINE SANDY LOAM, GRANULAR, FRIABLE, WITH RED REDOX (10YR 5/8) 15%
 28-42 INCHES, 5Y 5/2, SILT, MASSIVE, FIRM
 42-66 INCHES, WATER
 ESHWT: 8 INCHES REFUSAL: NO OBSERVED WATER: 42 INCHES

TEST PIT #13
 0-12 INCHES, 10YR 3/3, SAND& GRAVEL FILL
 12-32 INCHES, 2.5Y 6/3, FINE SAND, GRANULAR, LOOSE
 32-66 INCHES, 2.5Y 4/3, FINE SANDY LOAM, GRANULAR, FRIABLE, WITH RED REDOX (10YR 5/8) 30%
 ESHWT: 32 INCHES REFUSAL: NO OBSERVED WATER: NONE OBSERVED

TEST PIT #14
 0-29 INCHES, MIXED COLOR, SAND AND GRAVEL FILL
 29-80 INCHES, MIXED COLOR, SAND GRAVEL AND LARGE ROCK FILL, REDOX OBSERVED
 ESHWT: 29 INCHES REFUSAL: NO OBSERVED WATER: 76 INCHES

TEST PIT #15
 0-18 INCHES, MIXED COLOR, SAND AND GRAVEL FILL
 18-25 INCHES, 2.5Y 6/4, FINE SANDY LOAM, GRANULAR, FRIABLE
 25-40 INCHES, 2.5Y 5/4, FINE SAND, SINGLE GRAIN, LOOSE, WITH RED REDOX (10YR 5/8) 5%
 40-52 INCHES, 10YR 2/1, FINE SANDY LOAM, GRANULAR, FRIABLE
 52-66 INCHES, 10YR 3/3, FINE SAND, GRANULAR, FRIABLE, WITH RED REDOX (10YR 5/8) 15%
 ESHWT: 25 INCHES REFUSAL: NO OBSERVED WATER: 63 INCHES

TEST PIT #16
 0-40 INCHES, 2.5Y 7/2, FINE SAND, GRANULAR, FRIABLE
 40-66 INCHES, 2.5Y 5/4, SAND, GRANULAR, FRIABLE, WITH RED REDOX (10YR 5/8) 5%
 ESHWT: 40 INCHES REFUSAL: NO OBSERVED WATER: NONE OBSERVED

TEST PIT #17
 0-24 INCHES, 10YR 3/2, FINE SANDY LOAM, GRANULAR, FRIABLE
 24-36 INCHES, 10YR 2/1, FINE SANDY LOAM, GRANULAR, FRIABLE
 36-44 INCHES, 7.5YR 2.5/3, FINE SANDY LOAM, GRANULAR, FRIABLE, WITH RED REDOX (10YR 5/8) 15%
 44-72 INCHES, 2.5Y 6/3, VER FINE SAND, BLOCKY, FIRM
 ESHWT: 36 INCHES REFUSAL: NO OBSERVED WATER: 66 INCHES

TEST PIT #18
 0-28 INCHES, MIXED COLOR, SAND&GRAVEL FILL
 28-43 INCHES, 10YR 3/3, SAND, SINGLE GRAIN, LOOSE, WITH RED REDOX (10YR 5/8) 10%
 43-60 INCHES, 10YR 2/1, SAND, GRANULAR, FRIABLE
 60-72 INCHES, 2.5Y 4/3, FINE SAND, GRANULAR, FRIABLE, WITH RED REDOX (10YR 5/8) 30%
 ESHWT: 28 INCHES REFUSAL: NO OBSERVED WATER: 48 INCHES

TEST PIT #19
 0-12 INCHES, 10YR 3/2, FINE SANDY LOAM, GRANULAR, FRIABLE
 12-33 INCHES, 10YR 4/4, FINE SANDY LOAM, GRANULAR, FRIABLE
 33-54 INCHES, 2.5Y 5/4, FINE SANDY LOAM, GRANULAR, FRIABLE, WITH RED REDOX (10YR 5/8) 30%
 54-72 INCHES, WATER
 ESHWT: 33 INCHES REFUSAL: NO OBSERVED WATER: 54 INCHES

TEST PIT #20
 0-20 INCHES, 2.5Y 4/4, SAND&GRAVEL FILL
 20-30 INCHES, 2.5Y 5/4, FINE SANDY LOAM, GRANULAR, FRIABLE
 30-66 INCHES, 2.5Y 4/3, FINE SANDY LOAM, MASSIVE, FIRM, WITH RED REDOX (10YR 5/8) 30%
 ESHWT: 30 INCHES REFUSAL: NO OBSERVED WATER: 50 INCHES

TEST PIT #21
 0-18 INCHES, 10YR 3/2, FINE SANDY LOAM, GRANULAR, FRIABLE
 18-30 INCHES, 10YR 4/3, FINE SANDY LOAM, GRANULAR, FRIABLE
 30-60 INCHES, 2.5Y 5/3, FINE SANDY LOAM, BLOCKY, FIRM, WITH RED REDOX (10YR 5/8) 40%
 60-72 INCHES, 10YR 4/4, FINE SAND, GRANULAR, LOOSE, WITH RED REDOX (10YR 5/8) 40%
 ESHWT: 30 INCHES REFUSAL: NO OBSERVED WATER: 62 INCHES

1	REVISIONS PER REVIEW COMMENTS	DRJ	8/22/17
NO.	DESCRIPTION	BY	DATE

TEST PIT LOGS

TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT
 SALEM PROPERTY MAP 98 – LOT 12502
 56 SOUTH BROADWAY, SALEM, NH 03079

PREPARED FOR:

DEMOULAS SUPER MARKETS, INC.
 875 EAST STREET, TEWKSBURY, MA 01876



SCALE: N.T.S.	OWNER OF RECORD DEMOULAS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67	SALEM PLANNING BOARD APPROVAL		
ZONE: COMMERCIAL – INDUSTRIAL 'C'				
DESIGNED BY: DRJ	DRAWN/CHECKED: CCC/DRJ	DWG. NAME: 378715	PROJECT No.: 378715	SHEET No.: 4 OF 29

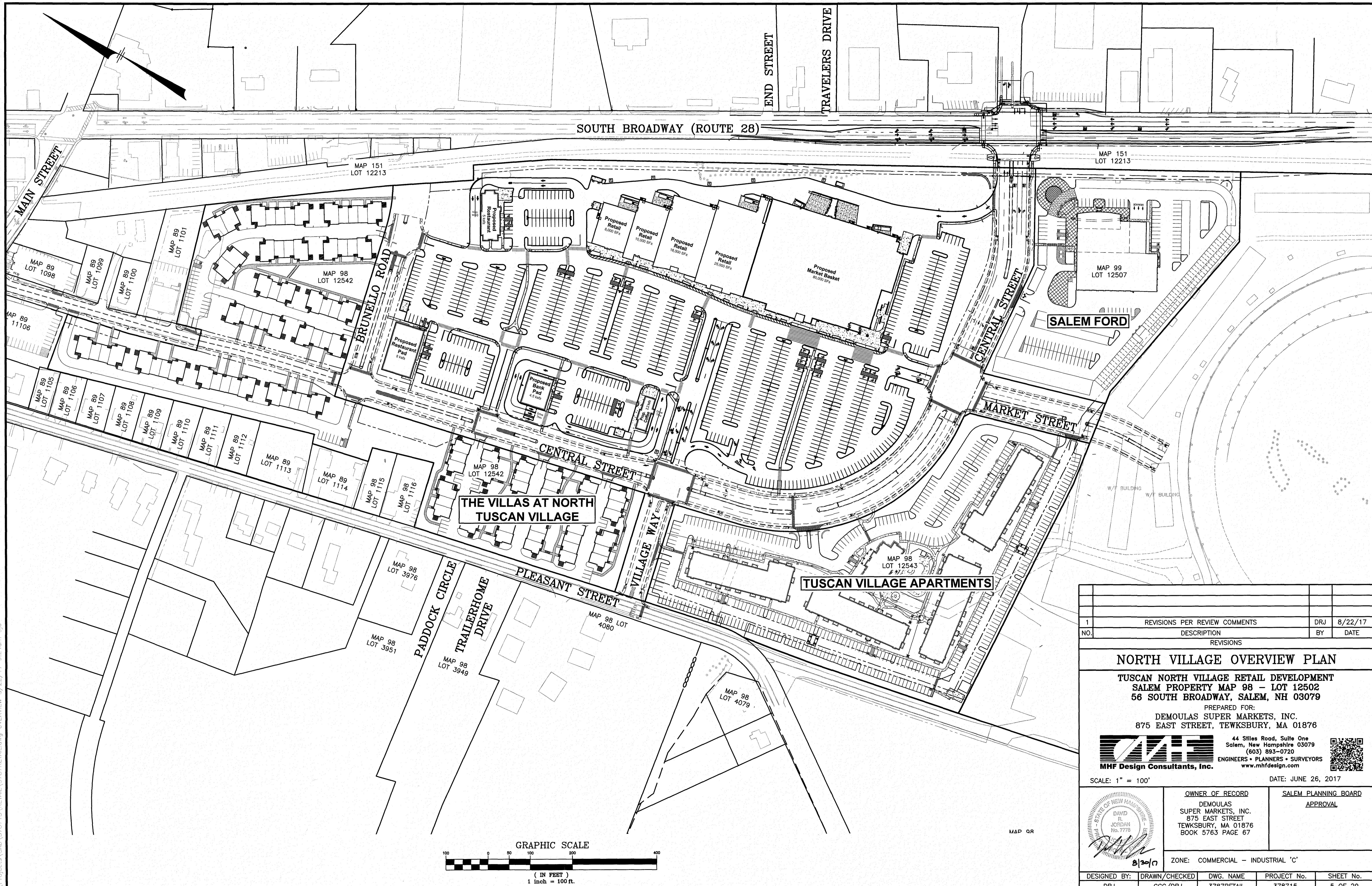


TABLE OF ZONING REGULATIONS – SALEM, NH

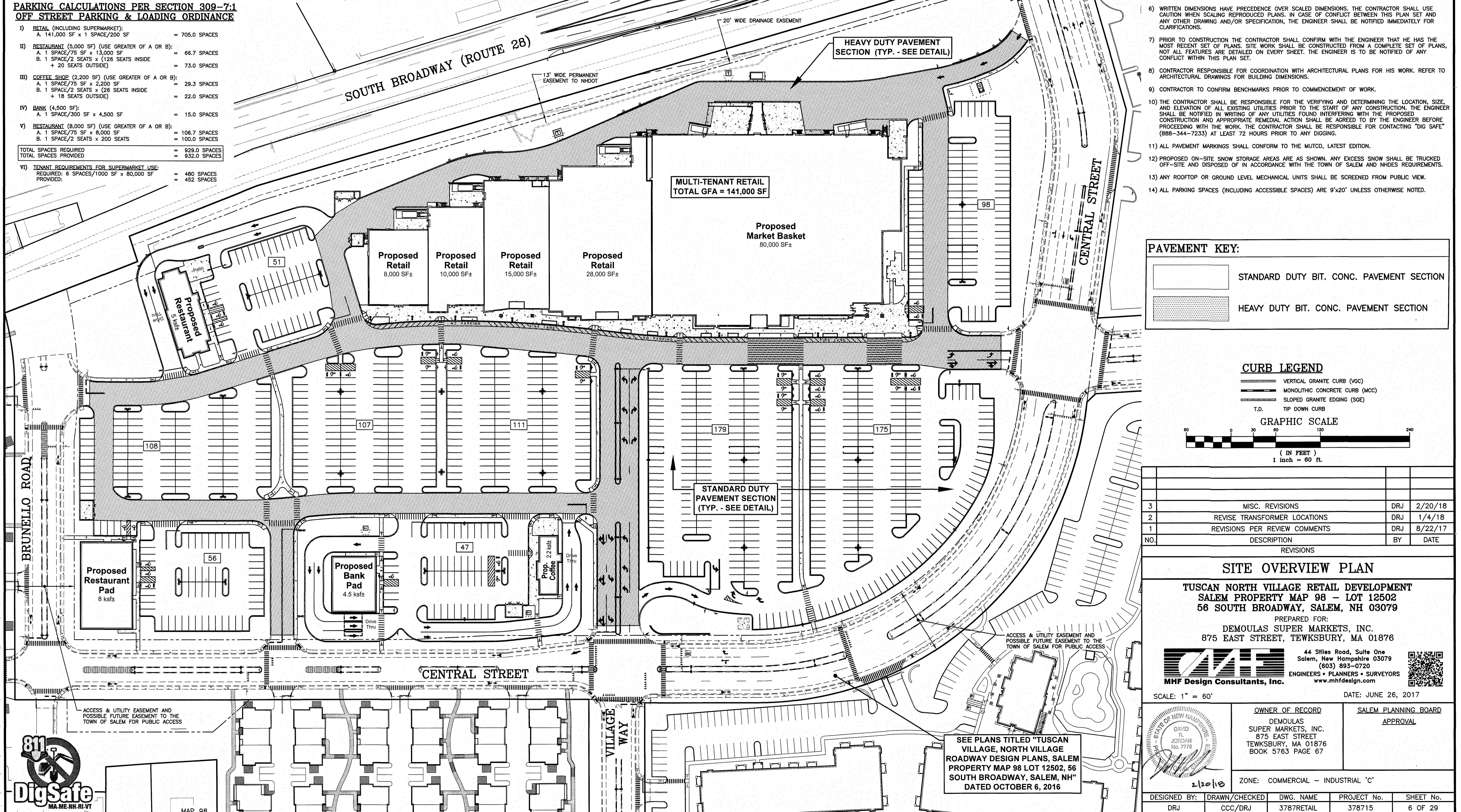
ZONE: COMMERCIAL-INDUSTRIAL 'C'

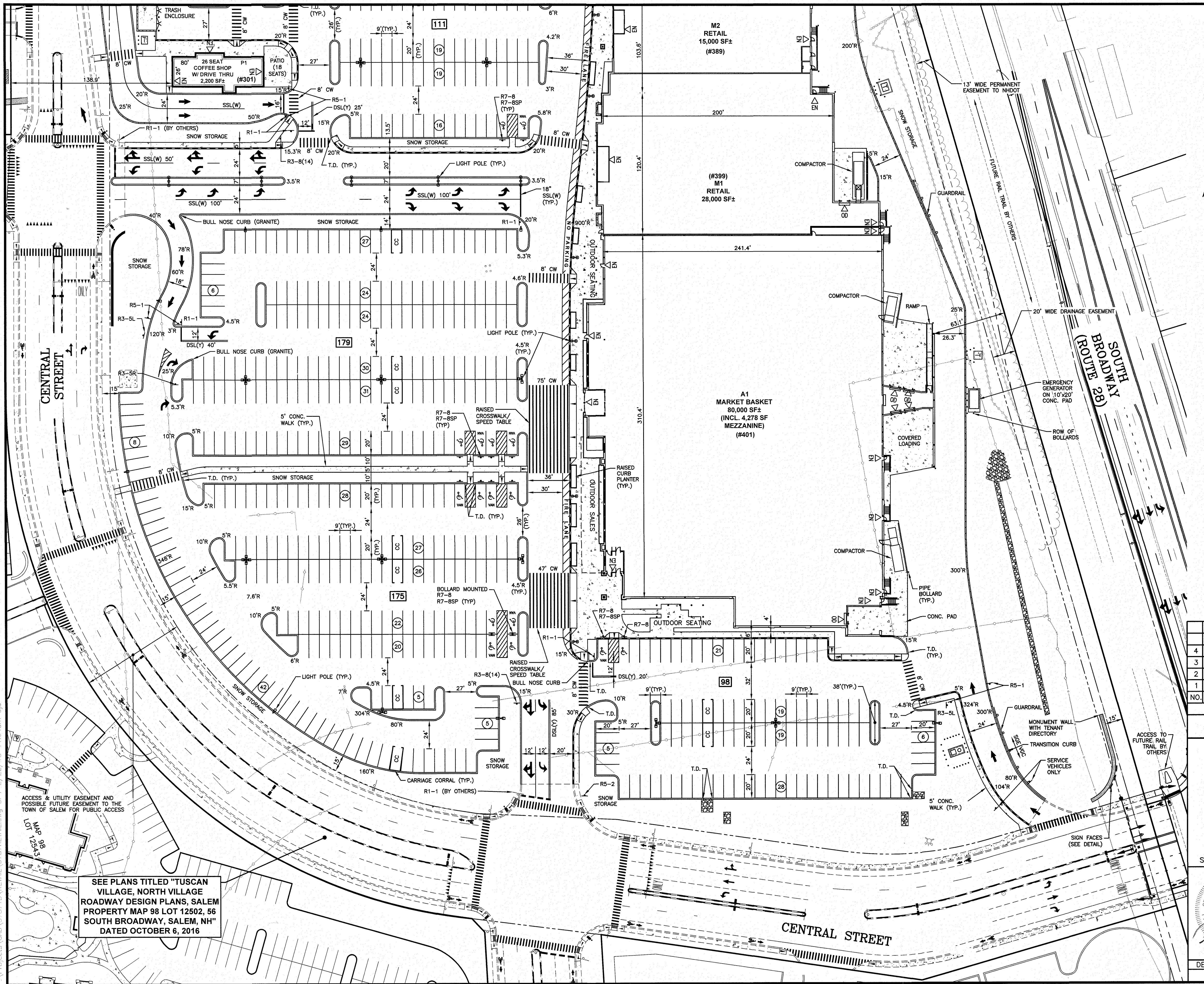
DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA Sq. Ft.	NONE	1,160,908 Sq. Ft.
MINIMUM LOT FRONTRAGE	NONE	NONE
MINIMUM FRONT YARD BUILDING SETBACK	30'	N/A
MINIMUM SIDE YARD BUILDING SETBACK	20'	> 20' (SEE PLAN)
MINIMUM REAR YARD BUILDING SETBACK	20'	> 20' (SEE PLAN)
MAXIMUM BUILDING HEIGHT	35', 3 STORIES	39'-6", 2 STORIES *
MAXIMUM LOT COVERAGE	70%	78% *
MINIMUM NUMBER PARKING SPACES	923 SPACES (SEE TABLE)	932 SPACES (INCL. 33 ACCESSIBLE)
MINIMUM FRONT YARD PARKING SETBACK	20'	N/A
MINIMUM SIDE & REAR PARKING SETBACK	10'	> 10' (SEE PLAN)
PARKING SPACE DIMENSIONS	9'x20'	9'x20'

* CONDITIONAL USE PERMIT REQUIRED

PARKING CALCULATIONS PER SECTION 309-7:1
OFF STREET PARKING & LOADING ORDINANCE

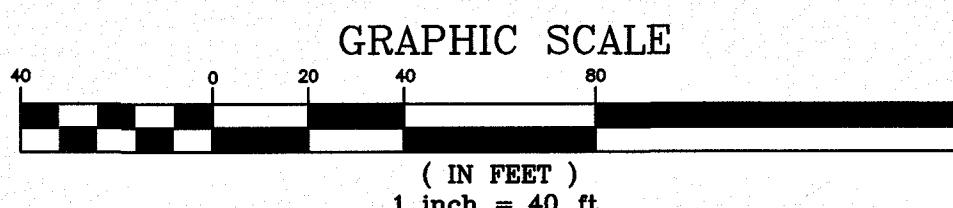
I) RETAIL (INCLUDING SUPERMARKET): A. 141,000 SF x 1 SPACE/200 SF	= 705.0 SPACES
II) RESTAURANT (5,000 SF) (USE GREATER OF A OR B): A. 1 SPACE/75 SF x 13,000 SF	= 66.7 SPACES
B. 1 SPACE/2 SEATS x (126 SEATS INSIDE + 22 SEATS OUTSIDE)	= 73.0 SPACES
III) COFFEE SHOP (2,200 SF) (USE GREATER OF A OR B): A. 1 SPACE/75 SF x 2,200 SF	= 29.3 SPACES
B. 1 SPACE/2 SEATS x (26 SEATS INSIDE + 18 SEATS OUTSIDE)	= 22.0 SPACES
IV) BANK (4,500 SF): A. 1 SPACE/300 SF x 4,500 SF	= 15.0 SPACES
V) RESTAURANT (8,000 SF) (USE GREATER OF A OR B): A. 1 SPACE/75 SF x 8,000 SF	= 106.7 SPACES
B. 1 SPACE/2 SEATS x 200 SEATS	= 100.0 SPACES
TOTAL SPACES REQUIRED	= 929.0 SPACES
TOTAL SPACES PROVIDED	= 932.0 SPACES
VI) TENANT REQUIREMENTS FOR SUPERMARKET USE: REQUIRED: 6 SPACES/1000 SF x 80,000 SF	= 480 SPACES
PROVIDED: 452 SPACES	





SIGN KEY		
SIGN I.D. NUMBER	TEXT/COLOR	SIZE/REMARKS
R1-1	STOP R/W	30" x 30" NEW SIGN WITH POST
R1-2	YIELD R/W	36" x 36" NEW SIGN WITH POST
R3-5L	ONLY B/W	36" x 30" NEW SIGN WITH POST
R3-5R	ONLY B/W	36" x 30" NEW SIGN WITH POST
R3-8(14)	ONLY B/W	30" x 30" NEW SIGN WITH POST
R5-1	DO NOT ENTER R/W	30" x 30" NEW SIGN WITH POST
R5-2	NO B/W/R	30" x 30" NEW SIGN WITH POST
R7-1	NO PARKING R/W	12" x 18" NEW SIGN WITH POST
R7-8	RESTRICTED PARKING G/B/W	12" x 18" NEW SIGN WITH POST
R7-8A	ACCESSIBLE G/W	6" X 12"

CURB LEGEND	
VERTICAL GRANITE CURB (VGC)	
MONOLITHIC CONCRETE CURB (MCC)	
SLOPED GRANITE EDGING (SGE)	
T.D.	TIP DOWN CURB



NO.	DESCRIPTION	BY	DATE
REVISIONS			
4	MISC. REVISIONS	DRJ	2/20/18
3	REVISE TRANSFORMER LOCATIONS, ADD R5-2 SIGN	DRJ	1/4/18
2	MISC. REVISIONS	DRJ	9/25/17
1	REVISIONS PER REVIEW COMMENTS	DRJ	8/22/17

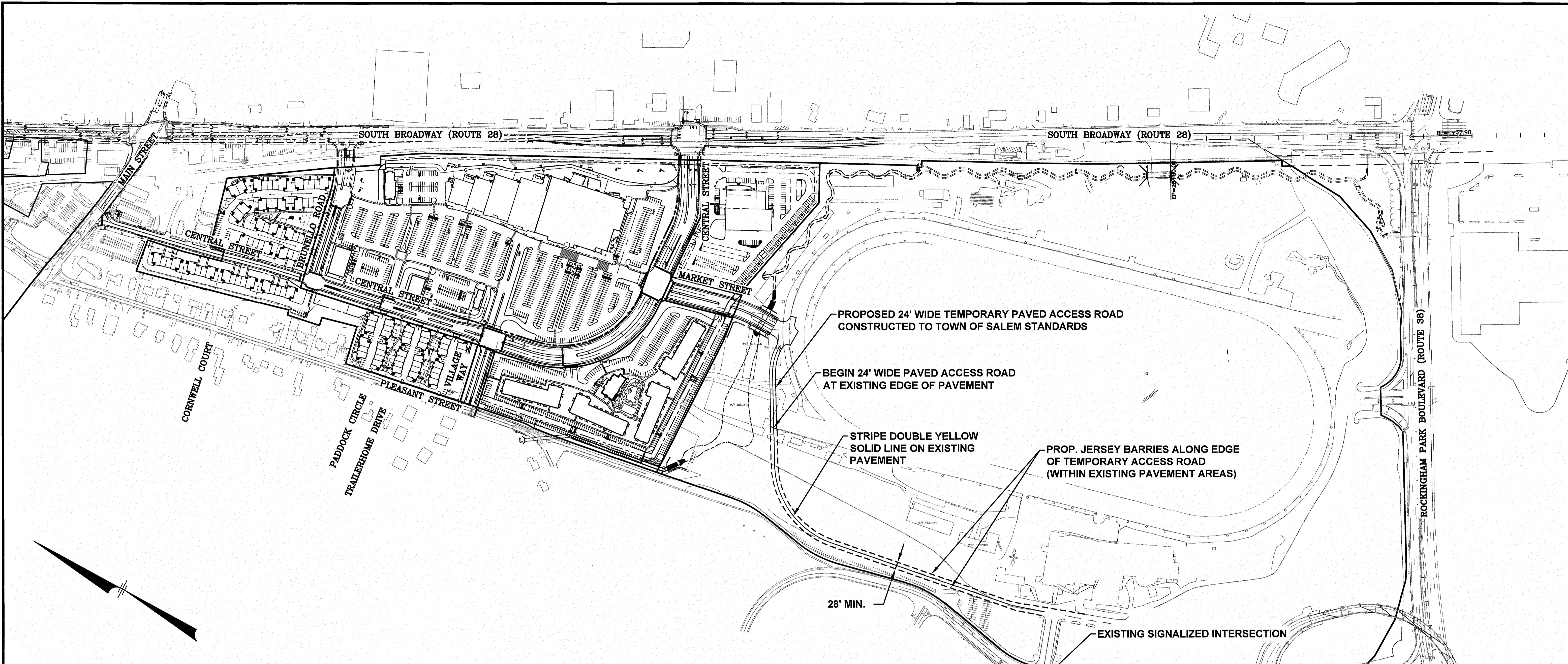
SITE PLAN

TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT
SALEM PROPERTY MAP 98 - LOT 12502
56 SOUTH BROADWAY, SALEM, NH 03079

PREPARED FOR:
DEMOLAS SUPER MARKETS, INC.
875 EAST STREET, TEWKSBURY, MA 01876

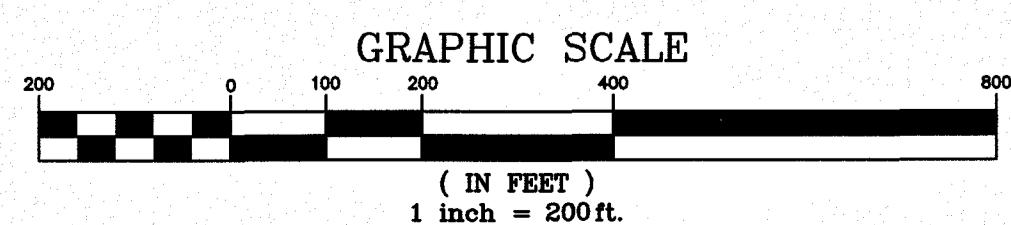
44 Stiles Road, Suite One
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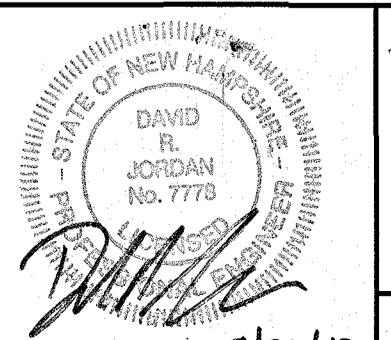
MHF Design Consultants, Inc.	OWNER OF RECORD	SALEM PLANNING BOARD
	DEMOLAS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67	APPROVAL
SCALE: 1" = 40'	DATE: JUNE 26, 2017	
SEE PLANS TITLED "TUSCAN VILLAGE, NORTH VILLAGE ROADWAY DESIGN PLANS, SALEM PROPERTY MAP 98 LOT 12502, 56 SOUTH BROADWAY, SALEM, NH" DATED OCTOBER 6, 2016	DESIGNED BY: DRJ DRAWN/CHECKED: CCC/DRJ DWG. NAME: 3787RETAIL PROJECT No. SHEET No. 7 OF 29	

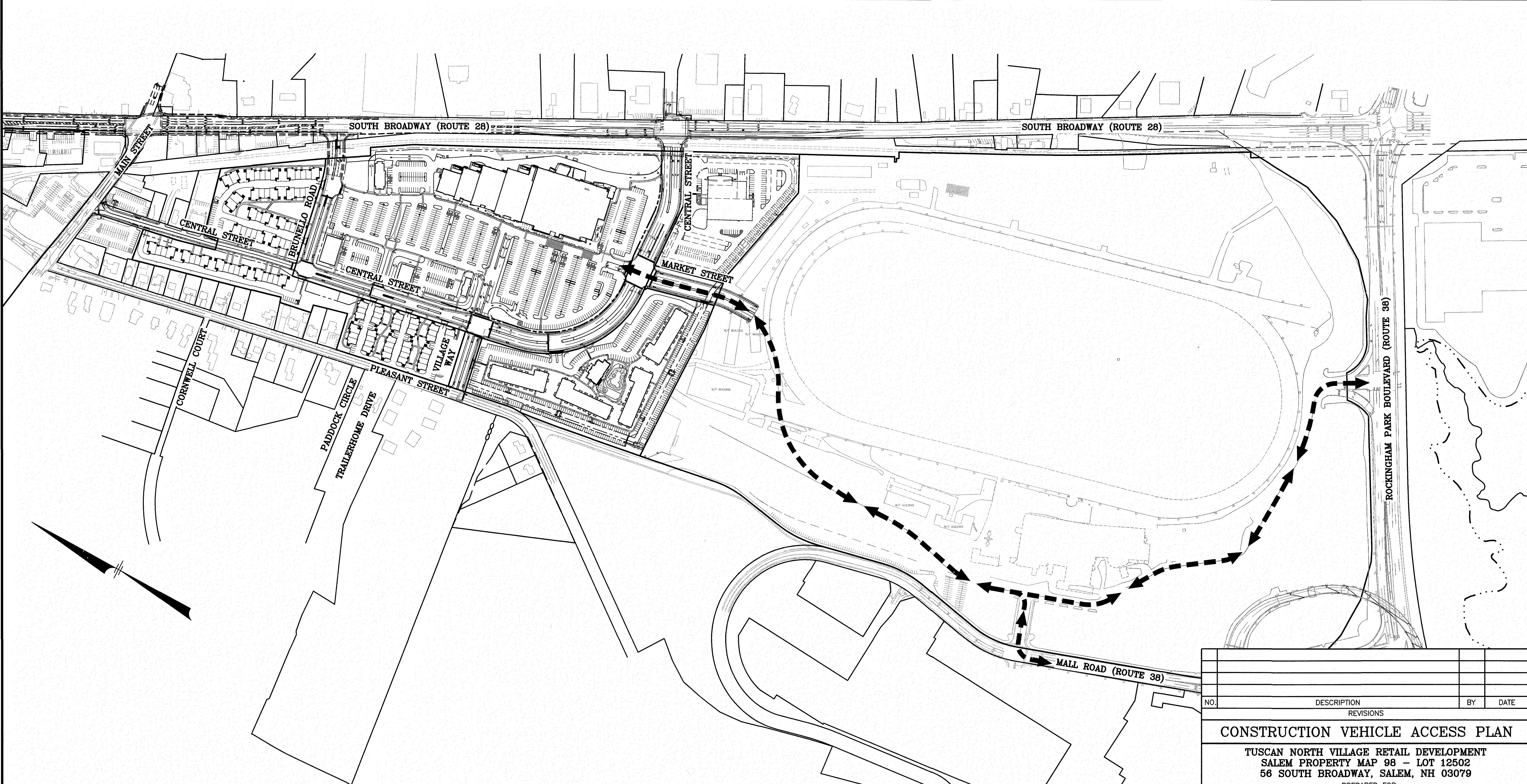


NOTES:

- 1) THE FINAL LOCATION, ALIGNMENT, AND TYPICAL SECTION OF THE TEMPORARY ACCESS ROAD SHALL BE COORDINATED AND APPROVED BY THE TOWN OF SALEM PRIOR TO IMPLEMENTATION.
- 2) THE TEMPORARY ACCESS ROAD SHALL INCLUDE PROVISIONS FOR EMERGENCY ACCESS MEETING THE REQUIREMENTS OF THE TOWN OF SALEM.
- 3) THE TEMPORARY ACCESS ROAD SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF THE FIRST OCCUPANCY PERMIT FOR MAP 98 LOT 12502 (RETAIL PARCEL).



2	ADD NOTES 1-3	DRJ	9/25/17
1	REVISIONS PER REVIEW COMMENTS	DRJ	8/22/17
NO.	DESCRIPTION	BY	DATE
REVISIONS			
TEMPORARY ACCESS PLAN			
TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT SALEM PROPERTY MAP 98 – LOT 12502 56 SOUTH BROADWAY, SALEM, NH 03079			
PREPARED FOR: DEMOULAS SUPER MARKETS, INC. 875 EAST STREET, TEWKSBURY, MA 01876			
 MHF Design Consultants, Inc. 44 Stiles Road, Suite One Salem, New Hampshire 03079 (603) 893-0720 ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com		44 Stiles Road, Suite One Salem, New Hampshire 03079 (603) 893-0720 ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com	
SCALE: 1" = 200'		DATE: JUNE 26, 2017	
 STATE OF NEW HAMPSHIRE DAVID R. JORDAN No. 7778 S. C. COOPER SEAL 1995		OWNER OF RECORD DEMOULAS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67	SALEM PLANNING BOARD APPROVAL
		ZONE: COMMERCIAL – INDUSTRIAL 'C'	
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
DRJ	CCC/DRJ	3787PH2ROAD	378715
SHEET No.			
9 OF 29			

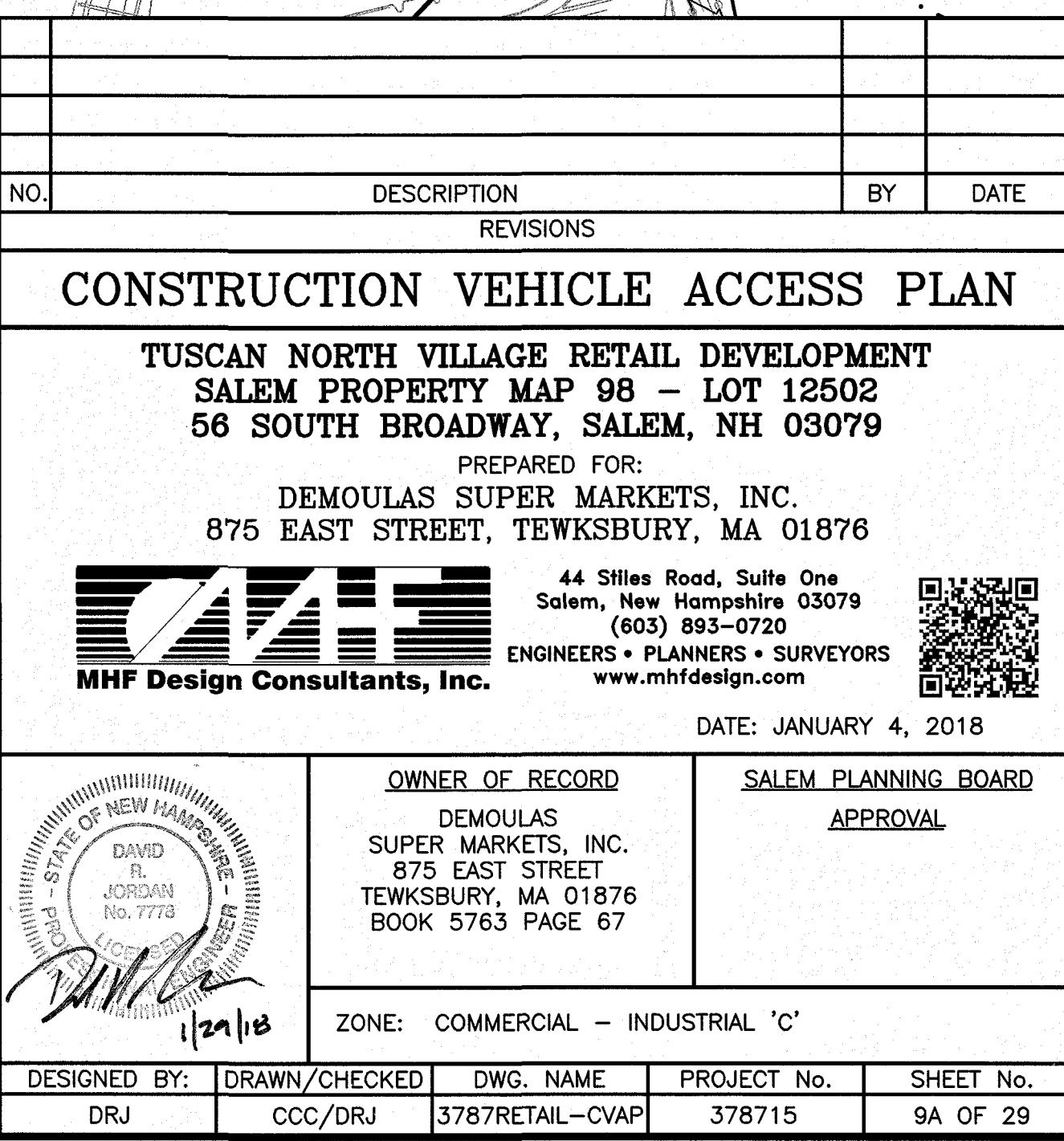


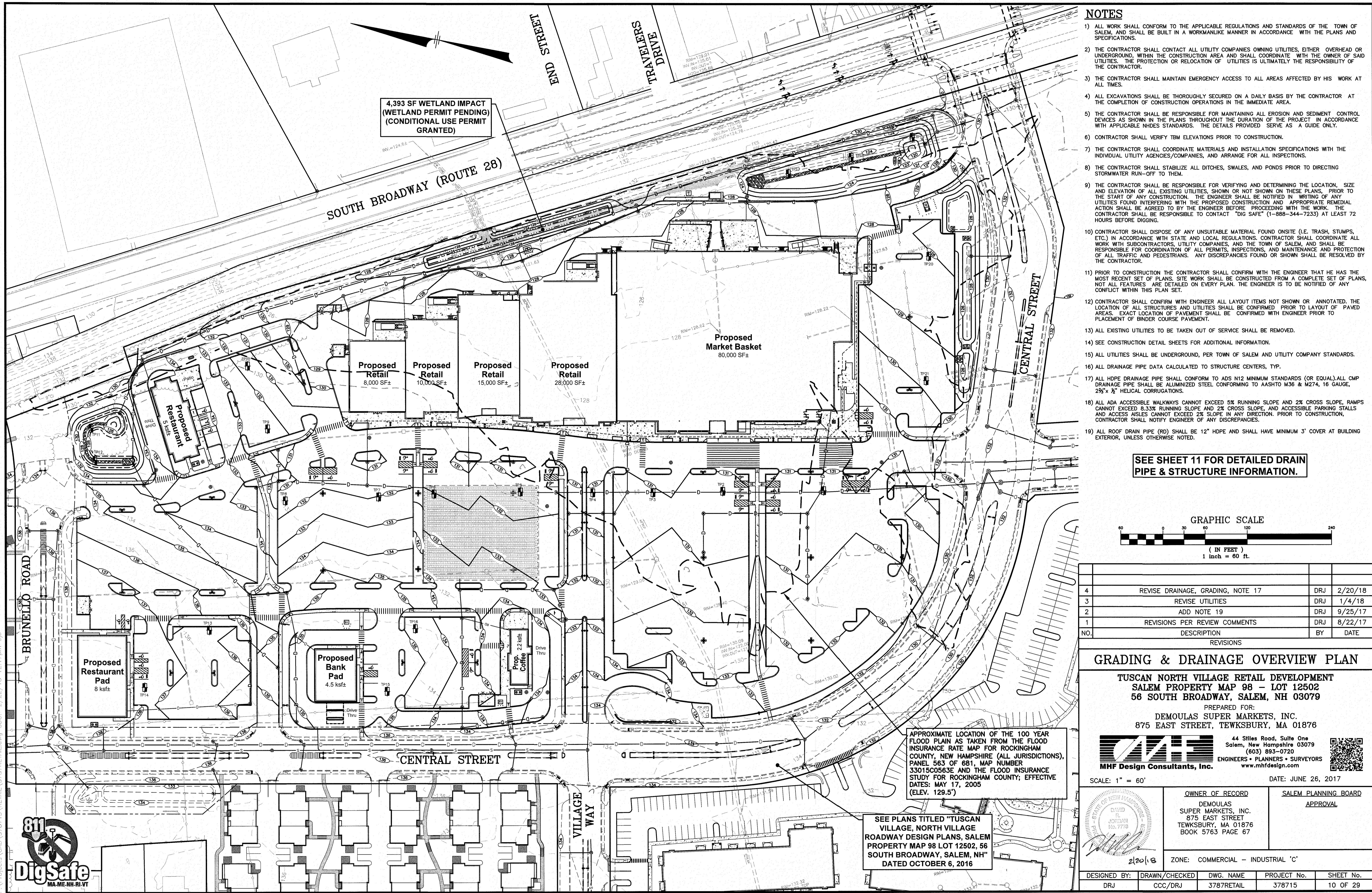
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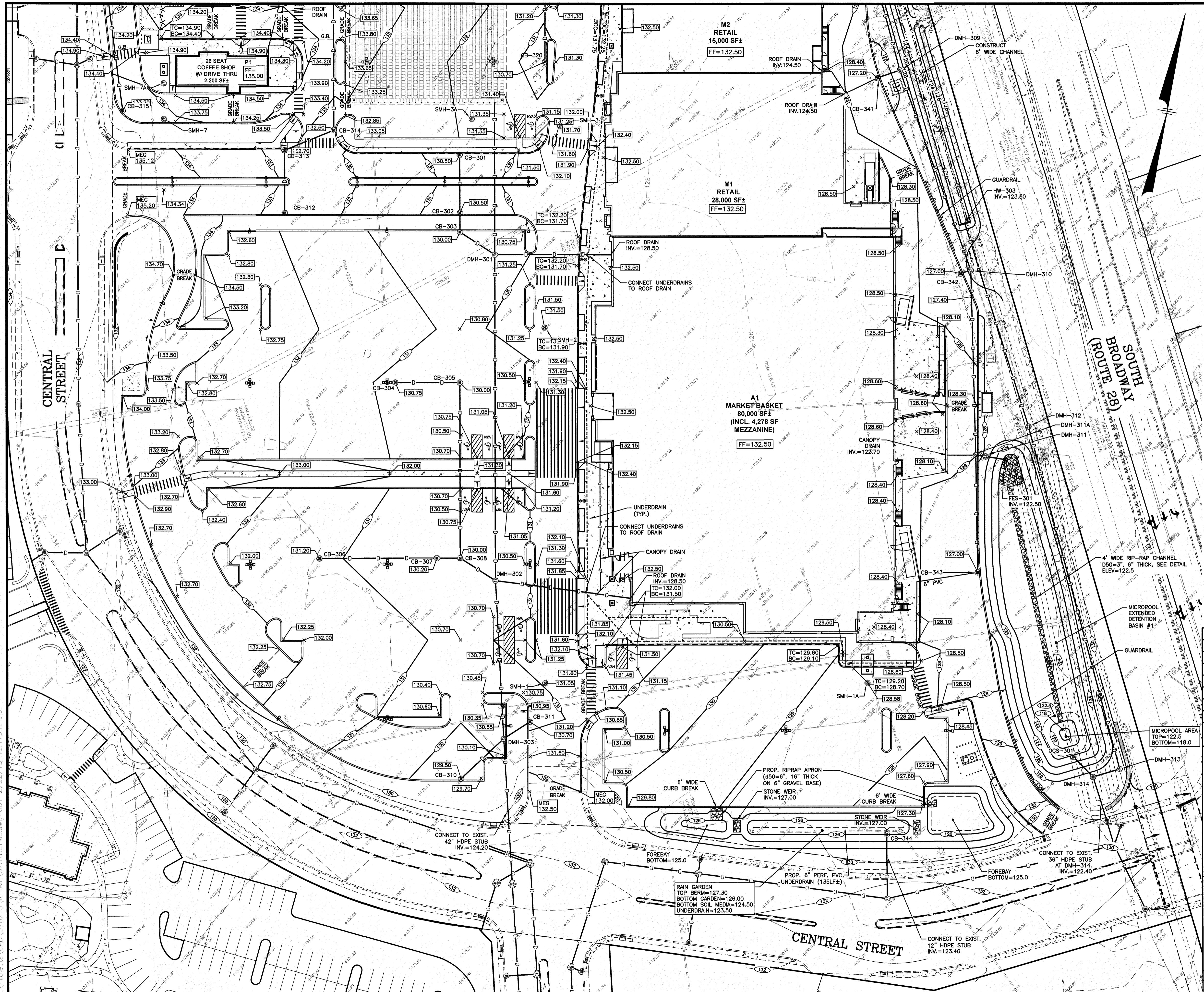
- 1) FINAL DETERMINATION OF CONSTRUCTION ACCESS SHALL BE DETERMINED BY SALEM MUNICIPAL SERVICES DEPARTMENT.
- 2) ROUTES SHOWN ARE SUBJECT TO CHANGE BASED ON SPECIFIC CONSTRUCTION ACTIVITIES. ANY CHANGES SHALL BE APPROVED BY SALEM MUNICIPAL SERVICES DEPARTMENT.
- 3) NO CONSTRUCTION ACCESS SHALL BE ALLOWED FROM SOUTH BROADWAY, MAIN STREET OR PLEASANT STREET.

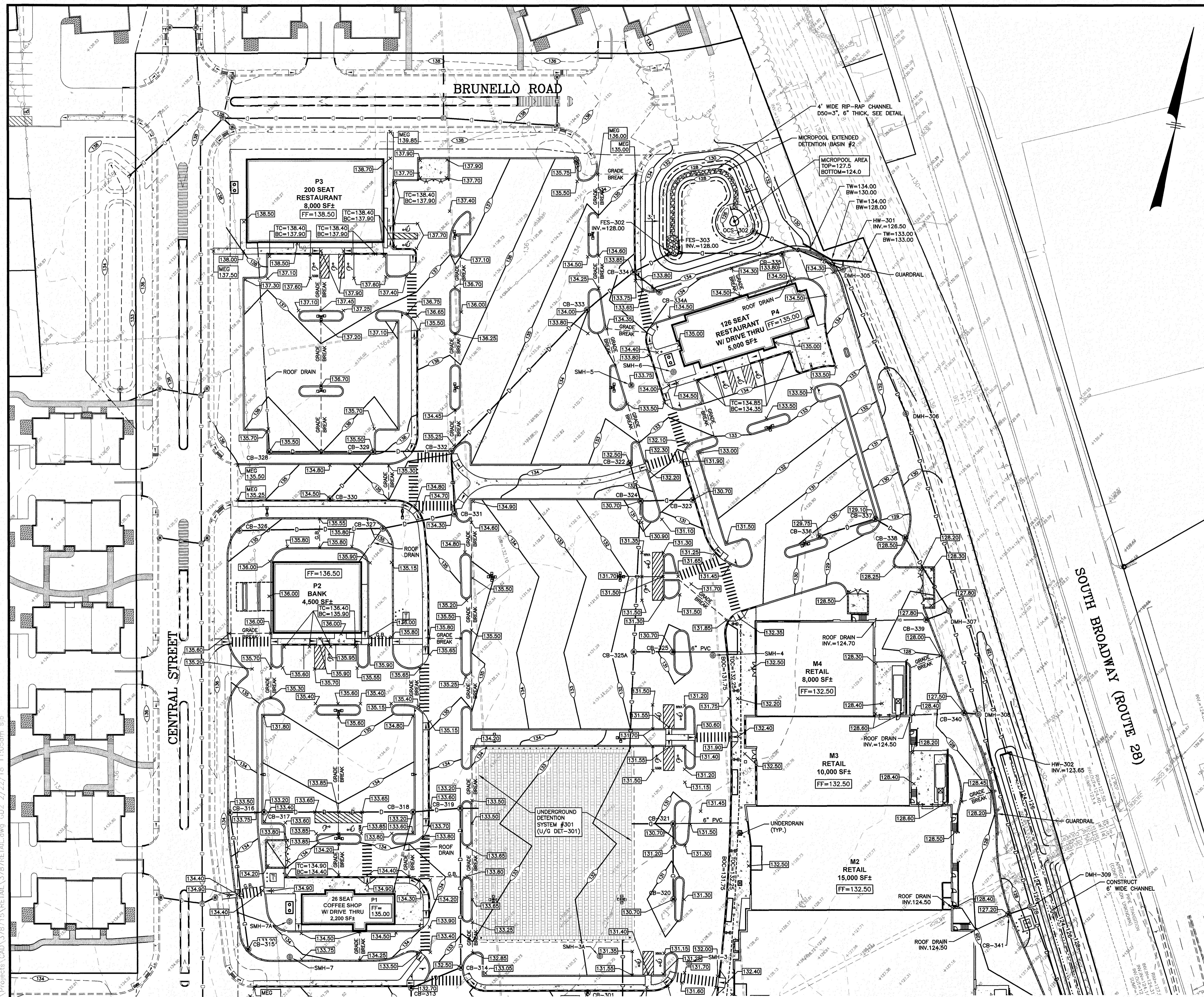
GRAPHIC SCALE

(IN FEET)





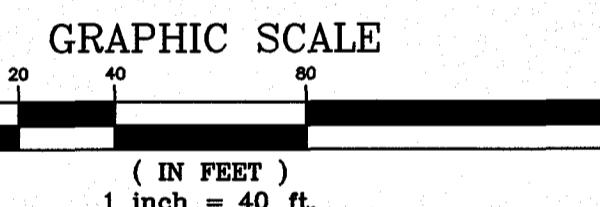




NOTES

- 1) ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF SALEM, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
- 2) THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE WITH THE OWNER OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
- 3) THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
- 4) ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
- 5) THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN IN THE PLANS THROUGHOUT THE DURATION OF THE PROJECT IN ACCORDANCE WITH APPLICABLE NHDES STANDARDS. THE DETAILS PROVIDED SERVE AS A GUIDE ONLY.
- 6) CONTRACTOR SHALL VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
- 7) THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
- 8) THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES, AND PONDS PRIOR TO DIRECTING STORMWATER RUN-OFF TO THE THEM.
- 9) THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIG SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE DIGGING.
- 10) CONTRACTOR SHALL DISPOSE OF ANY UNSUITABLE MATERIAL FOUND ON SITE (I.E. TRASH, STUMPS, ETC.) IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. CONTRACTOR SHALL COORDINATE ALL WORK WITH SUBCONTRACTORS, UTILITY COMPANIES, AND THE TOWN OF SALEM, AND SHALL BE RESPONSIBLE FOR COORDINATION OF ALL PERMITS, INSPECTIONS, AND MAINTENANCE AND PROTECTION OF ALL TRAFFIC AND PEDESTRIANS. ANY DISCREPANCIES FOUND OR SHOWN SHALL BE RESOLVED BY THE CONTRACTOR.
- 11) PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONFIRM WITH THE ENGINEER THAT HE HAS THE MOST RECENT SET OF PLANS. SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- 12) CONTRACTOR SHALL CONFIRM WITH ENGINEER ALL LAYOUT ITEMS NOT SHOWN OR ANNOTATED. THE LOCATION OF ALL STRUCTURES AND UTILITIES SHALL BE CONFIRMED PRIOR TO LAYOUT OF PAVED AREAS. EXACT LOCATION OF PAVEMENT SHALL BE CONFIRMED WITH ENGINEER PRIOR TO PLACEMENT OF BINDER COURSE PAVEMENT.
- 13) ALL EXISTING UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE REMOVED.
- 14) SEE CONSTRUCTION DETAIL SHEETS FOR ADDITIONAL INFORMATION.
- 15) ALL UTILITIES SHALL BE UNDERGROUND, PER TOWN OF SALEM AND UTILITY COMPANY STANDARDS.
- 16) ALL DRAINAGE PIPE DATA CALCULATED TO STRUCTURE CENTERS, TYP.
- 17) ALL HDPE DRAINAGE PIPE SHALL CONFORM TO ADS N12 MINIMUM STANDARDS (OR EQUAL). ALL CMP DRAINAGE PIPE SHALL BE ALUMINIZED STEEL CONFORMING TO AASHTO M36 & M74, 16 GAUGE, $2\frac{3}{8}'' \times \frac{1}{2}''$ HELICAL CORROSIONS.
- 18) ALL ADA ACCESSIBLE WALKWAYS CANNOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE, RAMPS CANNOT EXCEED 8.33% RUNNING SLOPE AND 2% CROSS SLOPE, AND ACCESSIBLE PARKING STALLS AND ACCESS AISLES CANNOT EXCEED 2% SLOPE IN ANY DIRECTION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 19) ALL ROOF DRAIN PIPE (RD) SHALL BE 12" HDPE AND SHALL HAVE MINIMUM 3' COVER AT BUILDING EXTERIOR, UNLESS OTHERWISE NOTED.

SEE SHEET 11 FOR DETAILED DRAIN PIPE & STRUCTURE INFORMATION.



NO.	DESCRIPTION	BY	DATE
5	REVISE DRAINAGE, GRADING, NOTE 17	DRJ	2/20/18
4	REVISE UTILITIES	DRJ	1/4/18
3	REVISIONS PER ACT COMMENTS	DRJ	11/7/17
2	ADD GUARDRAIL, NOTE 19	DRJ	9/25/17
1	REVISIONS PER REVIEW COMMENTS	DRJ	8/22/17
	DESCRIPTION	BY	REVISIONS

GRADING & DRAINAGE PLAN

TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT
SALEM PROPERTY MAP 98 – LOT 12502
56 SOUTH BROADWAY, SALEM, NH 03079

PREPARED FOR:
DEMOLAS SUPER MARKETS, INC.

875 EAST STREET, TEWKSBURY, MA 01876

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DATE: JUNE 26, 2017

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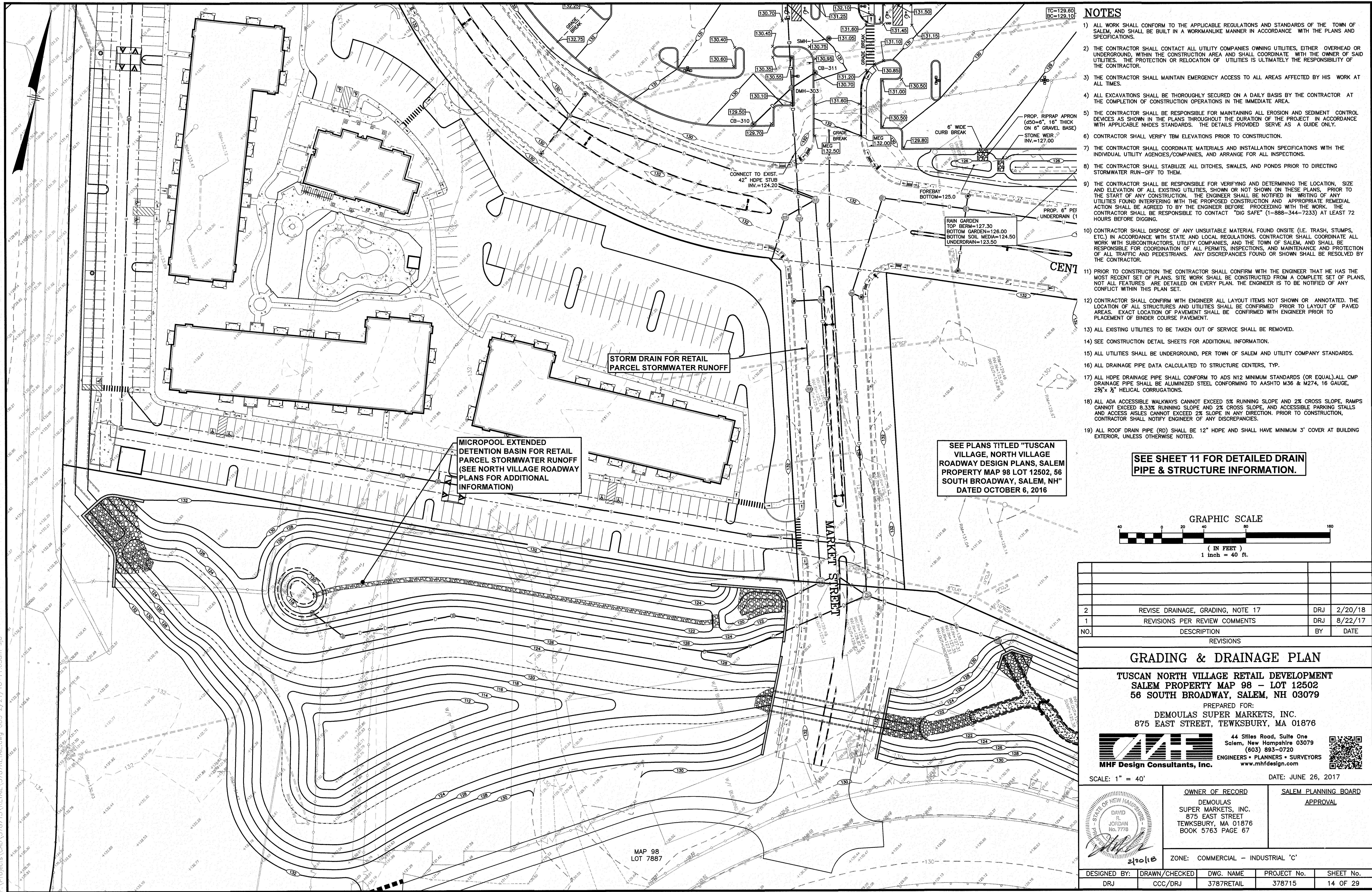
DATE: JUNE 26, 2017

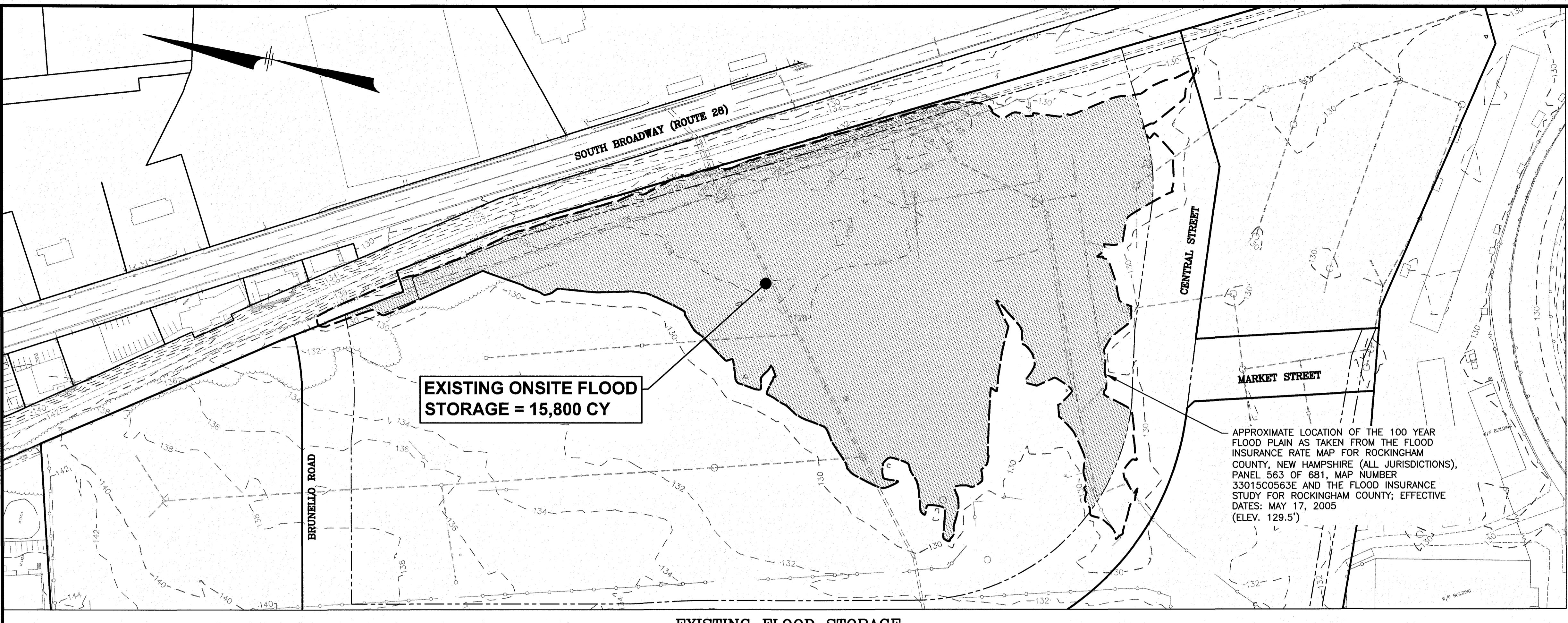
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875 EAST STREET
TEWKSBURY, MA 01876
BOOK 5763 PAGE 67

APPROVAL

DESIGNED BY: DRAWN/CHECKED DWG. NAME PROJECT No. SHEET No.

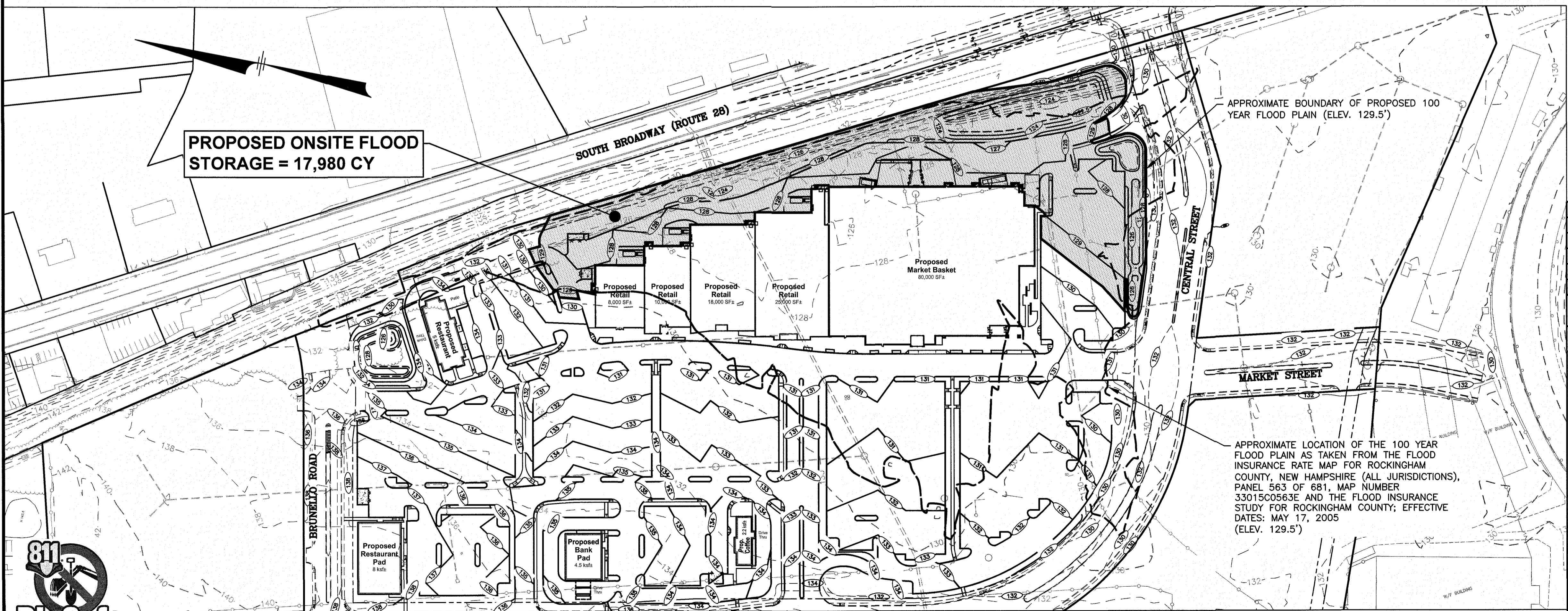
DRJ CCC/DRJ 37875 13 OF 29





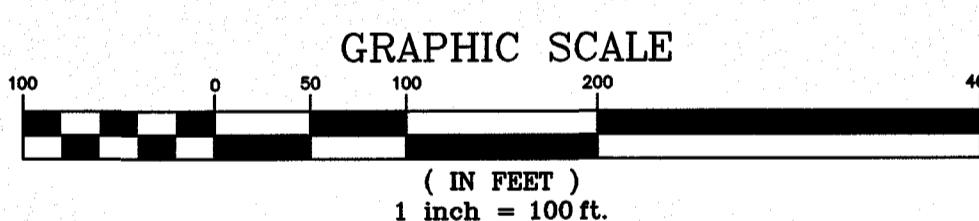
EXISTING FLOOD STORAGE

SCALE: 1"=100'



PROPOSED FLOOD STORAGE

SCALE: 1"=100'



1 NO.	REVISIONS PER REVIEW COMMENTS DESCRIPTION	DRJ BY DATE
	REVISIONS	

FLOOD PLAIN IMPACT EXHIBIT

**TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT
SALEM PROPERTY MAP 98 - LOT 12502
56 SOUTH BROADWAY, SALEM, NH 03079**

PREPARED FOR:
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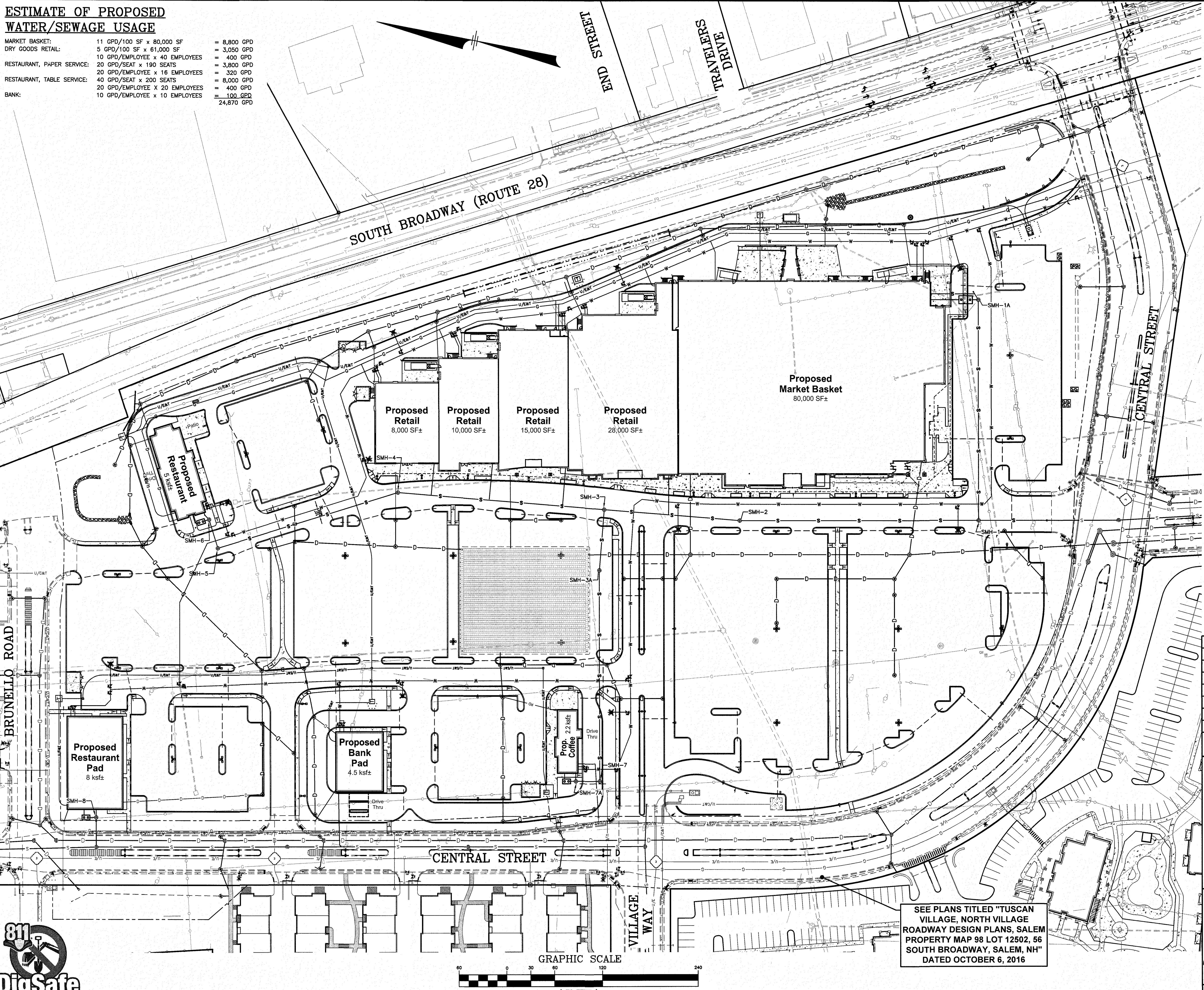
SCALE: 1" = 100'	OWNER OF RECORD DEMOLAS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67	SALEM PLANNING BOARD APPROVAL
8/26/17	ZONE: COMMERCIAL - INDUSTRIAL 'C'	

DESIGNED BY: DRAWN/CHECKED DWG. NAME PROJECT No. SHEET No.
DRJ CCC/DRJ 3787RETAIL-FLOOD 378715 15 OF 29

**ESTIMATE OF PROPOSED
WATER/SEWAGE USAGE**

MARKET BASKET: 11 GPD/100 SF x 80,000 SF = 8,800 GPD
DRY GOODS RETAIL: 5 GPD/100 SF x 61,000 SF = 3,050 GPD
10 GPD/EMPLOYEE x 40 EMPLOYEES = 400 GPD
RESTAURANT, PAPER SERVICE: 20 GPD/SEAT x 190 SEATS = 3,800 GPD
20 GPD/EMPLOYEE x 16 EMPLOYEES = 320 GPD
RESTAURANT, TABLE SERVICE: 40 GPD/SEAT x 200 SEATS = 8,000 GPD
20 GPD/EMPLOYEE x 20 EMPLOYEES = 400 GPD
BANK: 10 GPD/EMPLOYEE x 10 EMPLOYEES = 100 GPD
24,870 GPD

SOUTH BROADWAY (ROUTE 28)



NOTES:

- 1) ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.
- 2) ALL ROOF DRAIN PIPE (RD) SHALL BE 12" HDPE. INFORMATION SHOWN IS SCHEMATIC ONLY. SEE ARCHITECTURAL PLANS FOR ROOF DRAIN LOCATIONS AND INVERT ELEVATIONS AT BUILDINGS.
- 3) ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
- 4) ALL WATER PIPE SHALL BE CEMENT LINED DUCTILE IRON, UNLESS OTHERWISE NOTED.
- 5) ELEVATIONS ARE BASED ON NGVD 1929 DATUM.
- 6) ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- 7) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
- 8) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 9) ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE TOWN, STATE AND FEDERAL STANDARDS.
- 10) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
- 11) ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO APPLICABLE MUNICIPAL SERVICES DEPARTMENT AND NHDES SPECIFICATIONS.
- 12) ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS.
- 13) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL MSD.
- 14) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO NHDES AND SALEM MUNICIPAL SERVICES DEPARTMENT, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- 15) THE LOCATION, ELEVATION AND SIZE OF ALL PROPOSED BUILDING UTILITY CONNECTIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL AND MEP PLANS.
- 16) SEWERS SHALL BE LOCATED AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAINS.
- 17) ALL EXISTING ON-SITE UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE REMOVED.
- 18) THE SIZE AND LOCATION OF ALL TRANSFORMERS SHALL BE IN ACCORDANCE WITH LIBERTY UTILITIES SPECIFICATIONS. THE TRANSFORMER LOCATIONS SHOWN ON THESE PLANS IS SCHEMATIC ONLY.

SALEM MUNICIPAL SERVICES DEPARTMENT NOTES:

- 1) REQUIRED METERING AND BACKFLOW PREVENTION DEVICES WILL BE INSTALLED ON WATER SERVICES. THESE DEVICES WILL BE LOCATED AT THE POINT SERVICE LINES ENTER THE BUILDING. SERVICE LINES ARE NOT ALLOWED TO RUN THROUGH THE BUILDING, UNDER FLOORS, OVERHEAD OR OTHERWISE.
- 2) ALL EXISTING WATER AND SEWER SERVICES FOR BUILDINGS TO BE RAZED MUST BE CUT AND CAPPED PRIOR TO A RAZE PERMIT BEING ISSUED.
- 3) DOMESTIC WATER SERVICES MAY BE TAPPED OFF FIRE SPRINKLER SERVICES, PROVIDED THE DOMESTIC SERVICE IS TAPPED A MINIMUM OF TEN FEET OUTSIDE THE BUILDING. VALVES ARE REQUIRED ON BOTH SERVICE LINES, WITH A VALVE IN THE FIRE SERVICE DOWNSTREAM OF THE DOMESTIC SERVICE TAP. THESE VALVES SHOULD BE LOCATED A MINIMUM FIVE FEET FROM THE BUILDING.

SALEM FIRE DEPARTMENT NOTES:

- 1) BUILDING SHALL BE PROVIDED WITH AN AUTOMATIC FIRE ALARM SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 72, 2002 EDITION AND SALEM FIRE DEPARTMENT REGULATIONS.
- 2) ALL SITE AND CONSTRUCTION PLANS MAY BE REVIEWED BY A THIRD PARTY CONSULTANT OF THE TOWNS CHOOSING, ALL COST ASSOCIATED WITH THIRD PARTY REVIEWS AND INSPECTION SHALL BE PAID BY THE DEVELOPER.
- 3) UNDERGROUND WATER MAINS AND HYDRANTS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE 2000 EDITION, APPENDIX B AND C, AND SALEM WATER DEPARTMENT REGULATIONS. FLOW CALCULATIONS AND BUILDING CONSTRUCTION CLASSIFICATION SHALL BE INCLUDED WITH THE SITE PLAN.
- 4) PLANS FOR CONSTRUCTION OF BUILDINGS AND FIRE PROTECTION SYSTEMS SHALL BE SUBMITTED TO THE SALEM FIRE DEPARTMENT AND RELEASED FOR CONSTRUCTION PRIOR TO STARTING WORK. ALL CONTRACTORS INSTALLING FIRE PROTECTION SYSTEMS SHALL HOLD A CERTIFICATE OF FITNESS FROM THE SALEM FIRE DEPARTMENT.
- 5) ALL UNDERGROUND WATER MAINS SERVING SPRINKLER OR STANDPIPE SYSTEM SHALL BE FLUSHED IN ACCORDANCE WITH NFPA 24 AND SHALL BE WITNESSED BY SALEM FIRE DEPARTMENT PERSONNEL.

NO.	DESCRIPTION	BY	DATE
REVISONS			
5	REVISE DRAINAGE, GT-4	DRJ	2/20/18
4	REVISE UTILITIES	DRJ	1/4/18
3	MISC. REVISIONS	DRJ	12/1/17
2	REV. NOTE 2, ADD NOTE 18	DRJ	9/25/17
1	REVISIONS PER REVIEW COMMENTS	DRJ	8/22/17

UTILITY OVERVIEW PLAN

**TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT
SALEM PROPERTY MAP 98 - LOT 12502
56 SOUTH BROADWAY, SALEM, NH 03079**

PREPARED FOR:
DEMOLUS SUPER MARKETS, INC.
875 EAST STREET, TEWKSBURY, MA 01876

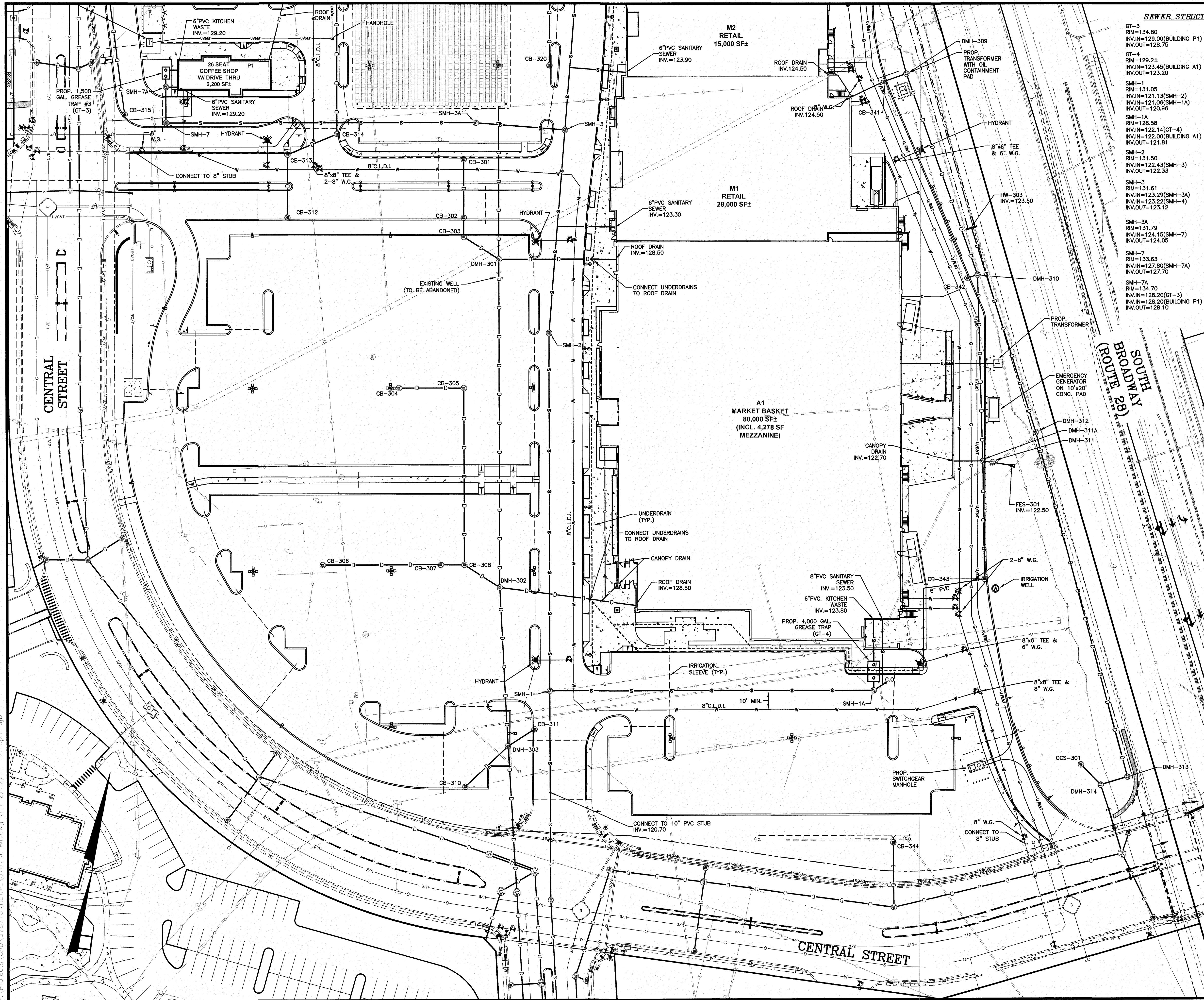
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SCALE: 1" = 60'

DATE: JUNE 26, 2017

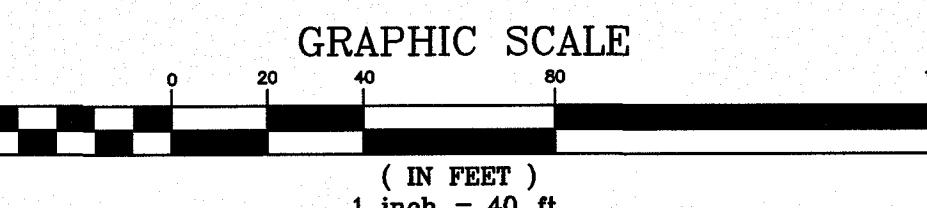
 2/20/18	OWNER OF RECORD	SALEM PLANNING BOARD
	DEMOLUS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67	APPROVAL
ZONE: COMMERCIAL - INDUSTRIAL 'C'		
DESIGNED BY: DRJ	DRAWN/CHECKED: CCC/DRJ	DWG. NAME: 3787RETAIL
PROJECT No.:	378715	SHEET No.: 16 OF 29



SEWER PIPE SCHEDULE					
FROM STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE OF PIPE (FT./FT.)	TO STRUCTURE NUMBER
BUILDING P1 (KITCHEN)	6	PVC	7	0.029	GT-3
GT-3	6	PVC	7	0.083	SMH-7A
BUILDING P1 (SANITARY)	6	PVC	10	0.100	SMH-7A
SMH-7A	6	PVC	30	0.010	SMH-7
SMH-7	6	PVC	262	0.014	SMH-3A
SMH-3A	6	PVC	76	0.010	SMH-3
BUILDING A1 (KITCHEN)	6	PVC	35	0.010	GT-4
GT-4	6	PVC	19	0.055	SMH-1A
BUILDING A1 (SANITARY)	8	PVC	64	0.023	SMH-1A
SMH-1A	10	PVC	274	0.003	SMH-1
SMH-3	8	PVC	171	0.004	SMH-2
SMH-2	8	PVC	300	0.004	SMH-1
SMH-1	10	PVC	86	0.003	10" PVC STUB

NOTES:

1) SEE SHEET 16 FOR UTILITY NOTES.



NO.	DESCRIPTION	BY	DATE
5	REVISE UTILITIES	DRJ	2/20/18
4	REVISE UTILITIES	DRJ	1/4/18
3	MISC. REVISIONS	DRJ	12/1/17
2	REVISE WATER GATES	DRJ	9/25/17
1	REVISIONS PER REVIEW COMMENTS	DRJ	8/22/17
	DESCRIPTION	BY	DATE
	REVISES	BY	

UTILITY PLAN

TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT
SALEM PROPERTY MAP 98 - LOT 12502
56 SOUTH BROADWAY, SALEM, NH 03079

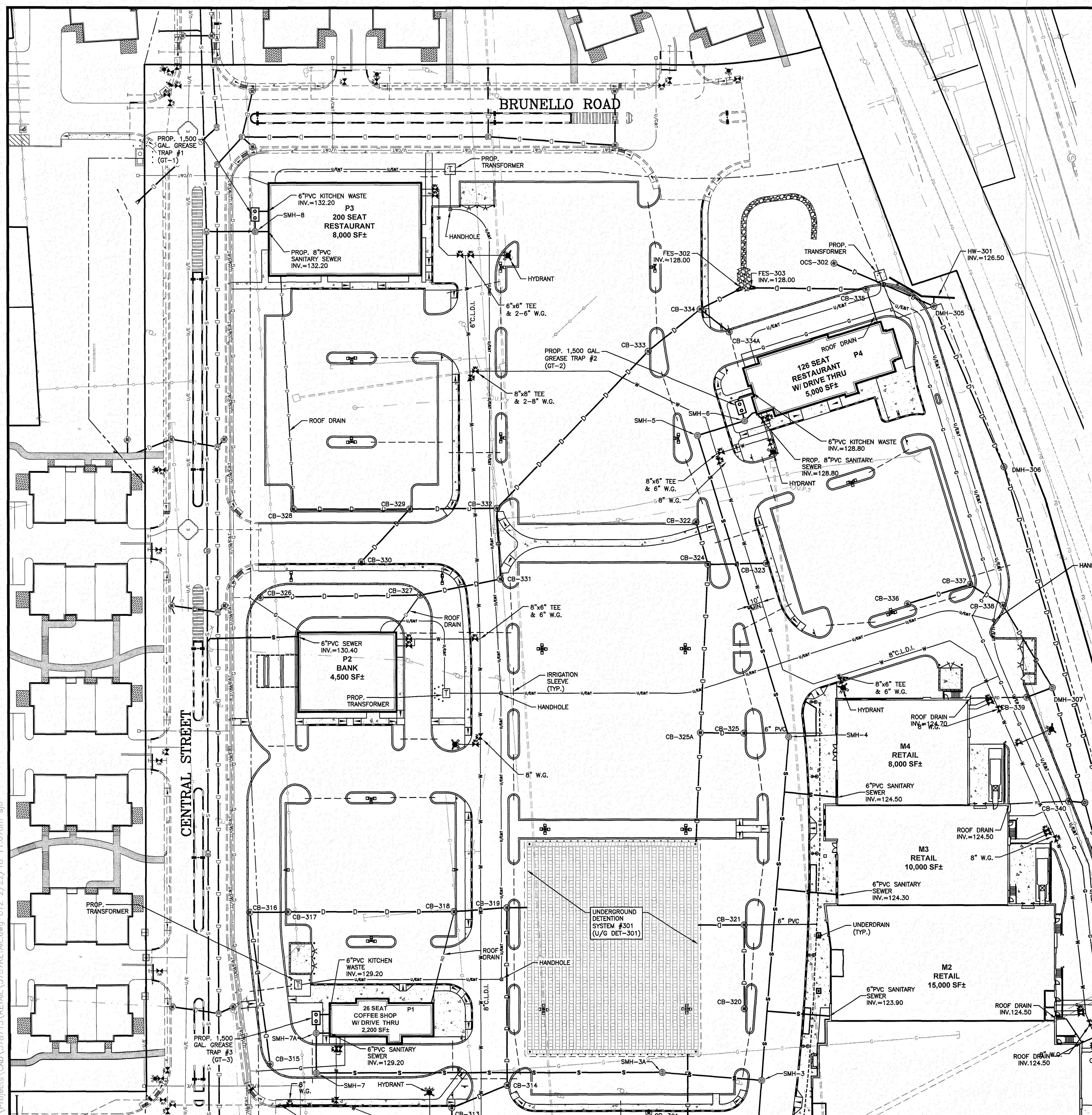
PREPARED FOR:
DEMOLAS SUPER MARKETS, INC.
875 EAST STREET, TEWKSBURY, MA 01876



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DATE: JUNE 26, 2017

 2/20/18	OWNER OF RECORD	SALEM PLANNING BOARD		
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DESIGNED BY: DRAWN/CHECKED DWG. NAME PROJECT No. SHEET No.				
DRJ	CCC/DRJ	3787RETAIL	378715	17 OF 29
ZONE: COMMERCIAL - INDUSTRIAL 'C'				



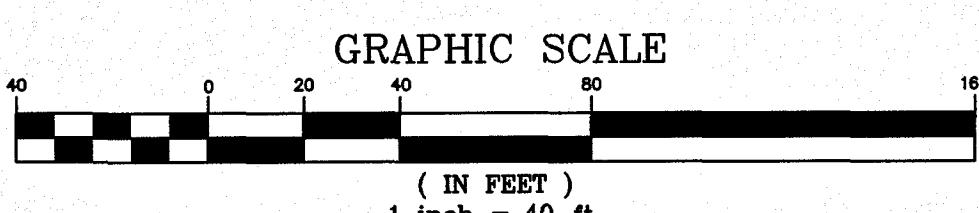
SEWER STRUCTURES

GT-1 RIM=138.30 INV.IN=132.10(BUILDING P3) INV.OUT=131.85
 GT-2 RIM=134.70 INV.IN=128.65(BUILDING P4) INV.OUT=128.40
 GT-3 RIM=134.80 INV.IN=129.00(BUILDING P1) INV.OUT=128.75
 SMH-3 RIM=131.61 INV.IN=123.22(SMH-3A) INV.IN=123.22(SMH-4) INV.OUT=123.12
 SMH-3A RIM=131.79 INV.IN=124.15(SMH-7) INV.OUT=124.05
 SMH-4 RIM=131.59 INV.IN=124.35(SMH-5) INV.OUT=124.25
 SMH-5 RIM=133.75 INV.IN=125.63(SMH-6) INV.OUT=125.53
 SMH-6 RIM=134.40 INV.IN=127.80(BUILDING P4) INV.IN=127.87(GT-2) INV.OUT=127.70
 SMH-7 RIM=133.63 INV.IN=127.80(SMH-7A) INV.OUT=127.70
 SMH-7A RIM=134.70 INV.IN=128.20(GT-3) INV.IN=128.20(BUILDING P1) INV.OUT=128.10
 SMH-8 RIM=139.20 INV.IN=131.30(BUILDING P3) INV.IN=131.37(GT-1) INV.OUT=131.20

FROM STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE OF PIPE (FT./FT.)	TO STRUCTURE NUMBER
BUILDING P3 (KITCHEN)	6	PVC	7	0.014	GT-1
GT-1	6	PVC	8	0.062	SMH-8
BUILDING P3 (SANITARY)	8	PVC	10	0.090	SMH-8
SMH-8	8	PVC	5	0.011	8" PVC STUB
BUILDING P4 (KITCHEN)	6	PVC	13	0.012	GT-2
GT-2	6	PVC	6	0.096	SMH-6
BUILDING P4 (SANITARY)	8	PVC	10	0.100	SMH-6
SMH-6	8	PVC	37	0.055	SMH-5
SMH-4	8	PVC	237	0.005	SMH-4
SMH-3	8	PVC	299	0.004	SMH-2
BUILDING P2 (BANK)	6	PVC	37	0.011	6" PVC STUB
BUILDING P1 (KITCHEN)	6	PVC	7	0.029	GT-3
GT-3	6	PVC	7	0.083	SMH-7A
BUILDING P1 (SANITARY)	6	PVC	10	0.100	SMH-7A
SMH-7A	6	PVC	30	0.010	SMH-7
SMH-7	6	PVC	262	0.014	SMH-3A
SMH-3A	6	PVC	76	0.010	SMH-3

NOTES:

1) SEE SHEET 16 FOR UTILITY NOTES.



NO.	DESCRIPTION	BY	DATE
5	REVISE UTILITIES	DRJ	2/20/18
4	REVISE UTILITIES	DRJ	1/4/18
3	MISC. REVISIONS	DRJ	12/1/17
2	REVISE WATER GATES	DRJ	9/25/17
1	REVISIONS PER REVIEW COMMENTS	DRJ	8/22/17
NO.	DESCRIPTION	BY	DATE

UTILITY PLAN

TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT
 SALEM PROPERTY MAP 98 - LOT 12502
 56 SOUTH BROADWAY, SALEM, NH 03079

PREPARED FOR:

DEMOLAS SUPER MARKETS, INC.
 875 EAST STREET, TEWKSBURY, MA 01876

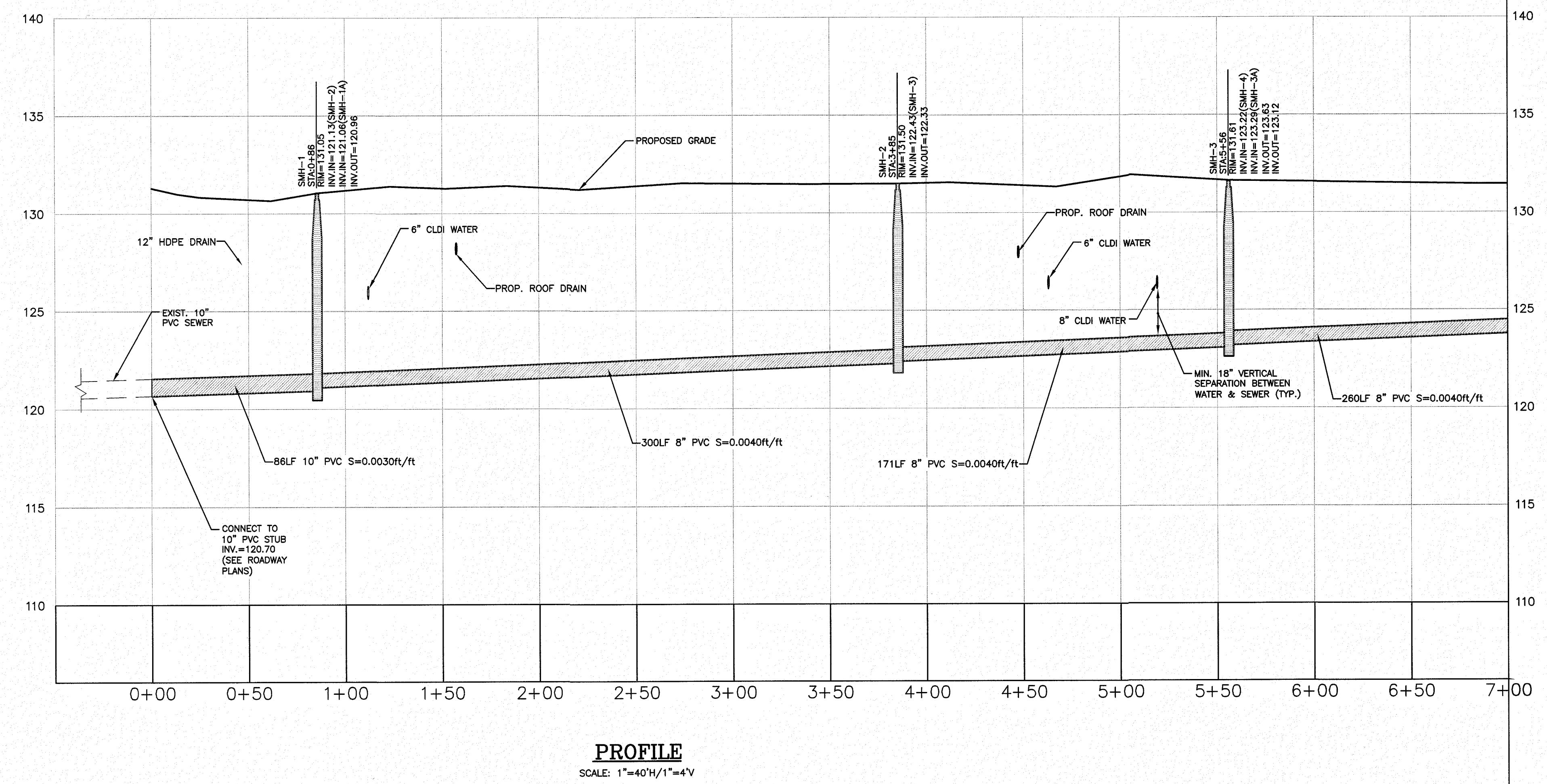
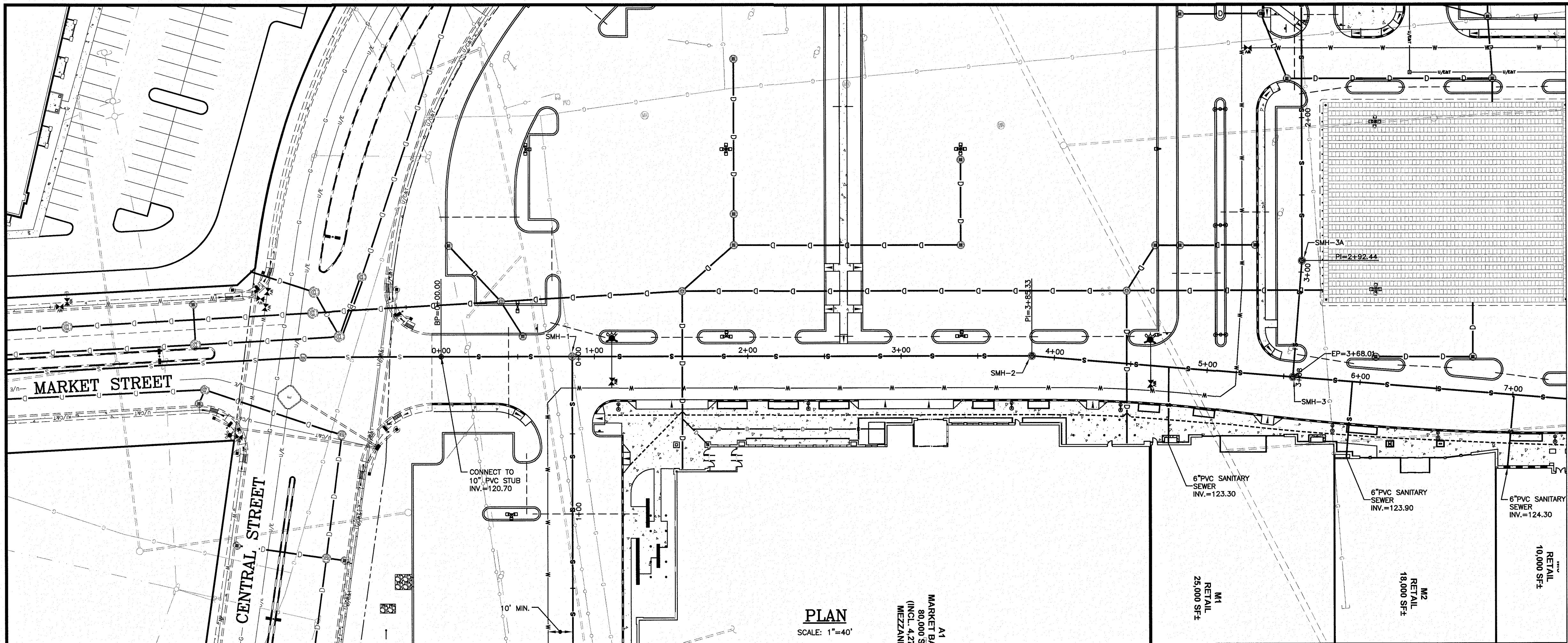
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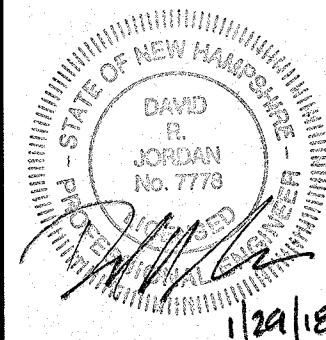
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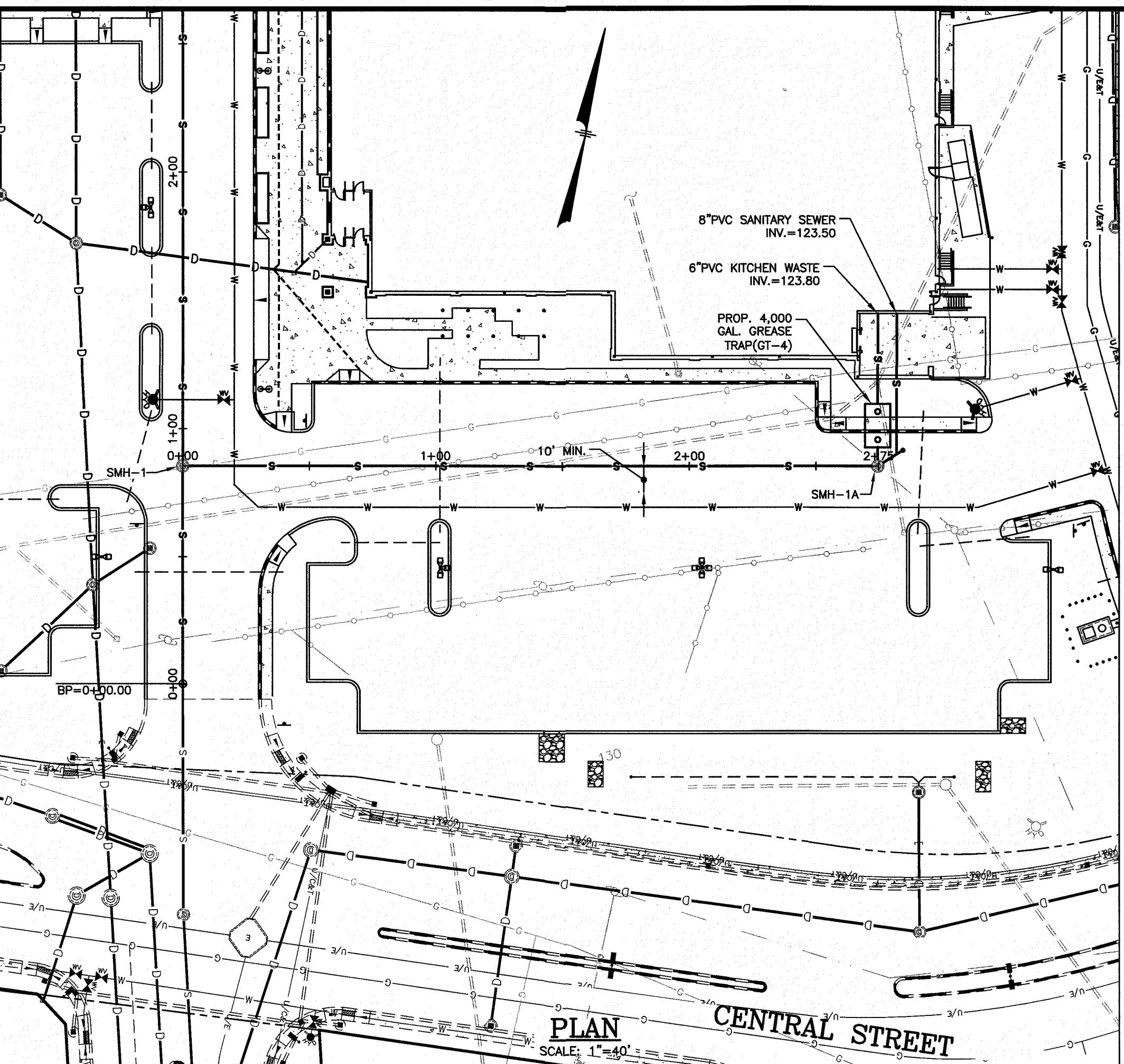
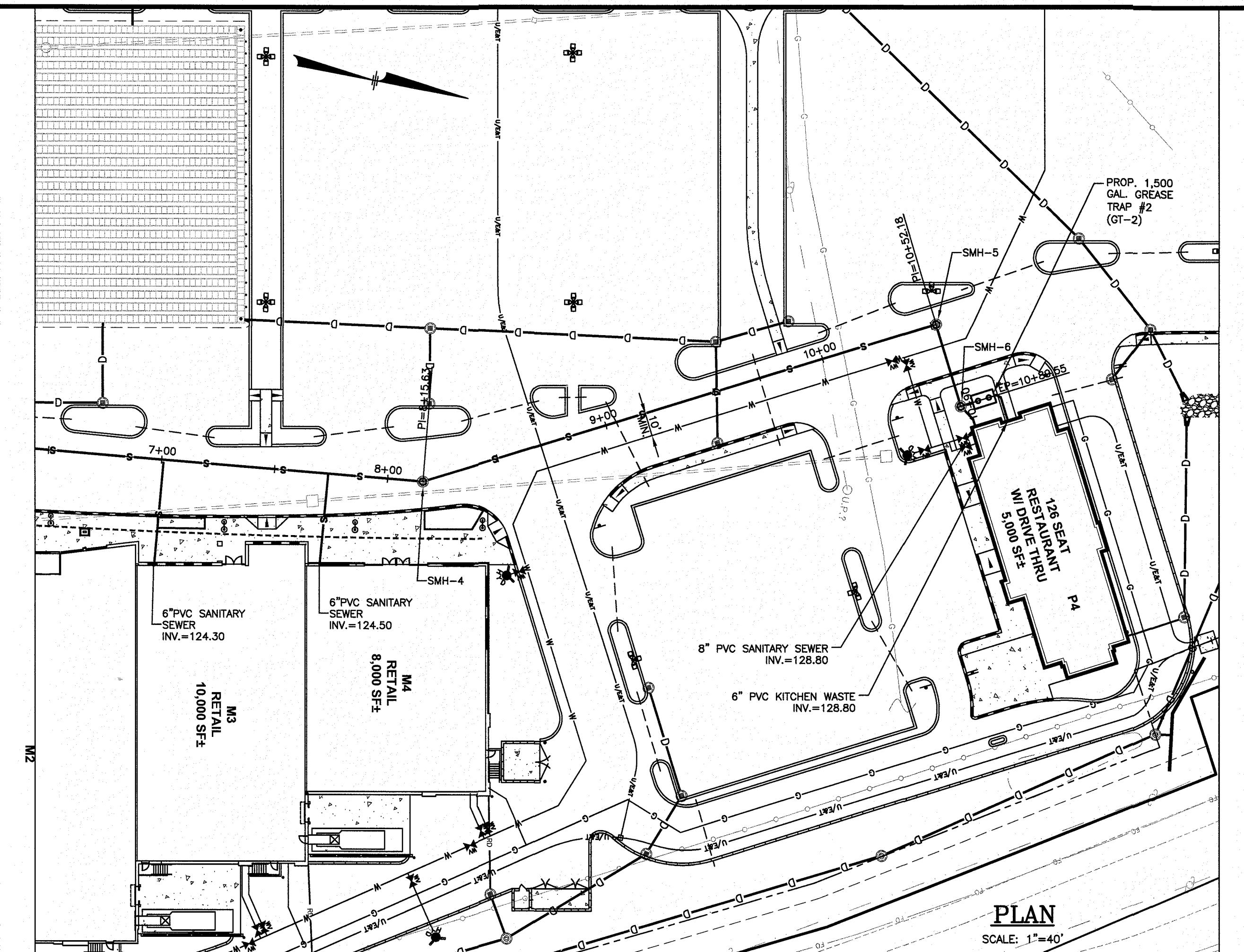
	OWNER OF RECORD	SALEM PLANNING BOARD APPROVAL		
	DEMOLAS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67			
2/20/18				
ZONE: COMMERCIAL - INDUSTRIAL 'C'				
DESIGNED BY: DRJ	DRAWN/CHECKED: CCC/DRJ	DWG. NAME: 3787RETAIL	PROJECT No.: 378715	SHEET No.: 18 OF 29



NOTES:

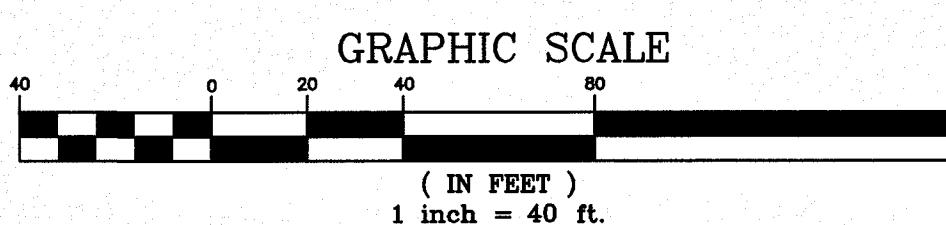
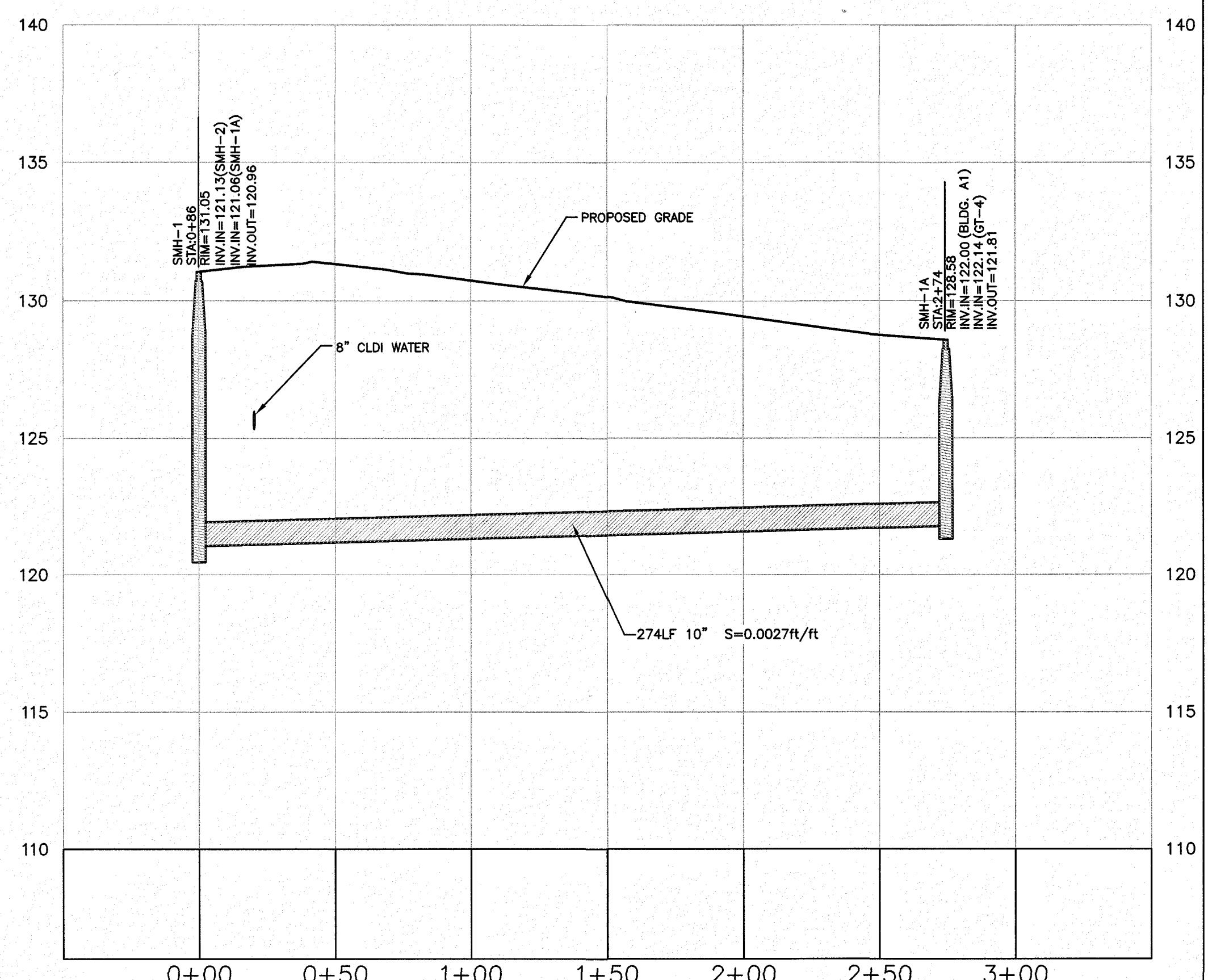
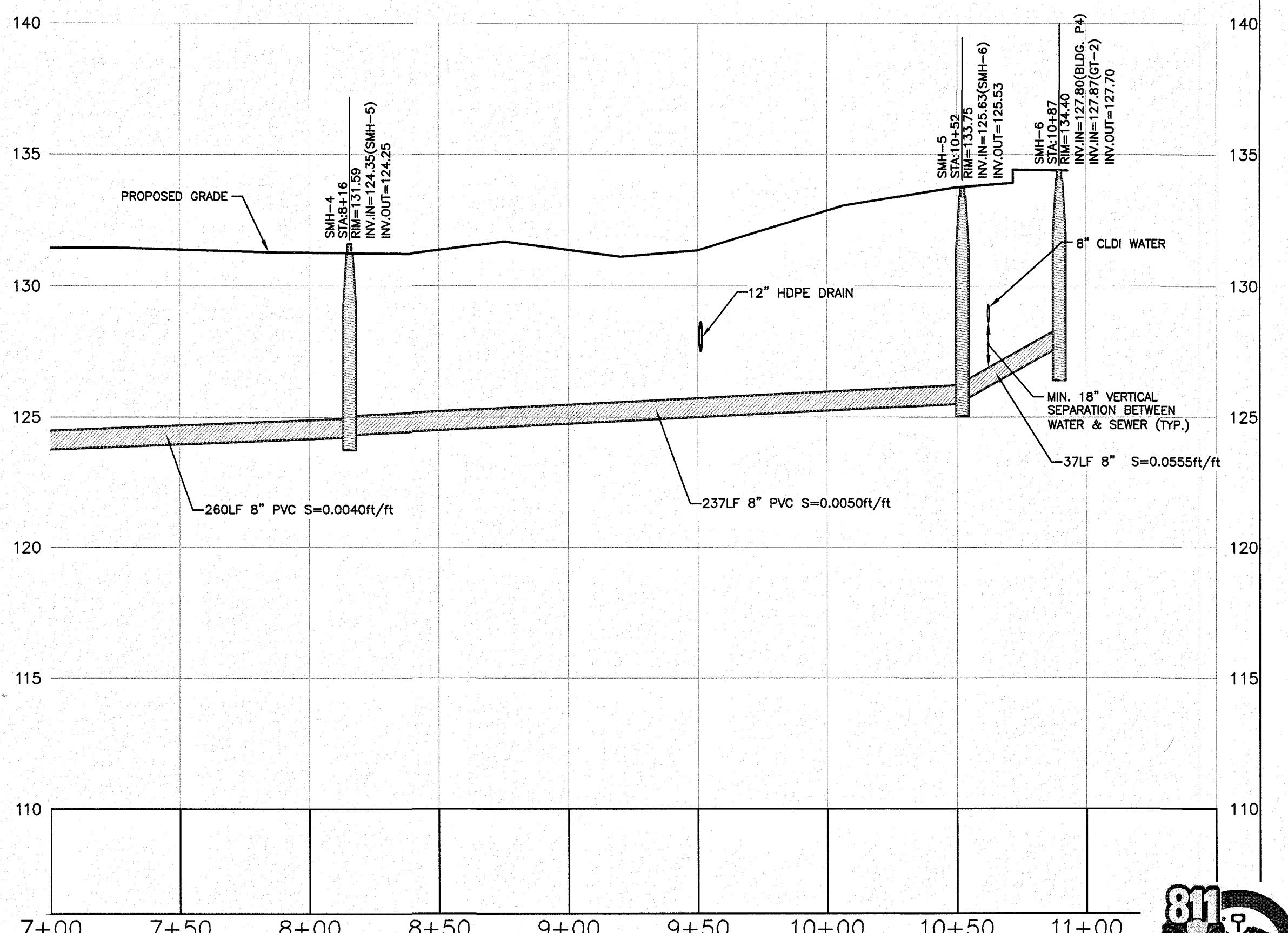
- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIG SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE DIGGING.
- 2) CONTRACTOR SHALL COORDINATE ALL WORK WITH SUBCONTRACTORS, UTILITY COMPANIES, AND THE TOWN OF SALEM, AND SHALL BE RESPONSIBLE FOR COORDINATION OF ALL PERMITS, INSPECTIONS, AND MAINTENANCE AND PROTECTION OF ALL TRAFFIC AND PEDESTRIANS. ANY DISCREPANCIES FOUND OR SHOWN SHALL BE RESOLVED BY THE CONTRACTOR.
- 3) ALL WORK SHALL CONFORM TO THE TOWN OF SALEM AND NH DOT STANDARDS.
- 4) WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
- 5) CONTRACTOR SHALL CONFIRM WITH ENGINEER ALL LAYOUT ITEMS NOT SHOWN OR ANNOTATED. THE LOCATION OF ALL STRUCTURES AND UTILITIES SHALL BE CONFIRMED PRIOR TO LAYOUT OF PAVED AREAS. EXACT LOCATION OF PAVEMENT SHALL BE CONFIRMED WITH ENGINEER PRIOR TO PLACEMENT OF BINDER COURSE PAVEMENT.
- 6) PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONFIRM WITH THE ENGINEER THAT HE HAS THE MOST RECENT SET OF PLANS. SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF CONFLICT WITHIN THIS PLAN SET.
- 7) ELEVATIONS SHOWN ARE NGVD29 DATUM. CONTRACTOR TO CONFIRM BENCHMARKS PRIOR TO COMMENCEMENT OF WORK.
- 8) THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND SHALL ARRANGE FOR ALL INSPECTIONS.
- 9) IF DURING CONSTRUCTION IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE CONTRACTOR SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
- 10) ALL SEWER PIPE DATA CALCULATED TO STRUCTURE CENTERS, TYP.
- 11) SEE DETAILS FOR ADDITIONAL INFORMATION.
- 12) ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
- 13) ELEVATIONS ARE BASED ON NGVD 1929 DATUM.
- 14) ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO MUNICIPAL SERVICES DEPARTMENT SPECIFICATIONS.
- 15) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND SALEM MUNICIPAL SERVICES DEPARTMENT.

GRAPHIC SCALE					
40	0	20	40	80	160
(IN FEET)					
1 inch = 40 ft.					
NO.	DESCRIPTION	BY	DATE		
3	REVISE UTILITIES	DRJ	1/4/18		
2	REVISE SEWER PROFILES	DRJ	12/1/17		
1	REVISIONS PER REVIEW COMMENTS	DRJ	8/22/17		
REVISIONS					
PLAN & PROFILE-CROSS COUNTRY SEWER					
TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT SALEM PROPERTY MAP 98 - LOT 12502 56 SOUTH BROADWAY, SALEM, NH 03079					
PREPARED FOR: DEMOLAS SUPER MARKETS, INC. 875 EAST STREET, TEWKSBURY, MA 01876					
 MHF Design Consultants, Inc. 44 Stiles Road, Suite One Salem, New Hampshire 03079 (603) 893-0720 ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com					
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DATE: JUNE 26, 2017					
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DEMOLAS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67		APPROVAL			
ZONE: COMMERCIAL - INDUSTRIAL 'C'					
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.		
DRJ	CCC/DRJ	3787RETAIL	378715		
SHEET No.					
19 OF 29					



NOTES:

- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF EXISTING UTILITIES DURING THE 20 DAY PERIOD THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED OF THE LOCATION OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIG SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE DIGGING.
- 2) CONTRACTOR SHALL COORDINATE ALL WORK WITH SUBCONTRACTORS, UTILITY COMPANIES, AND THE TOWN OF SALEM, AND SHALL BE RESPONSIBLE FOR COORDINATION OF ALL PERMITS, INSPECTIONS, AND MAINTENANCE AND PROTECTION OF ALL TRAFFIC AND PEDESTRIANS. ANY DISCREPANCIES FOUND OR SHOWN SHALL BE RESOLVED BY THE CONTRACTOR.
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- 10) ALL SEWER PIPE DATA CALCULATED TO STRUCTURE CENTERS, TYP.
- 11) SEE DETAILS FOR ADDITIONAL INFORMATION.
- 12) ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
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- 15) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND SALEM MUNICIPAL SERVICES DEPARTMENT.



NO.	DESCRIPTION	BY	DATE
REVIEWS			
5	REVISE GREASE TRAP LOCATION	DRJ	2/20/18
4	REVISE UTILITIES	DRJ	1/4/18
3	REVISE SEWER PROFILES	DRJ	12/1/17
2	MISC. REVISIONS	DRJ	9/25/17
1	REVISIONS PER REVIEW COMMENTS	DRJ	8/22/17
REVISIONS			

PLAN & PROFILE - CROSS COUNTRY SEWER

**TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT
SALEM PROPERTY MAP 98 - LOT 12502
56 SOUTH BROADWAY, SALEM, NH 03079**

PREPARED FOR:

DEMOULAS SUPER MARKETS, INC.
875 EAST STREET, TEWKSBURY, MA 01876

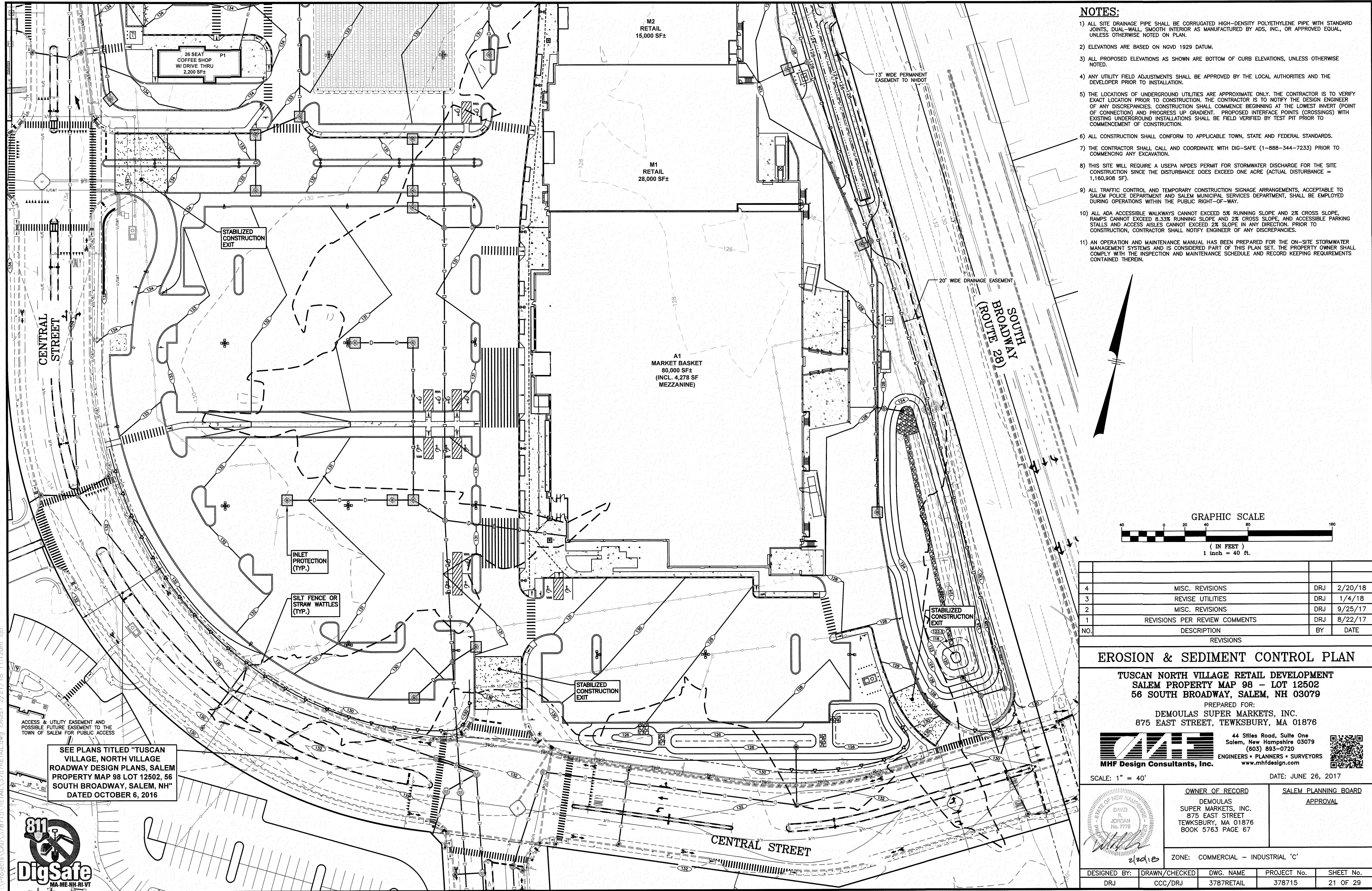
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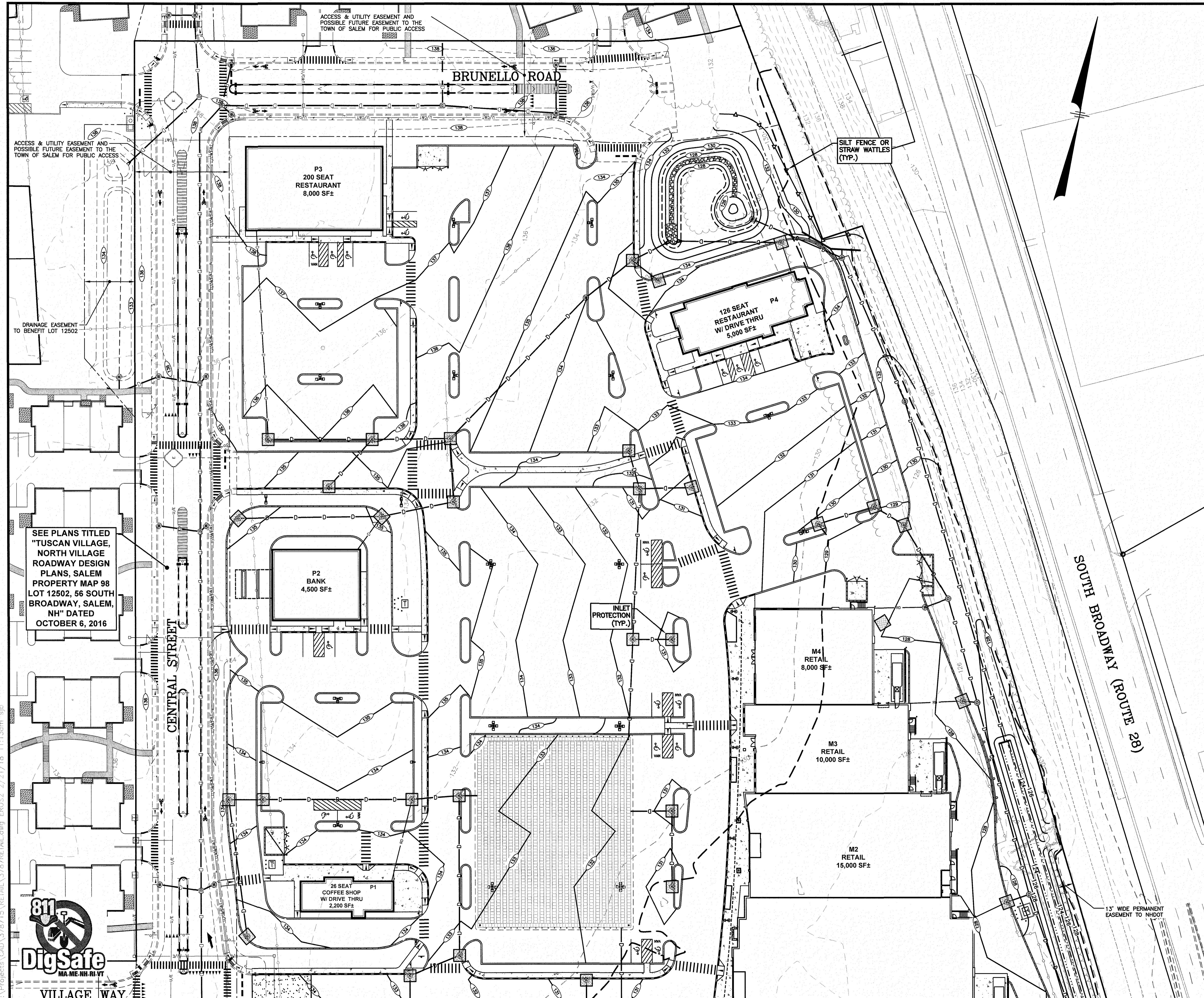
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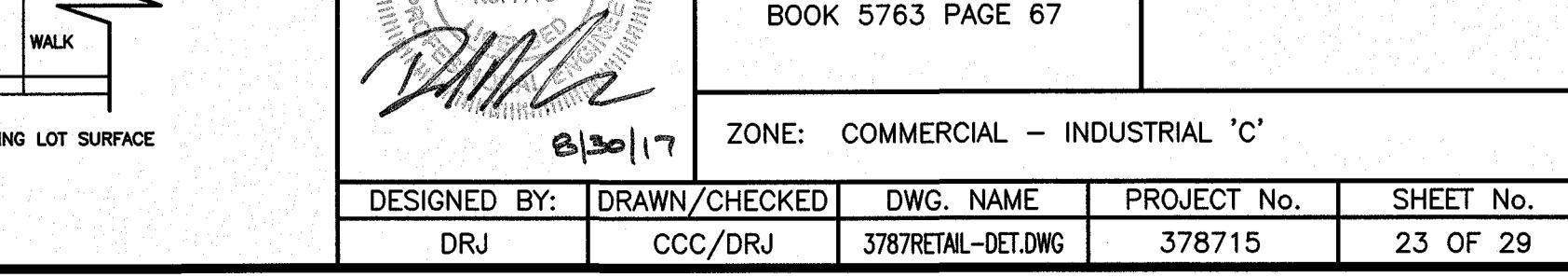
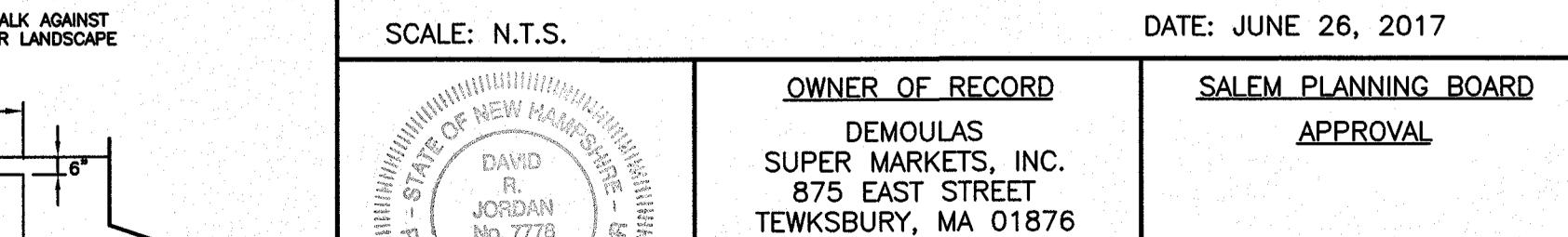
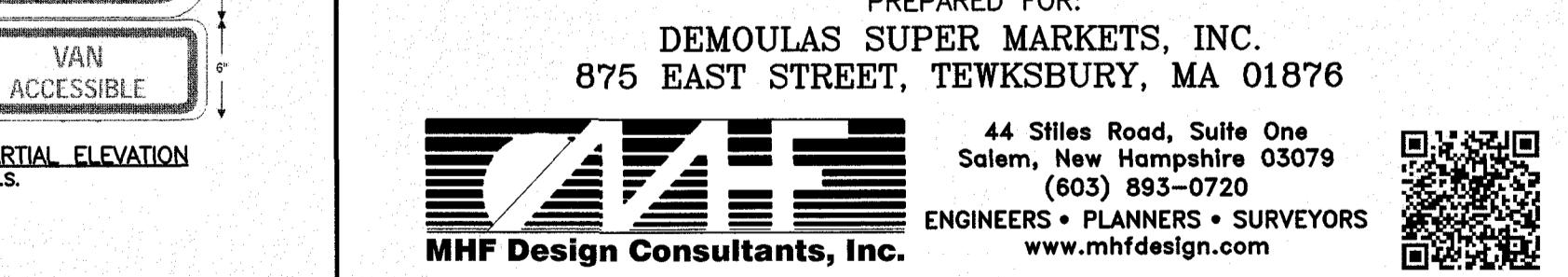
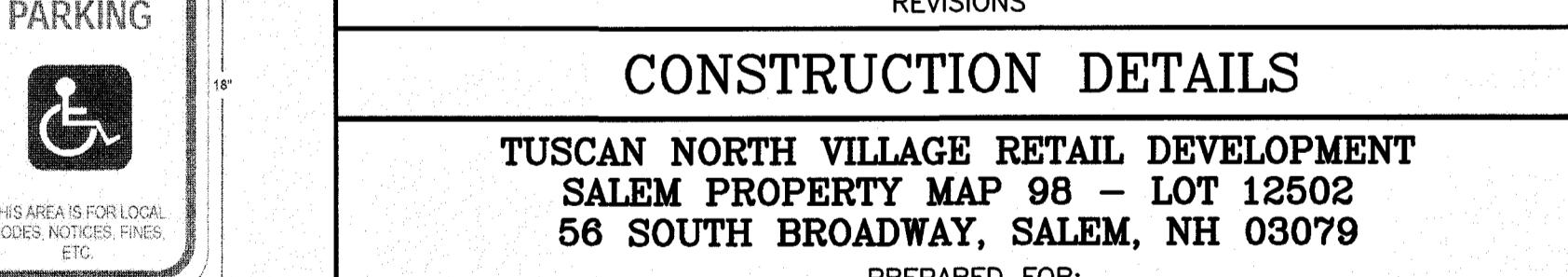
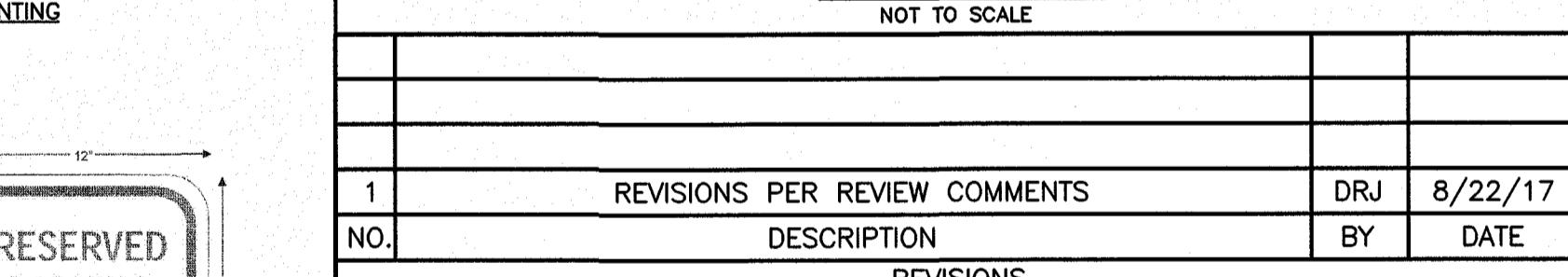
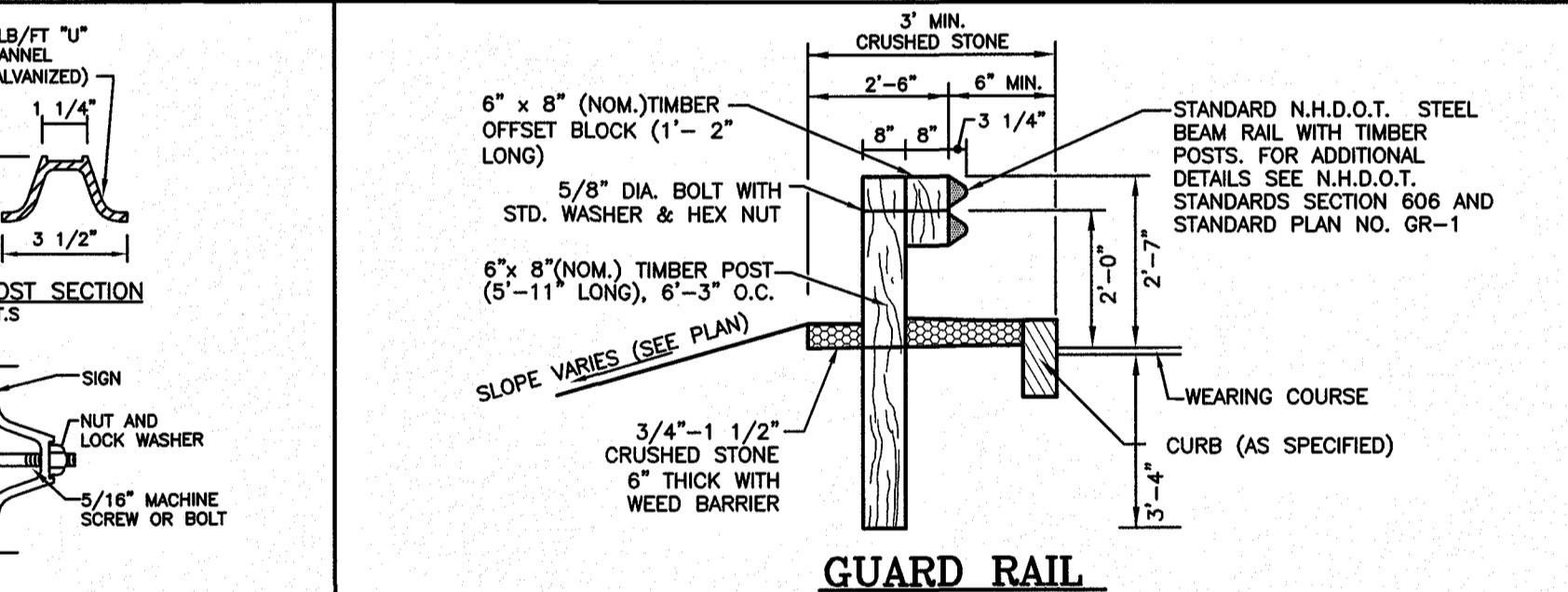
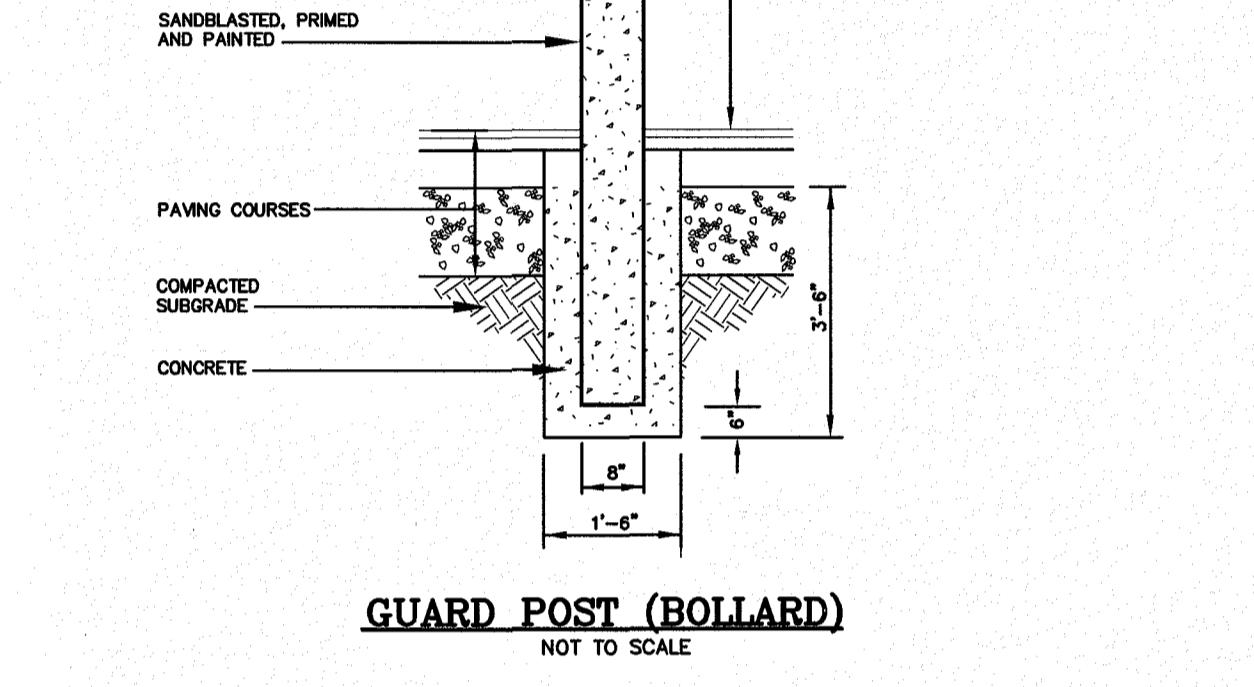
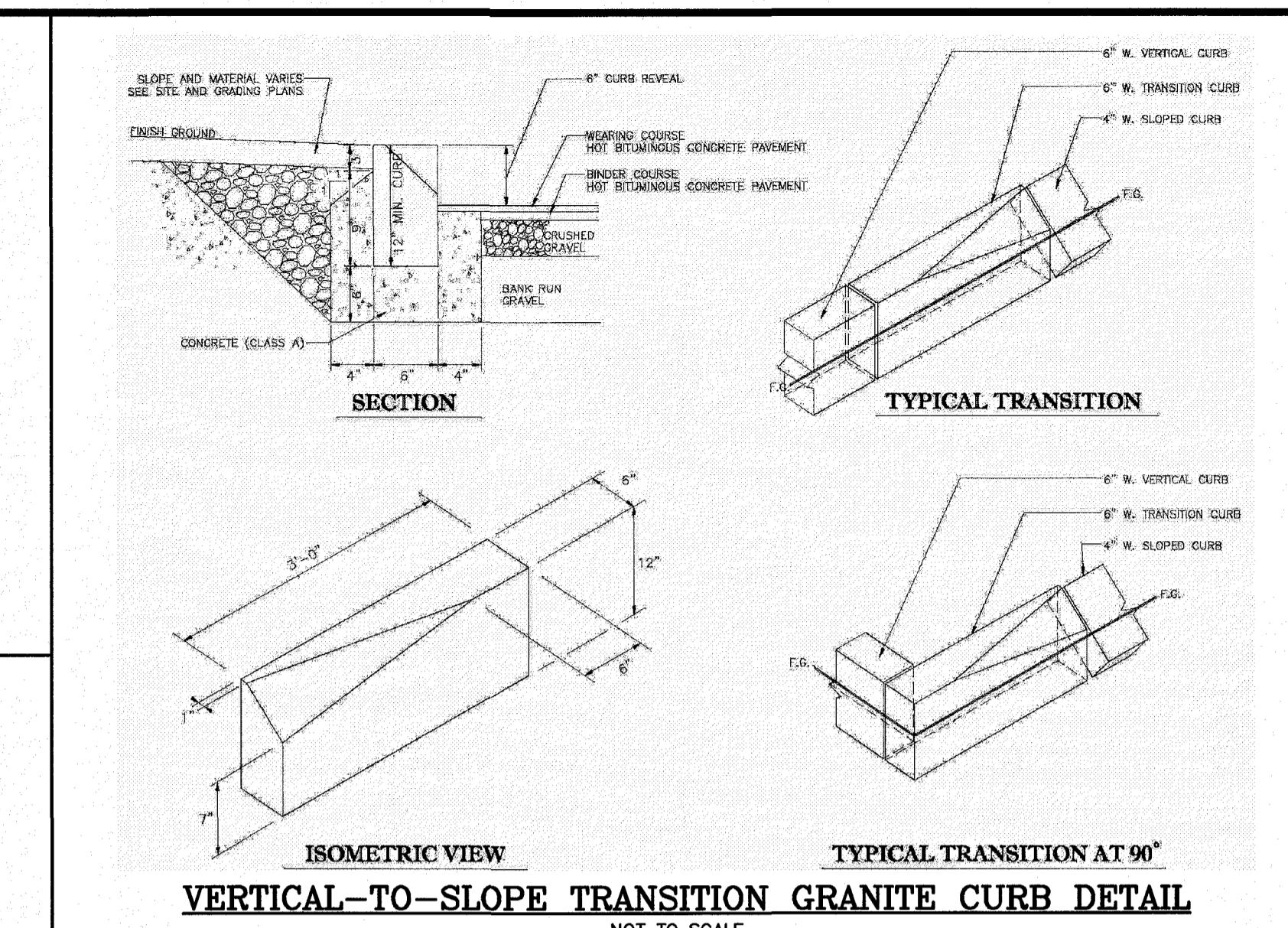
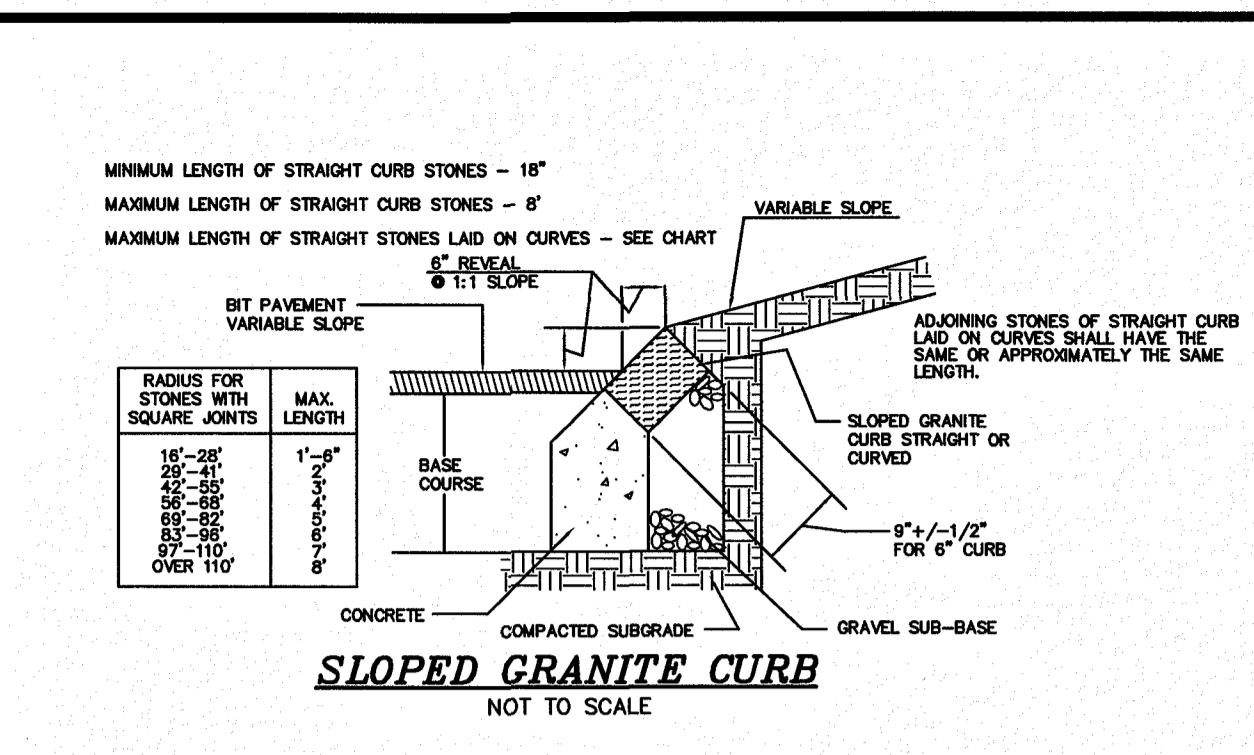
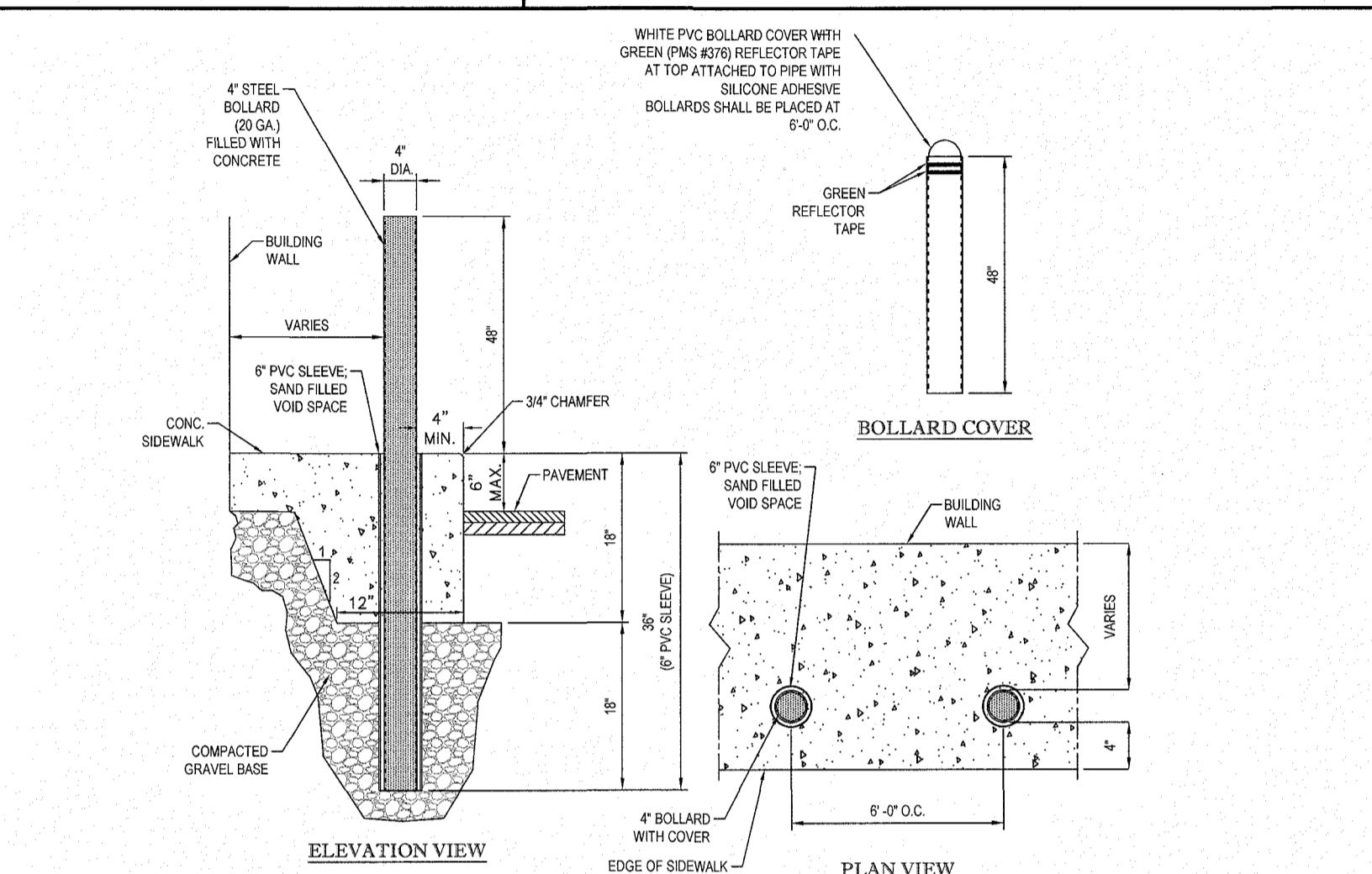
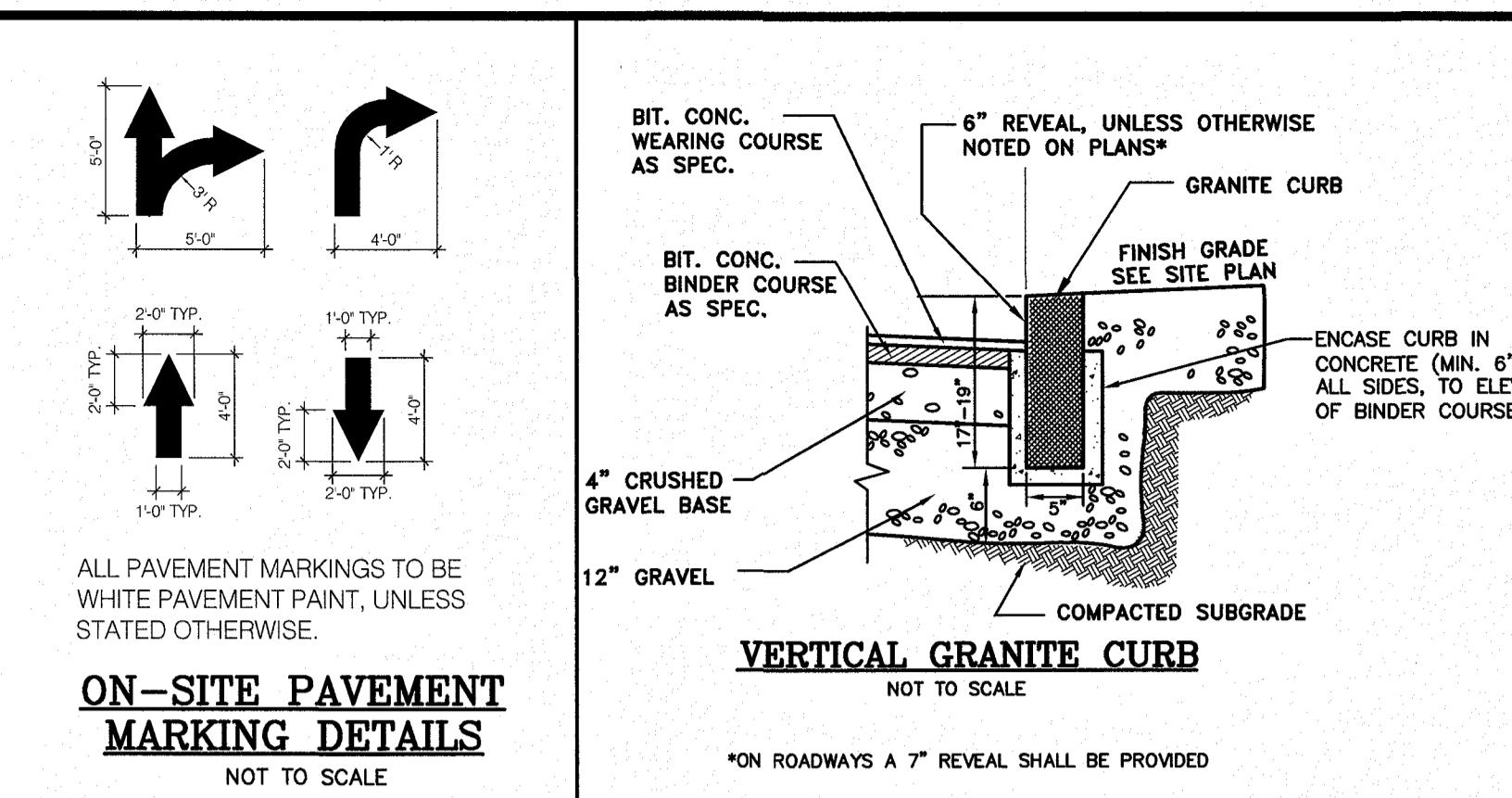
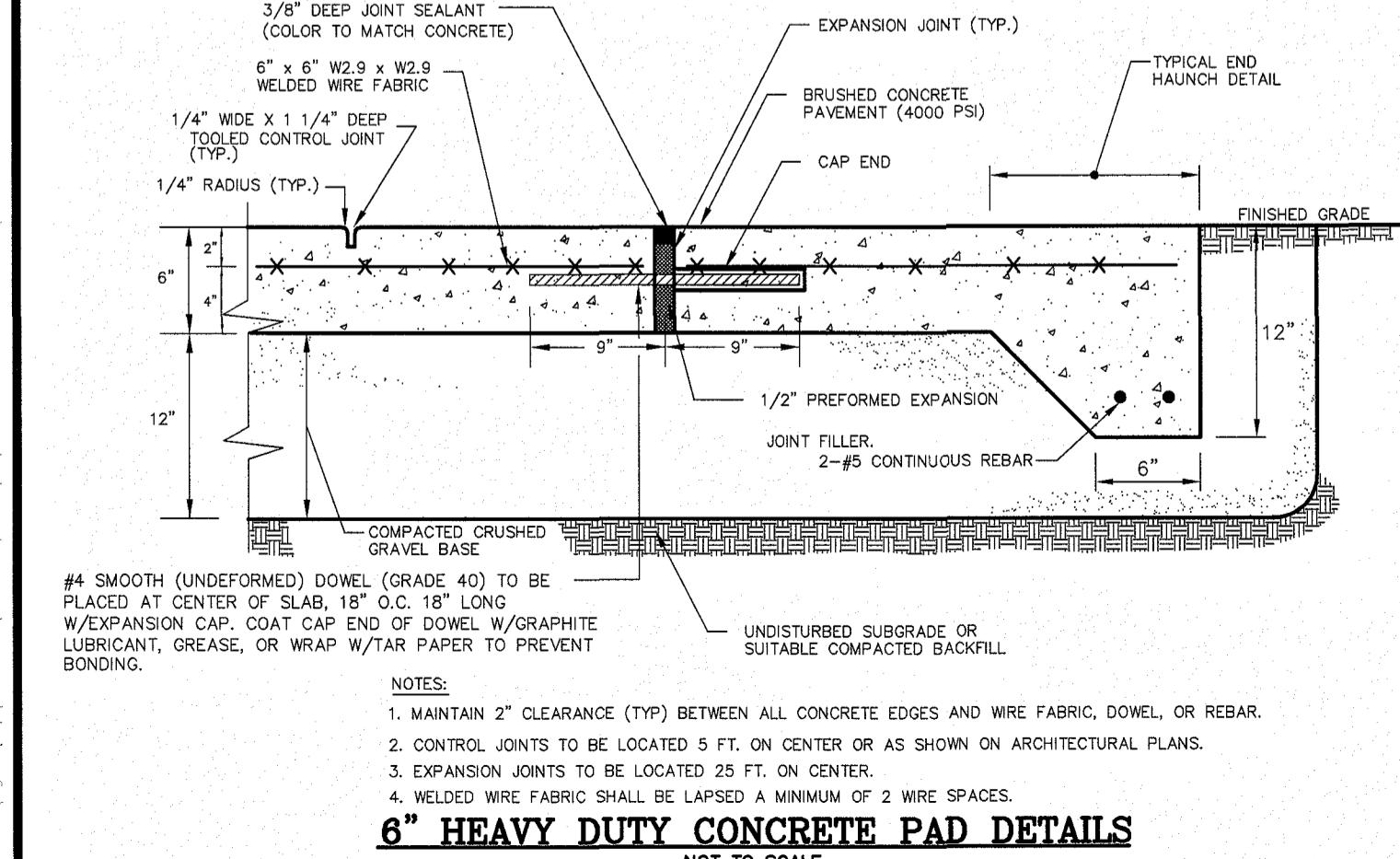
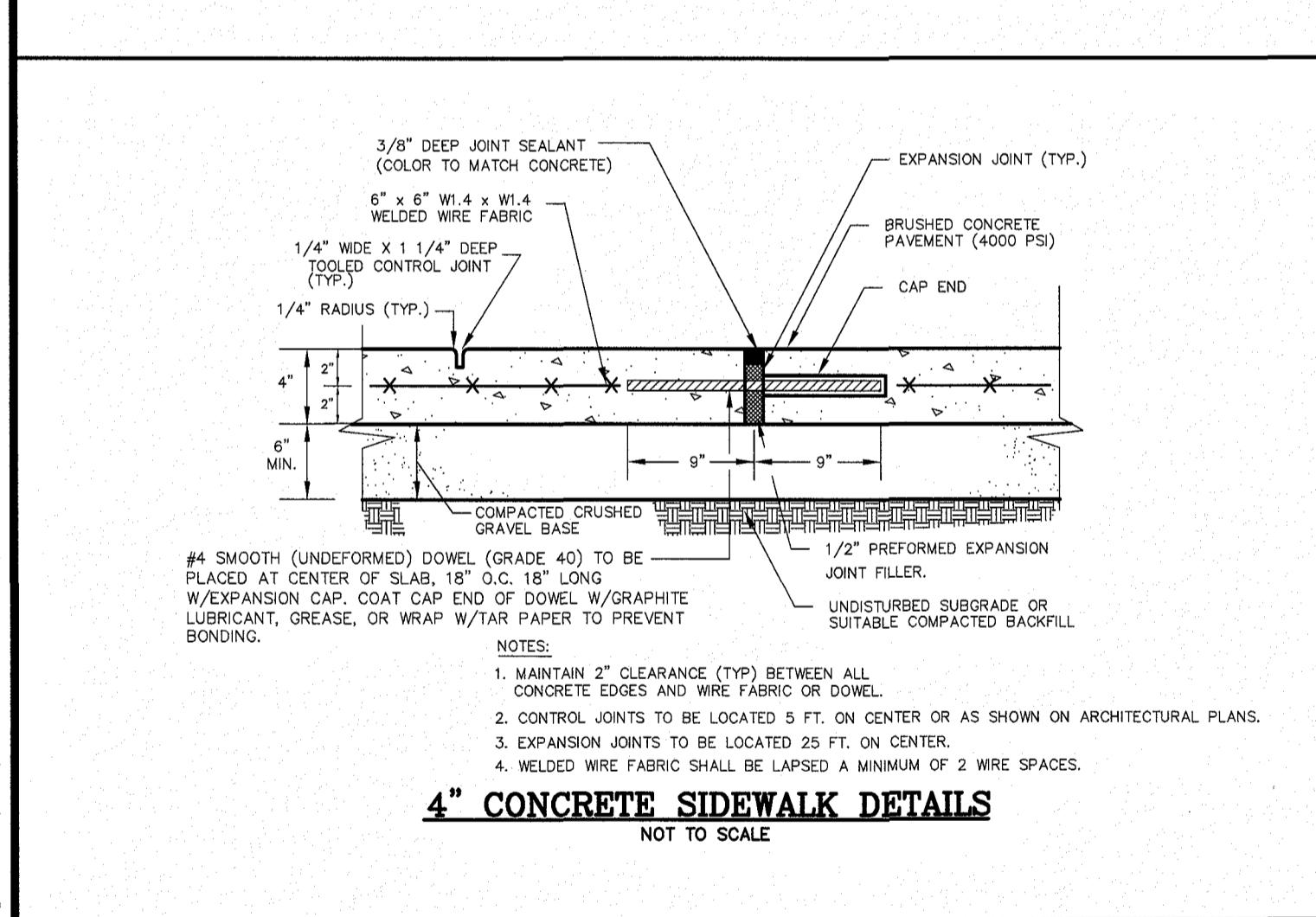
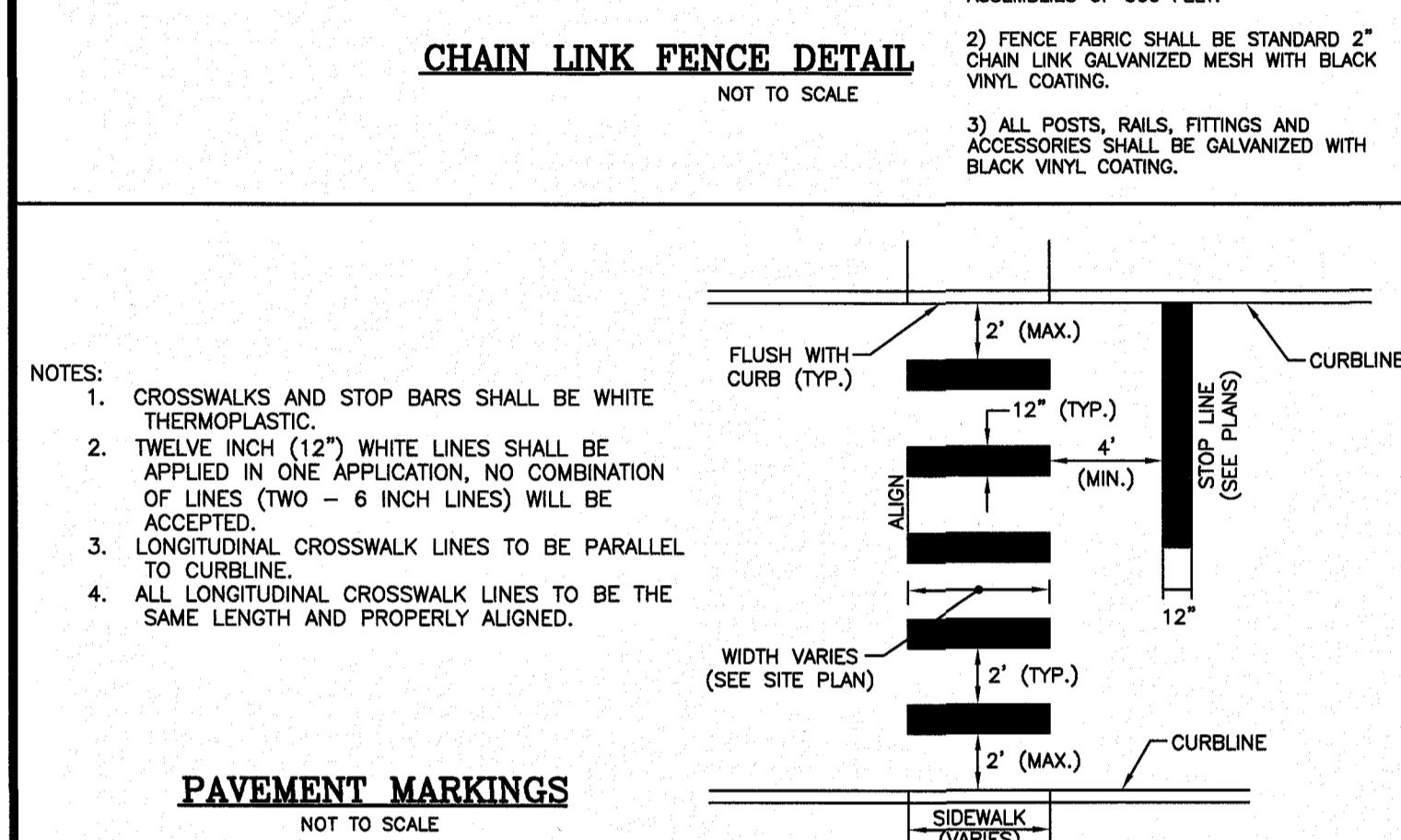
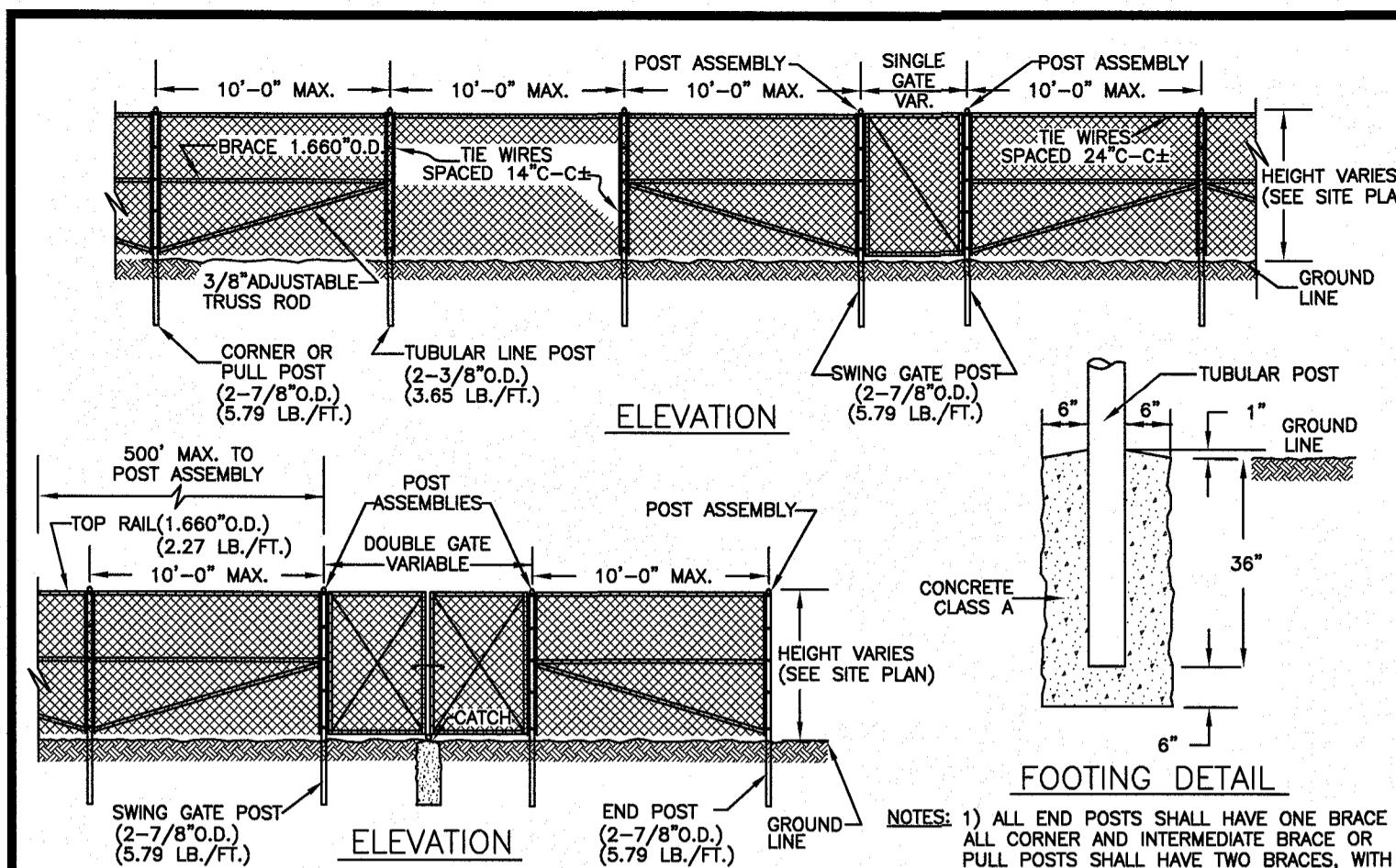
 DAVID R. JORDAN No. 7776	OWNER OF RECORD	SALEM PLANNING BOARD APPROVAL		
	DEMOULAS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67			
ZONE: COMMERCIAL - INDUSTRIAL 'C'				
DESIGNED BY: DRJ	DRAWN/CHECKED: CCC/DRJ	DWG. NAME: 3787RETAIL	PROJECT No.: 378715	SHEET No.: 20 OF 29

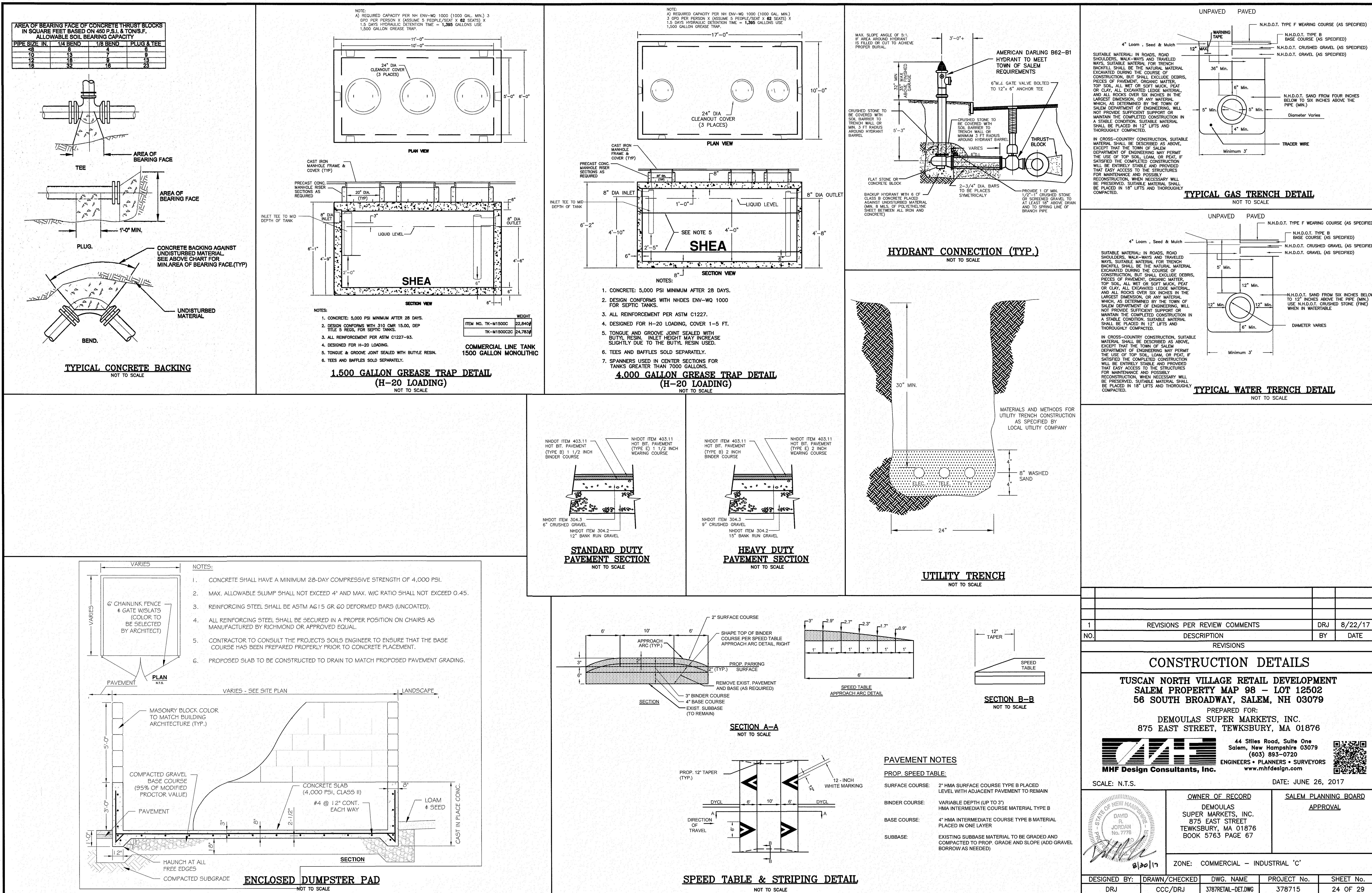


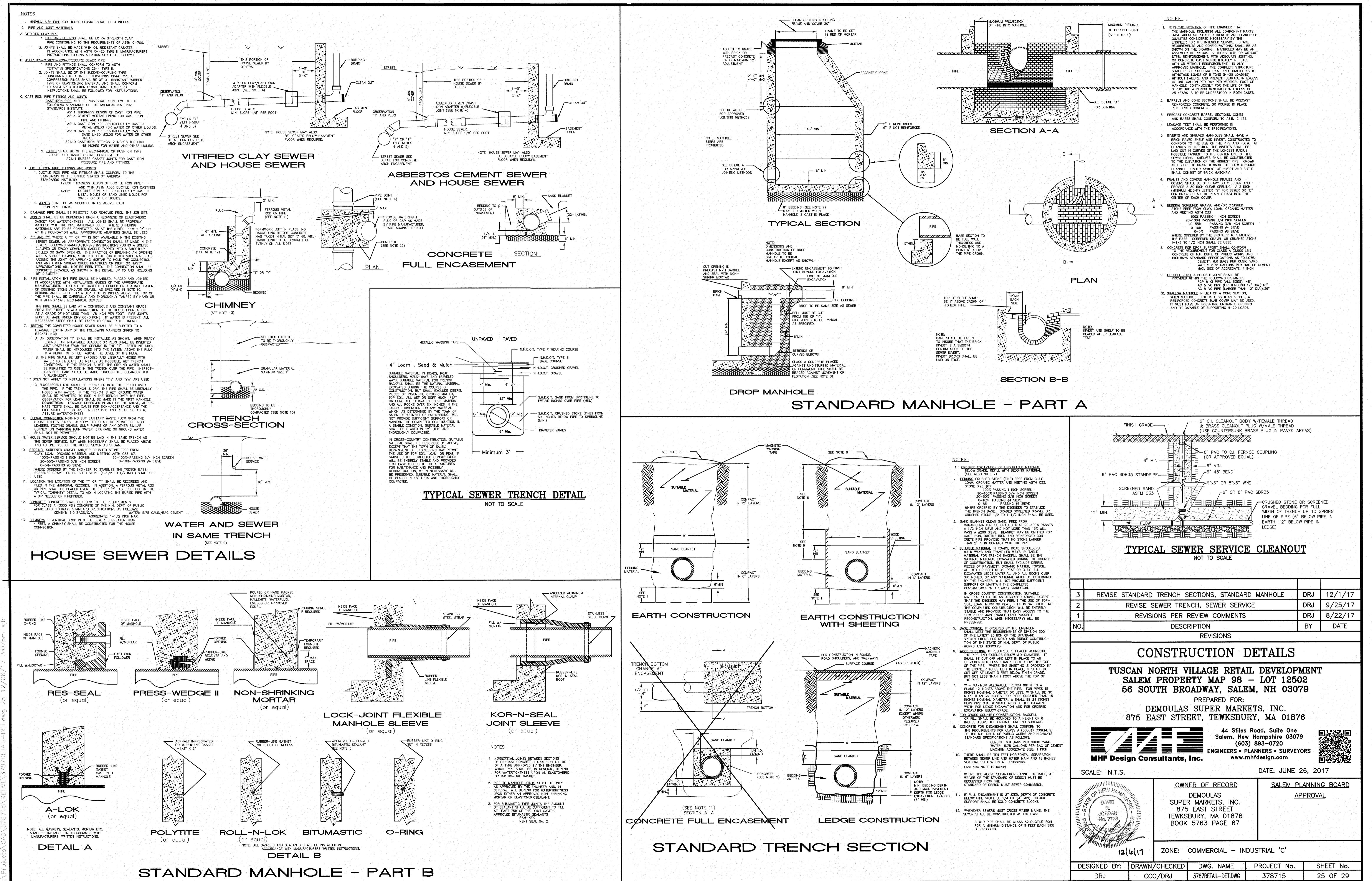


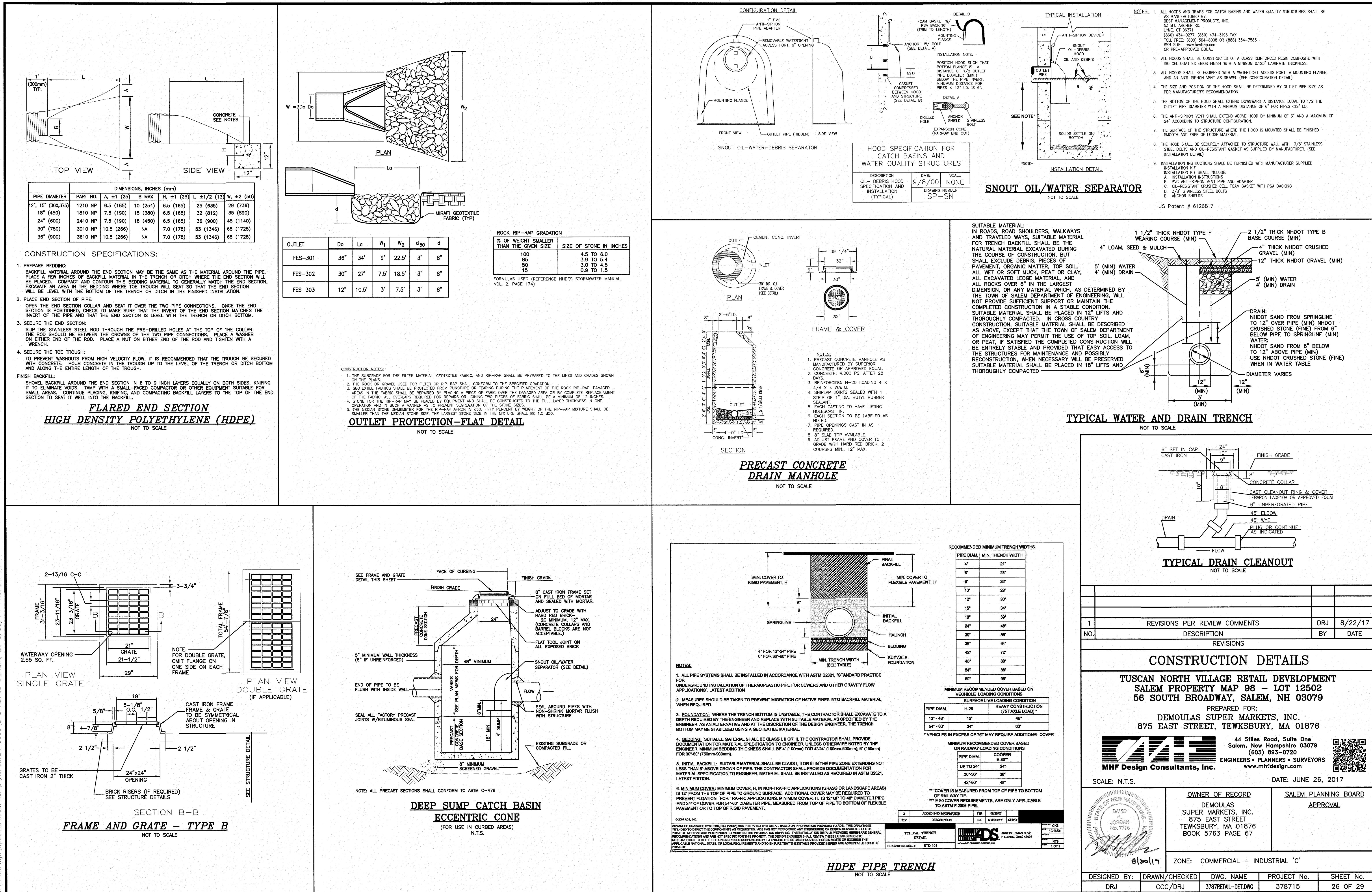
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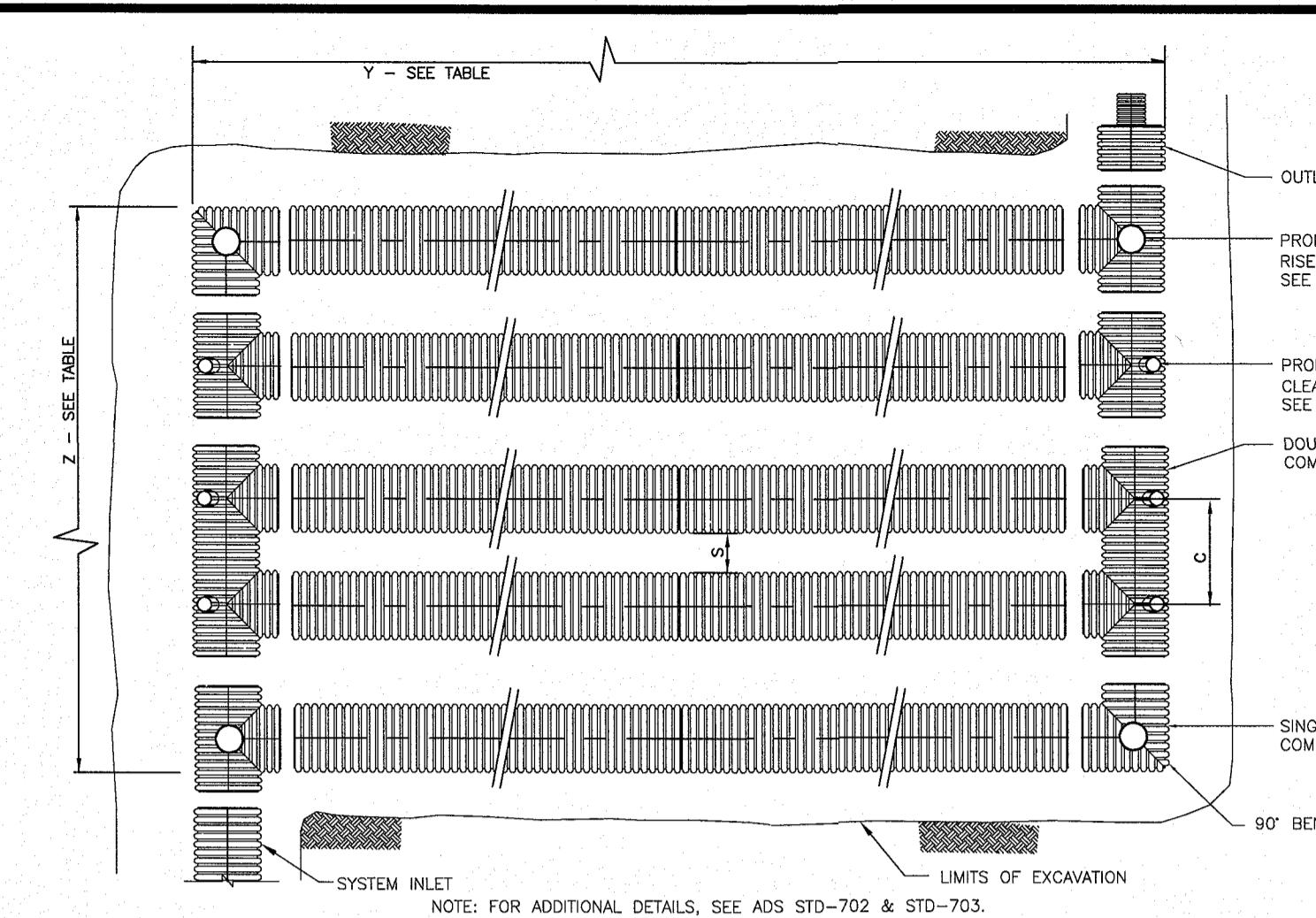
- 1) ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC. OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.
- 2) ELEVATIONS ARE BASED ON NGVD 1929 DATUM.
- 3) ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- 4) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
- 5) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 6) ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE TOWN, STATE AND FEDERAL STANDARDS.
- 7) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
- 8) THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE DOES EXCEED ONE ACRE (ACTUAL DISTURBANCE = 1,160,908 SF).
- 9) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO SALEM POLICE DEPARTMENT AND SALEM MUNICIPAL SERVICES DEPARTMENT, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- 10) ALL ADA ACCESSIBLE WALKWAYS CANNOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE. RAMPS CANNOT EXCEED 8.33% RUNNING SLOPE AND 2% CROSS SLOPE. AND ACCESSIBLE PARKING STALLS AND ACCESS AISLES CANNOT EXCEED 2% SLOPE IN ANY DIRECTION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 11) AN OPERATION AND MAINTENANCE MANUAL HAS BEEN PREPARED FOR THE ON-SITE STORMWATER MANAGEMENT SYSTEMS AND IS CONSIDERED PART OF THIS PLAN SET. THE PROPERTY OWNER SHALL COMPLY WITH THE INSPECTION AND MAINTENANCE SCHEDULE AND RECORD KEEPING REQUIREMENTS CONTAINED THEREIN.











SYSTEM NOTES:

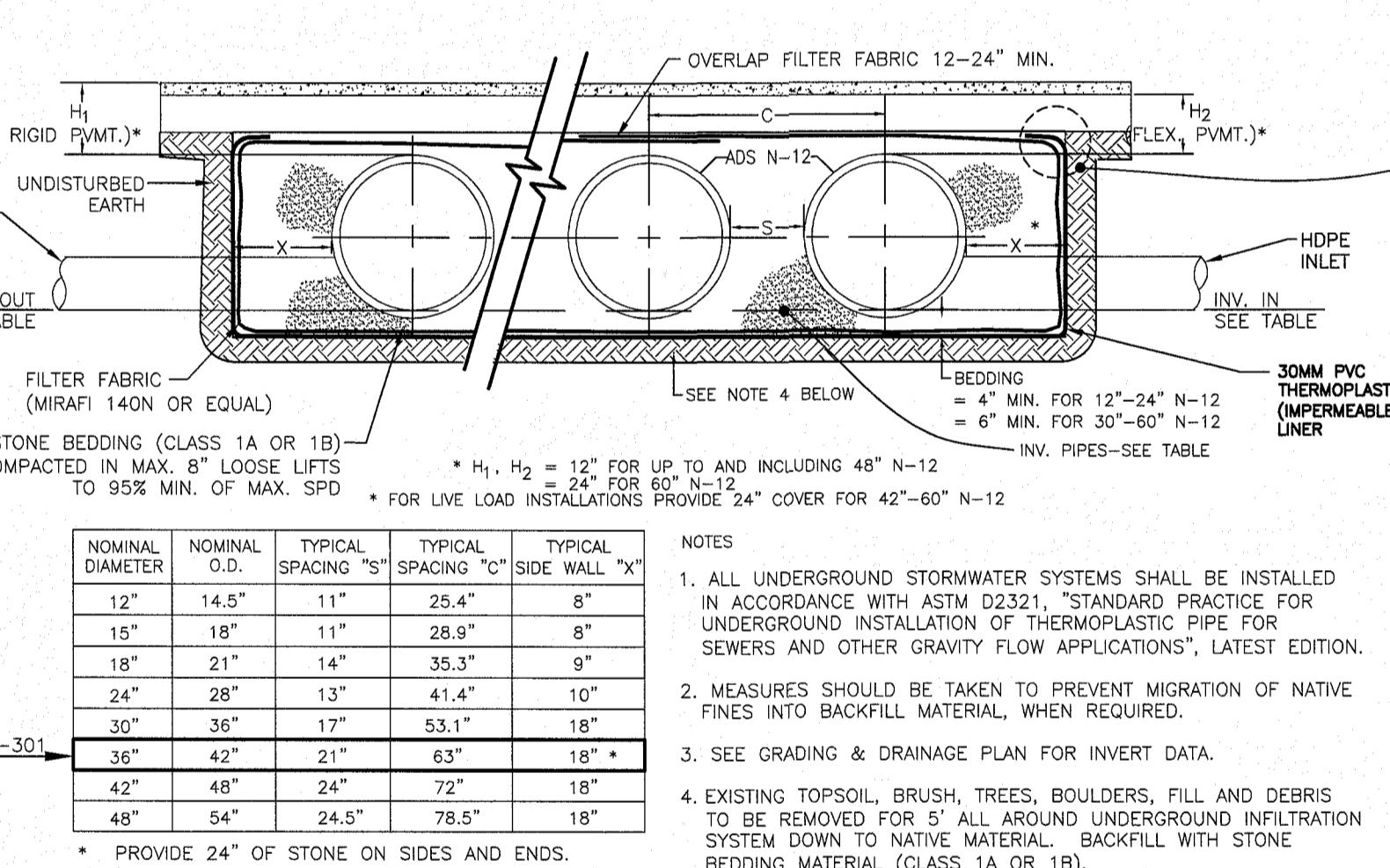
- 1) ALL SYSTEM PIPE MATERIAL SHALL BE PERFORATED CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE, DUAL WALL, SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.
- 2) CONTRACTOR SHOULD CONFIRM SYSTEM PARTS AND OBTAIN SHOP DRAWINGS FROM MANUFACTURER. SUBSTITUTIONS AND SHOP DRAWINGS SHOULD BE APPROVED BY THE ENGINEER.
- 3) PARTS SPECIFICATIONS SHOWN ARE AS PROVIDED BY ADS, INC., OR APPROVED EQUAL. ANY CHANGES TO THESE SPECIFICATIONS SHOULD BE APPROVED BY DESIGN ENGINEER FOR PERFORMANCE.

UNDERGROUND SYSTEM TABLE						
UG INFILTRATION SYSTEM	LENGTH (Y)	WIDTH (Z)	* SPACING (C) (O.C. TYP.)	PIPE SIZE (INCHES)	INV. PIPE ELEV. (A)	# PIPE ROWS
U/G DET-1	157'	129.5'	63"	36" PERF.	126.00	25
						160' x 132.5'

* SEE TYPICAL CROSS SECTIONS BELOW

TYPICAL UNDERGROUND DETENTION SYSTEM LAYOUT

NOT TO SCALE



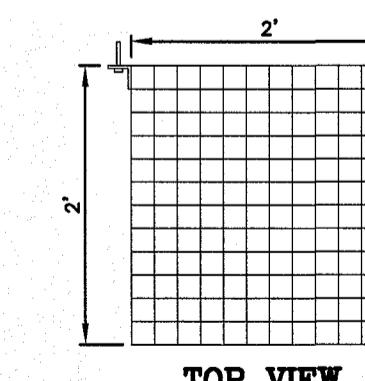
TYPICAL UNDERGROUND SYSTEM CROSS SECTION

NOT TO SCALE

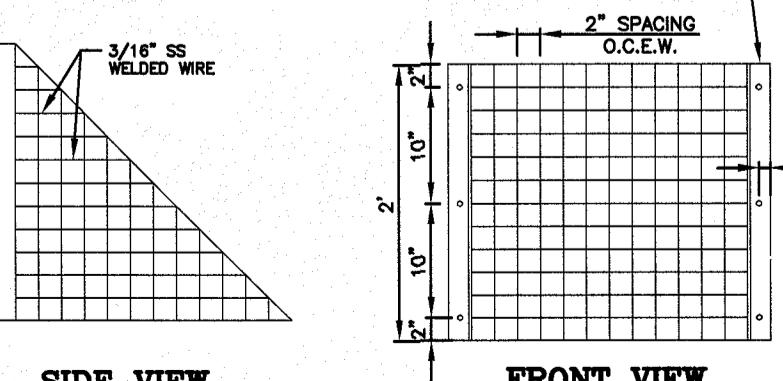
SYSTEM INVERT TABLE			
INV. PIPES = 126.00	BOTTOM STONE = 125.25	INV'S IN = 126.00	INV. OUT = 126.00

NOTES

- 1) THERMOPLASTIC LINER SHALL BE 30 MIL PVC, SOLVENT WELDED, WITH 8 OUNCE ASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE UNDERLAYER AND OVERLAYER.



TOP VIEW



SIDE VIEW

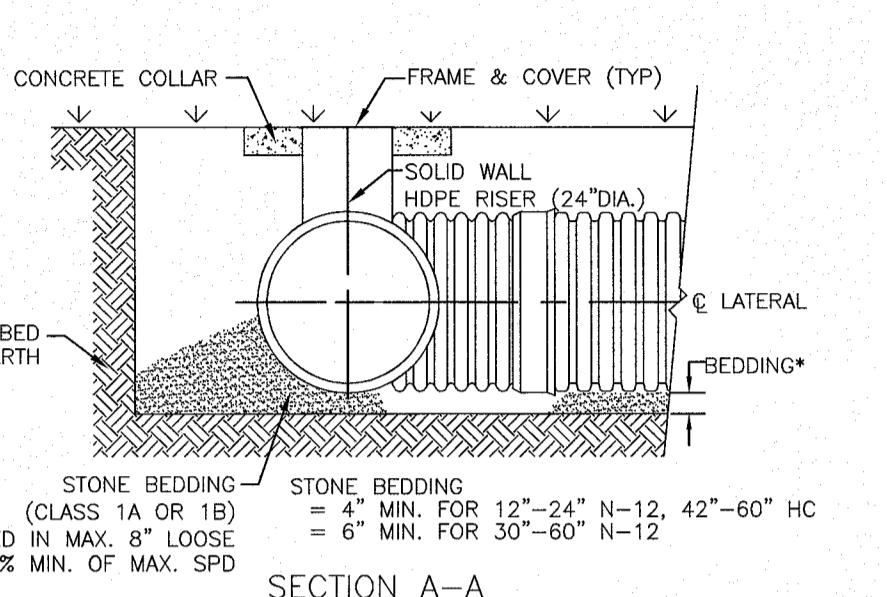
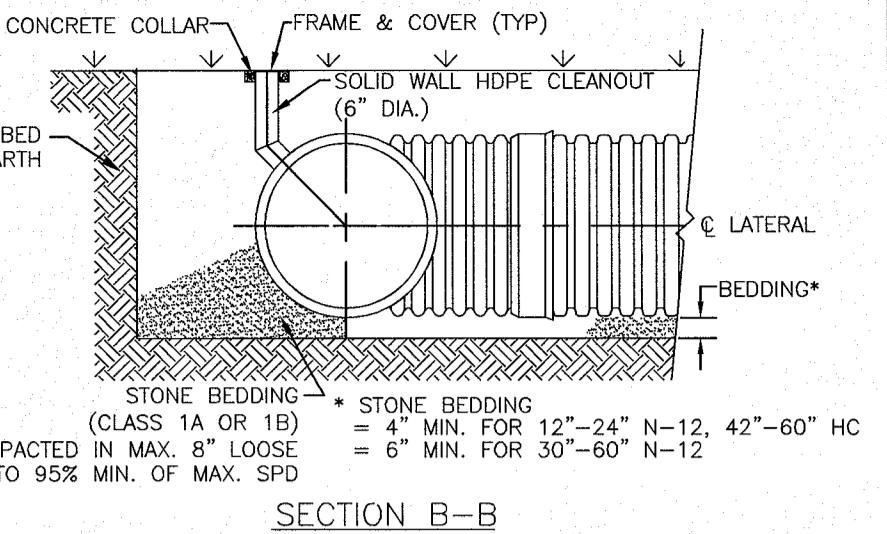
FRONT VIEW

CUSTOM TRASH RACK DETAILS

Table 5-2
Classes of Embedment and Backfill Materials

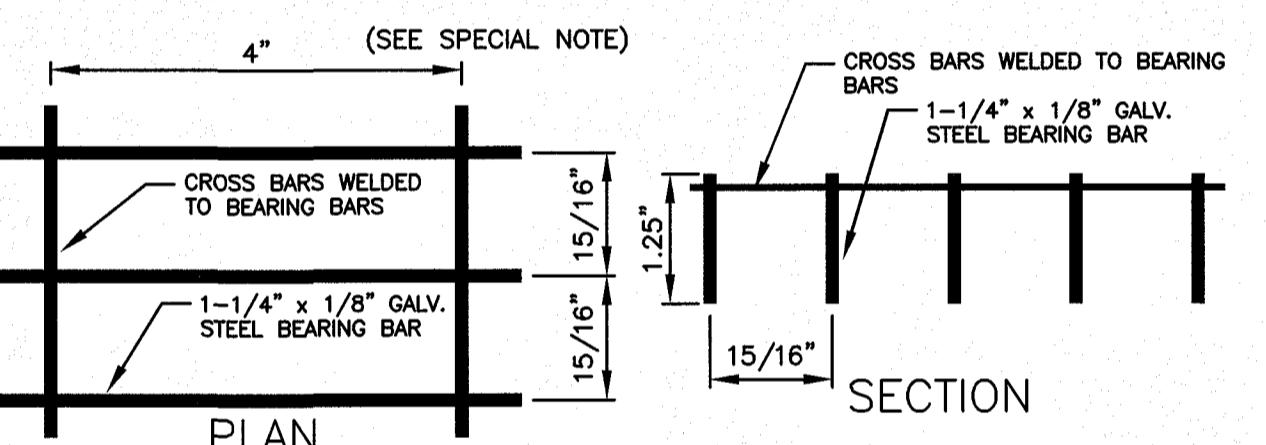
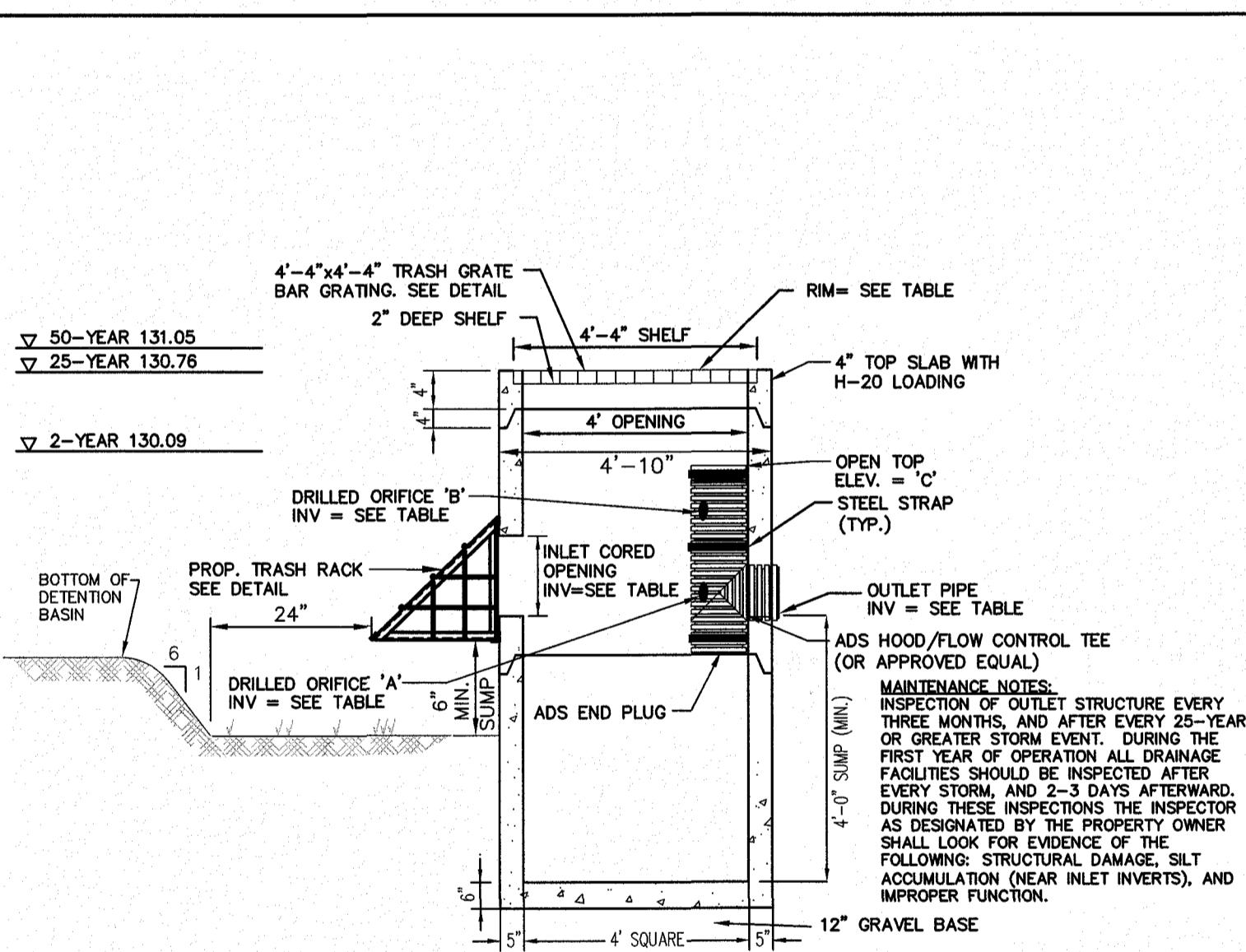
ASTM D2321 ¹ Class	Notation	ASTM C248 Description	ASHTO M2 Notation	Min. Compacted Proctor Test Value (YF)	ASTM D2321 ¹ Percentage Passing Sieve Size (mm) (4.75mm)		Unconfined Compressive Strength CU	Coefficient Cc		
					100%	50%				
I	Open-graded soils manufactured aggregates	N/A	N/A	5	Dumped to Slight	100%	≤10%	>6%	Non Plastic	N/A
II	Demolished aggregate soils manufactured soils	N/A	N/A	56	100%	≤50%	<5%	N/A	Non Plastic	N/A
III	Clear, coarse gravelly soils manufactured soils	GW GP SW SP	GW GP SW SP	57 67	Moderately (85%)	100%	<50% of "Coarse Fraction"	<5%	Non Plastic	>4 ≤4 ≤6 ≤6
IV	Coarse-grained soils bordered clay-rich soils	N/A	N/A	N/A	100%	5% to 12%	N/A	N/A	Same as for GW, GP, SW and SP	N/A
IV-A	Inorganic fine- grained soils	GM GG SM SC	GM GG SM SC	N/A	Moderately (85%)	100%	<50% of "Coarse Fraction"	<5%	N/A	>4 ≤4 ≤4 ≤4
IV-B	Inorganic fine- grained soils	ML CH	ML CH	N/A	N/A	100%	>50%	>50%	N/A	>4 ≤4 ≤4 ≤4
V	Organic soils high organic soils	MH CH OL OH PT	MH CH OL OH PT	N/A	N/A	100%	>50%	>50%	N/A	>4 ≤4 ≤4 ≤4 ≤4

ADS STANDARD DETAILS DISCLAIMER
ADVANCED DRAINAGE SYSTEMS, INC. ("ADS") HAS PREPARED THIS STANDARD DETAIL TO DEMONSTRATE THE RECOMMENDED INSTALLATION OF ITS PRODUCTS FOR THE DESCRIBED APPLICATIONS. ADS' RECOMMENDATIONS THEREIN MAY BE OTHER NATIONAL, STATE OR LOCAL SPECIFICATIONS THAT ARE PERTINENT TO THIS APPLICATION. ADS' STANDARD DETAIL IS NOT INTENDED TO SUPERSEDE ANY NATIONAL, STATE OR LOCAL SPECIFICATIONS, AND ADS RECOMMENDS THAT THOSE REQUIREMENTS BE REVIEWED AND CONSULTED PRIOR TO THE INSTALLATION OF ADS' PRODUCTS. ADS HAS NOT AUTHORIZED, AND IT BEARS NO RESPONSIBILITY FOR, ANY REVISIONS, ALTERATIONS OR DEVIATIONS FROM THIS STANDARD DETAIL."



TYPICAL RISER AND CLEANOUT DETAILS

NOT TO SCALE



TRASH GRATE BAR DETAIL @ OUTLET STRUCTURE

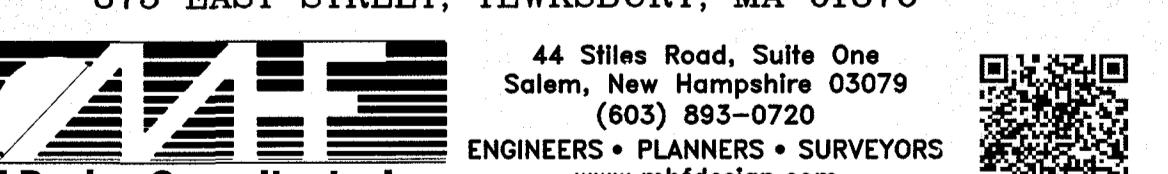
NOT TO SCALE

2	REVISIONS PER AOT COMMENTS	DRJ	11/7/17
1	REVISIONS PER REVIEW COMMENTS	DRJ	8/22/17
NO.	DESCRIPTION	BY	DATE
	REVISIONS		

CONSTRUCTION DETAILS

TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT SALEM PROPERTY MAP 98 - LOT 12502 56 SOUTH BROADWAY, SALEM, NH 03079

PREPARED FOR:
DEMOULAS SUPER MARKETS, INC.
875 EAST STREET, TEWKSBURY, MA 01876



SCALE: N.T.S.	OWNER OF RECORD	SALEM PLANNING BOARD APPROVAL
		ZONE: COMMERCIAL - INDUSTRIAL 'C'
DESIGNED BY: DRJ	DRAWN/CHECKED: CCC/DRJ	DWG. NAME: 3787RETAIL-DET.DWG
PROJECT No. 378715	HEET No. 27 OF 29	

CONCRETE OUTLET CONTROL STRUCTURE #302

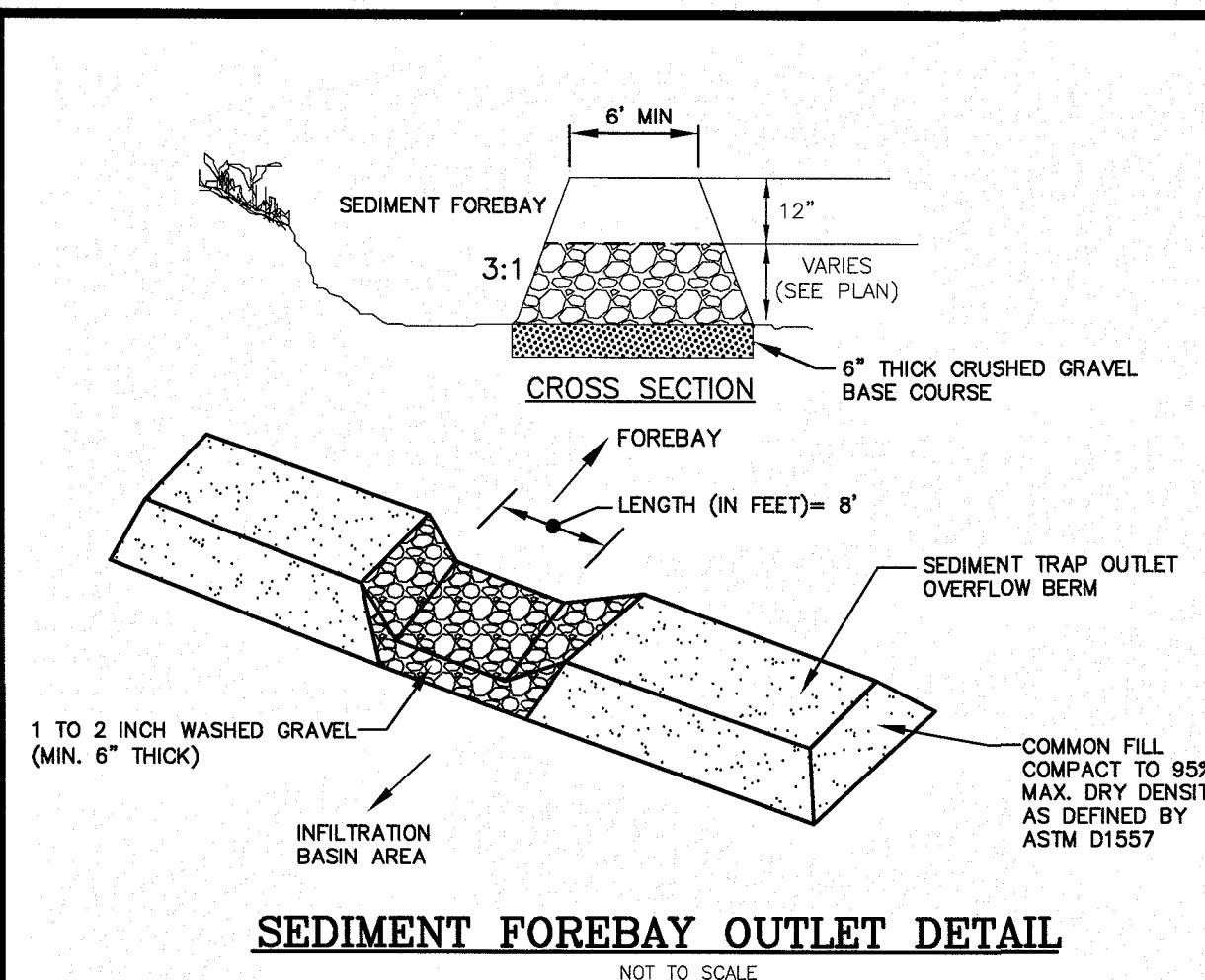
NOT TO SCALE

OUTLET CONTROL STRUCTURE TABLE						
OCS	RIM	ORIFICE SIZE (IN.)	ELEV.	INV.IN (SIZE)	INV.OUT (SIZE)	INV.OUT (ELEV.)
#302	131.00	A 2" DIA.	128.00			
		B 6" x 24"	123.45			
		C 18" DIA.	129.80	24"	18"	128.00

NOTES:
1. PRECAST CONCRETE MANHOLE AS MANUFACTURED BY SUPERIOR CONCRETE OR APPROVED EQUAL.
2. CONCRETE: 4,000 PSI AFTER 28 DAYS.
3. REINFORCING: H-20 LOADING, 4 x 4/4 x 4 W.W.M. SLAB TOP -NO. 5'S.
• 6" O.C.
4. SHIPLAP JOINTS SEALED WITH 1 STRIP OF 1" DIA BUTYL RUBBER SEALANT.
5. EACH CASTING TO HAVE LIFTING HOLES CAST IN.
6. LENGTH AND DIAMETER OF TEE VARIES WITH PIPE.

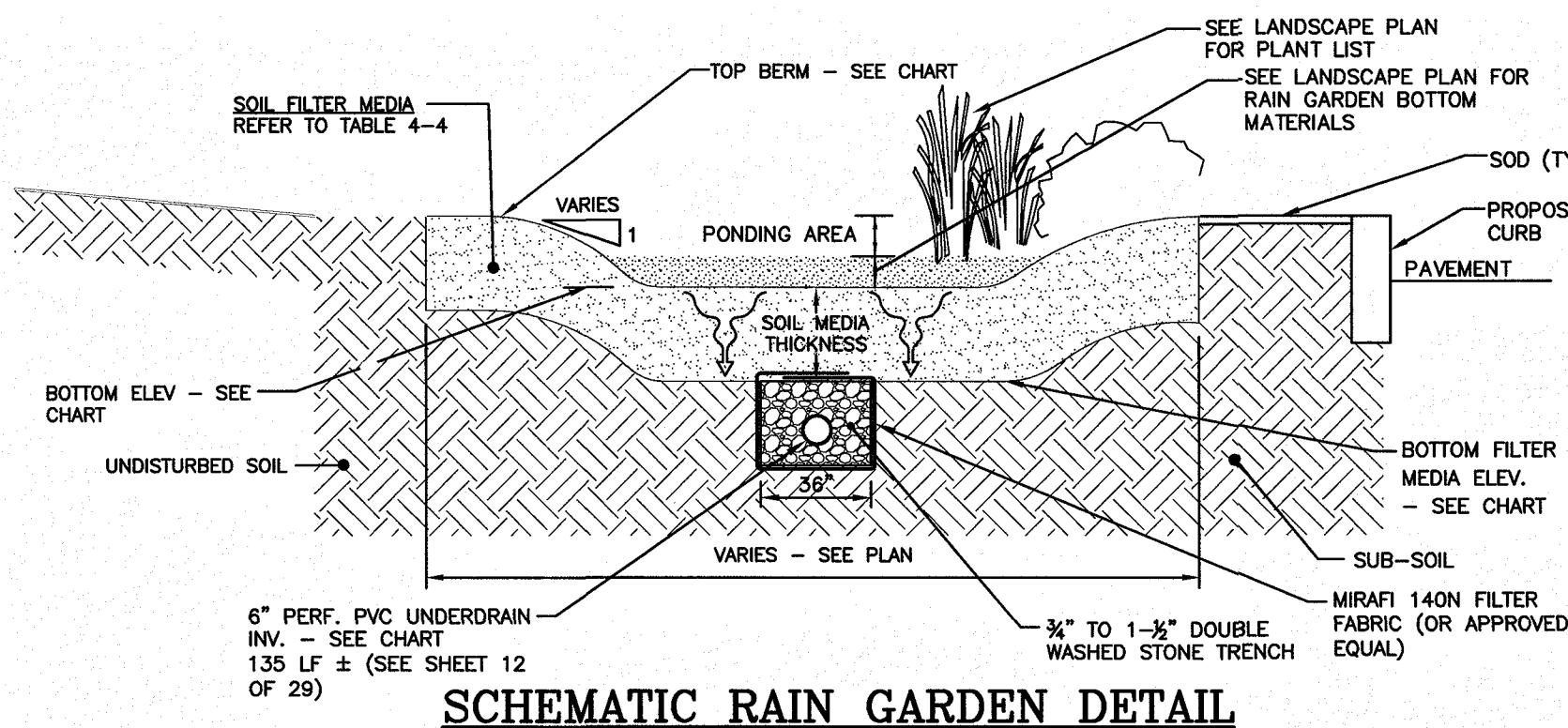
CONCRETE OUTLET CONTROL STRUCTURE #302

NOT TO SCALE



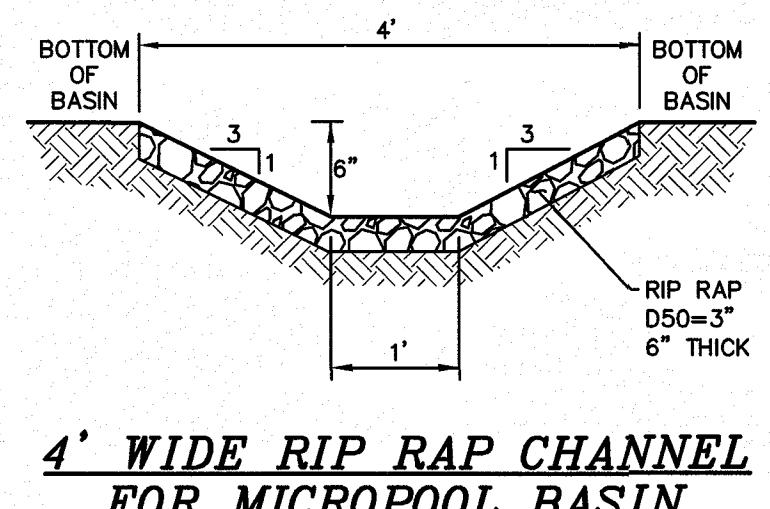
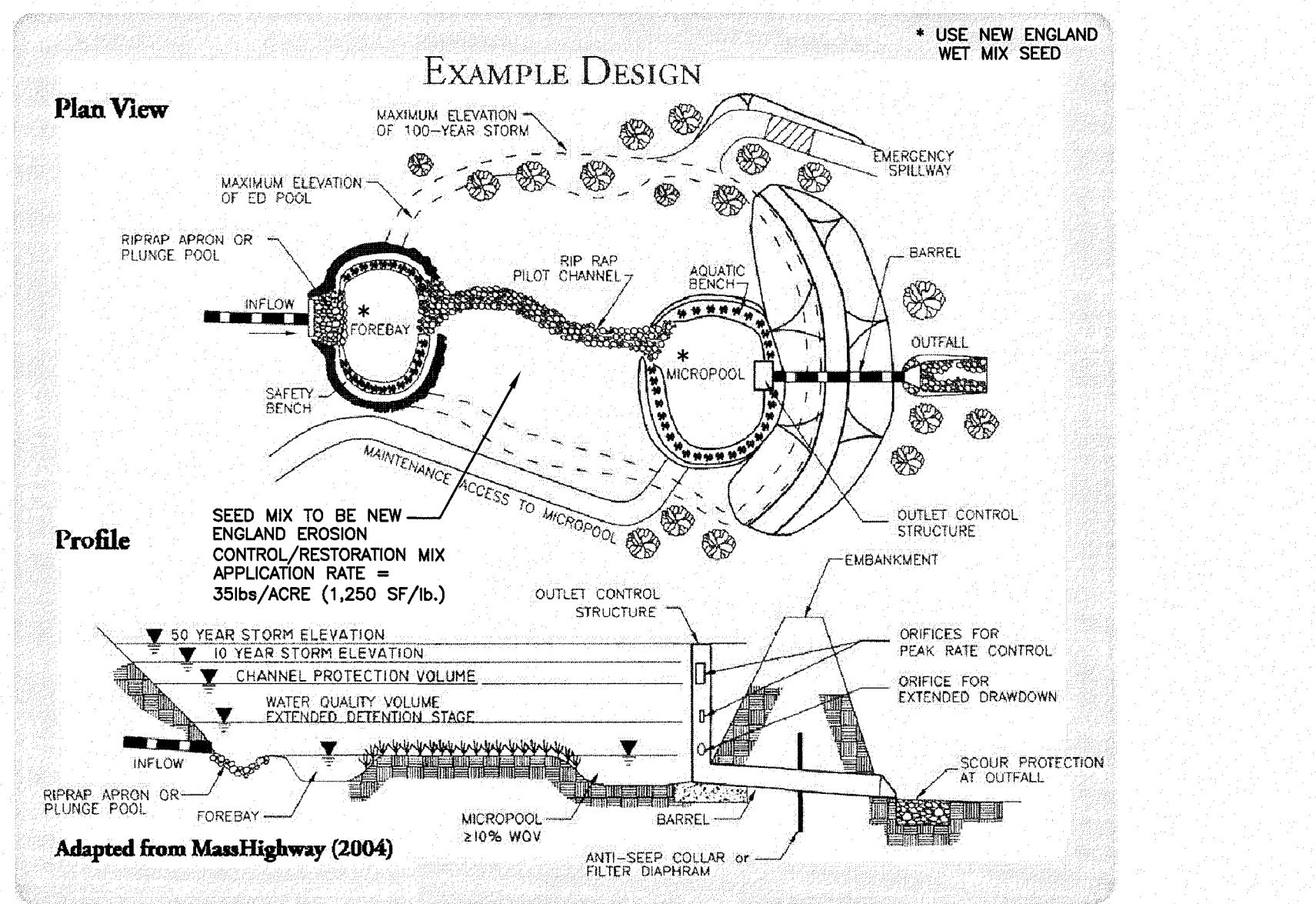
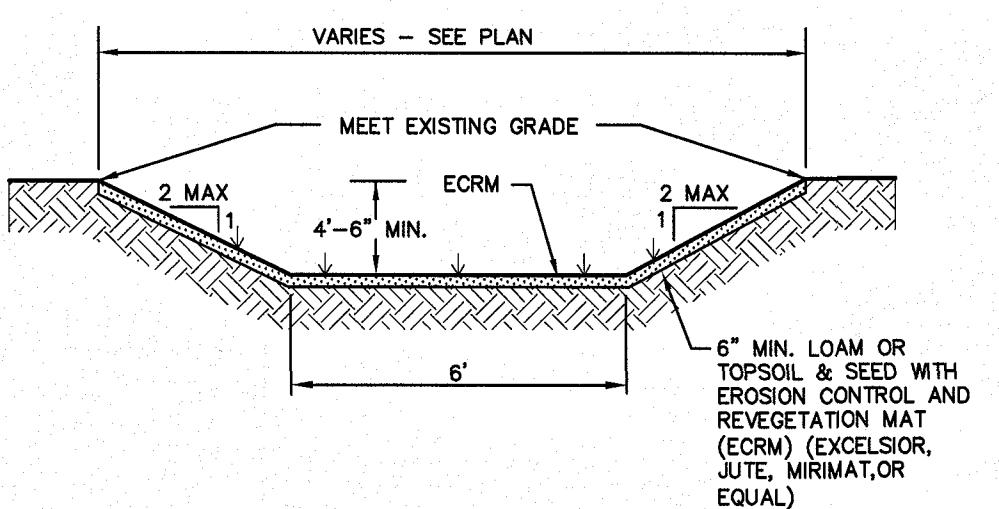
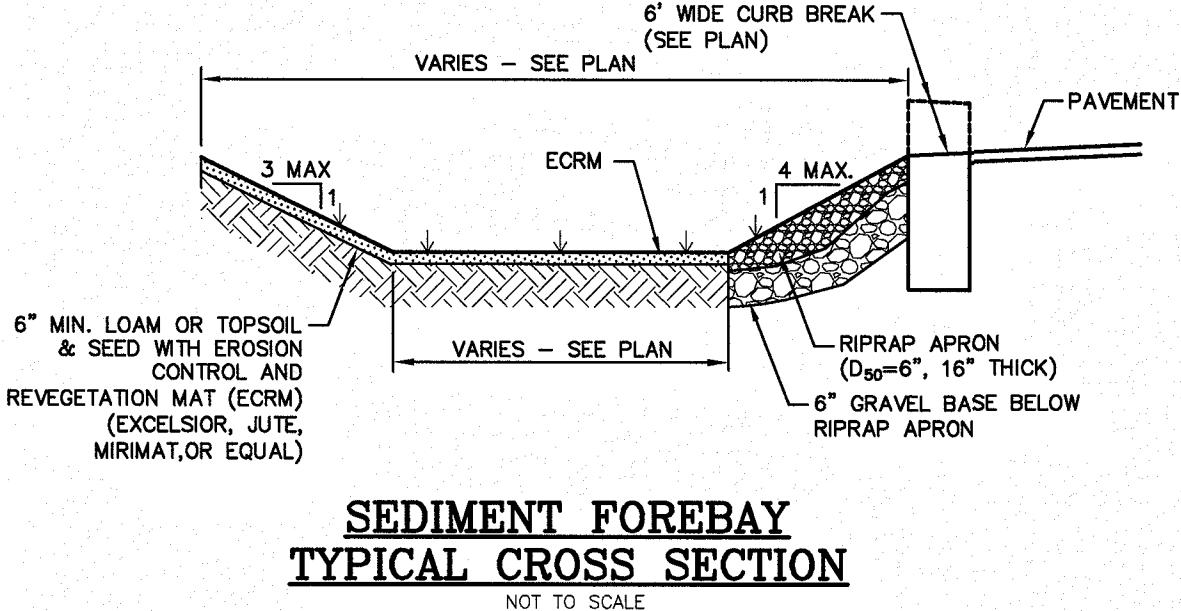
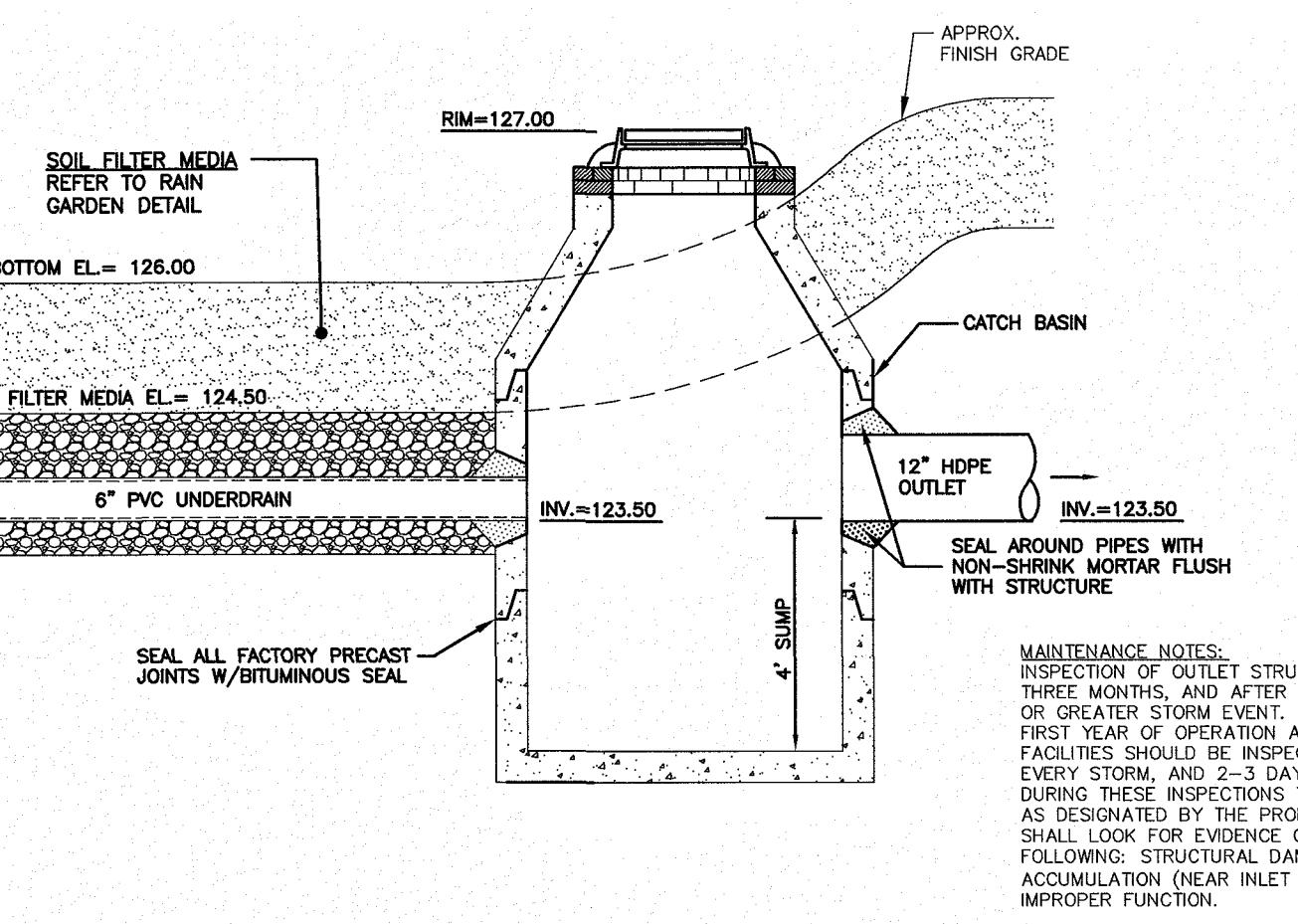
Component Material	Gradation of Material		
	Percent of Mixture by Volume	Sieve No.	Percent by Weight Passing Standard Sieve
Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
Filter Media Option B			
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
	70 to 80	10	85 to 100
		20	70 to 100
		60	15 to 40
		200	8 to 15

NOTES:
FOR ADDITIONAL INFORMATION REFER TO THE NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 2, POST-CONSTRUCTION BEST MANAGEMENT PRACTICES, DECEMBER 2008.

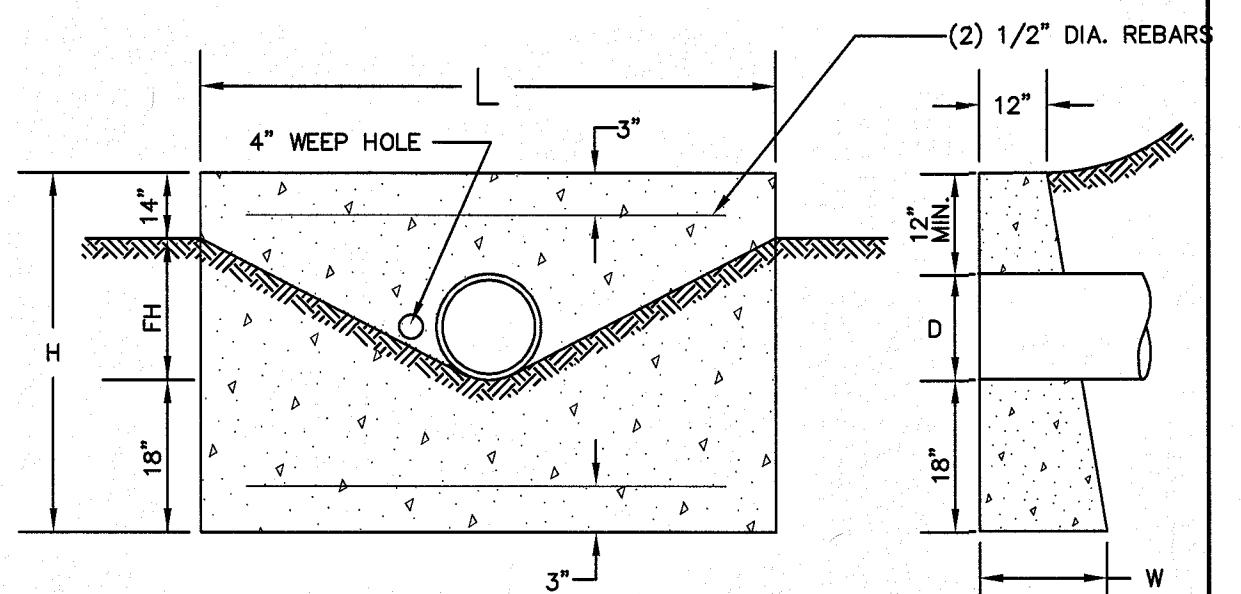


RAIN GARDEN AREA	TOP BERM ELEVATION	BASIN BOTTOM ELEVATION	SOIL MEDIA THICKNESS	BOTTOM FILTER MEDIA ELEV.	UNDERDRAIN ELEV.
R.G. #301	127.30	126.00	18"	124.50	123.50

RAIN GARDEN PROFILE AND OUTLET STRUCTURE DETAIL
NOT TO SCALE



MAS. PER STD. H.D.R.	STEEL PER STD. H.D.R. LB.	LENGTH OF BARS	L	H	FH	W
12	.61	9	3'-2"	3'-8"	0'-10"	0'-10"
15	.85	11	3'-10	4'-6	3'-9	1'-1
18	1.13	14	5'-2	5'-6	4'-0	1'-4
24	1.78	20	7'-2	7'-6	4'-6	1'-10
30	2.58	25	9'-2	9'-8	5'-0	2'-4
36	3.53	31	11'-2	11'-6	5'-6	2'-10
42	4.65	36	13'-2	13'-6	6'-0	3'-4
48	5.95	42	15'-2	15'-6	6'-6	3'-10

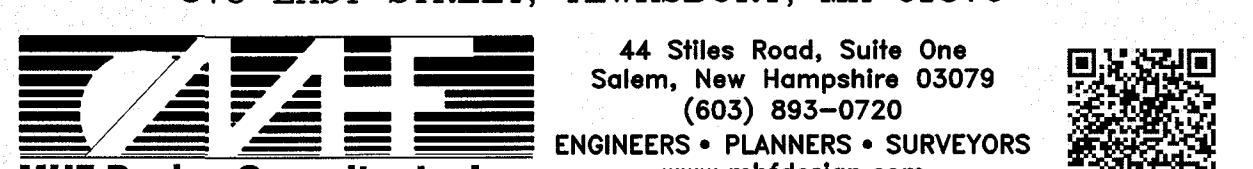


4	REVISIONS PER AOT COMMENTS	DRJ	11/7/17
3	REVISE RIP RAP CHANNEL LABEL	DRJ	9/25/17
2	REVISIONS PER REVIEW COMMENTS	DRJ	9/15/17
1	REVISIONS PER REVIEW COMMENTS	DRJ	8/22/17
NO.	DESCRIPTION	BY	DATE

CONSTRUCTION DETAILS

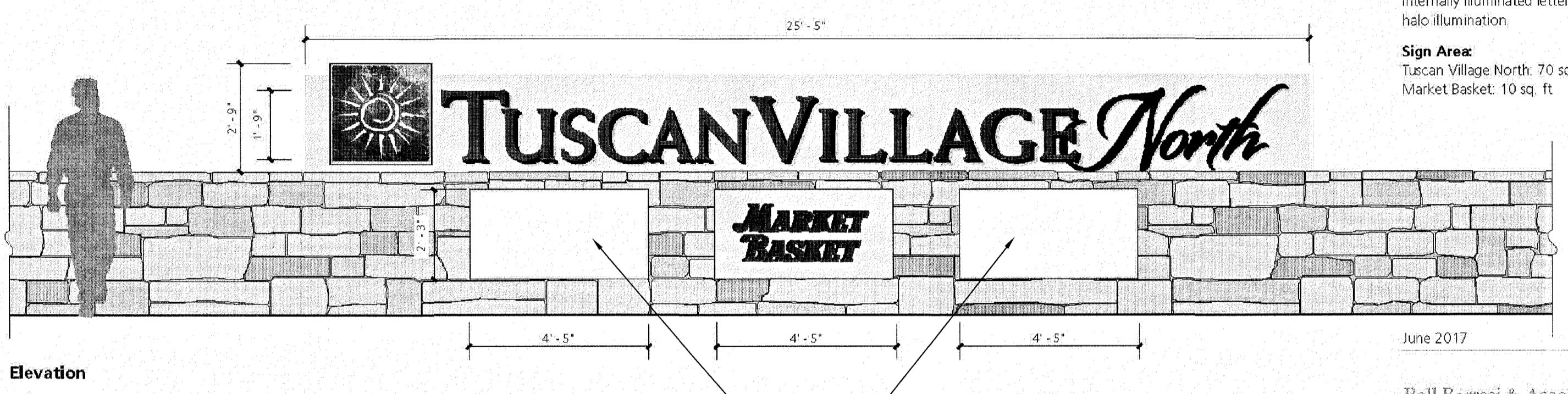
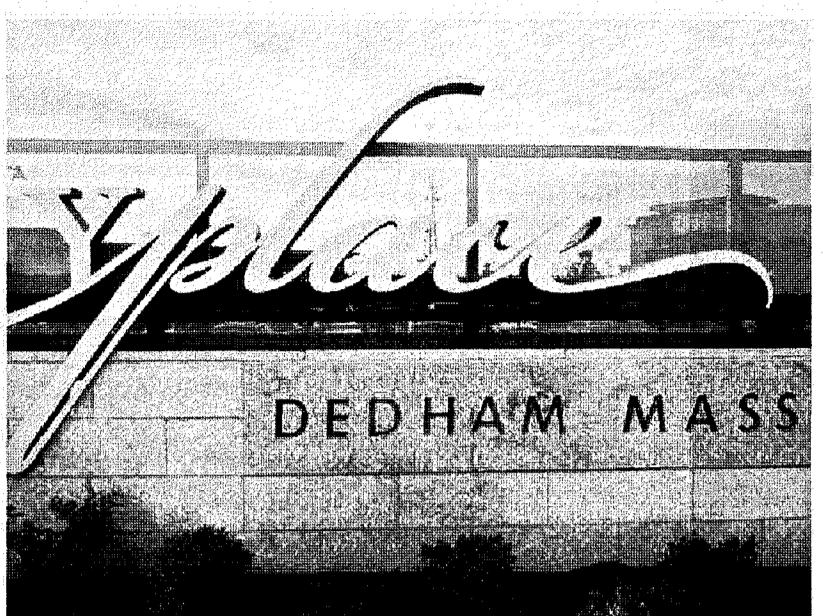
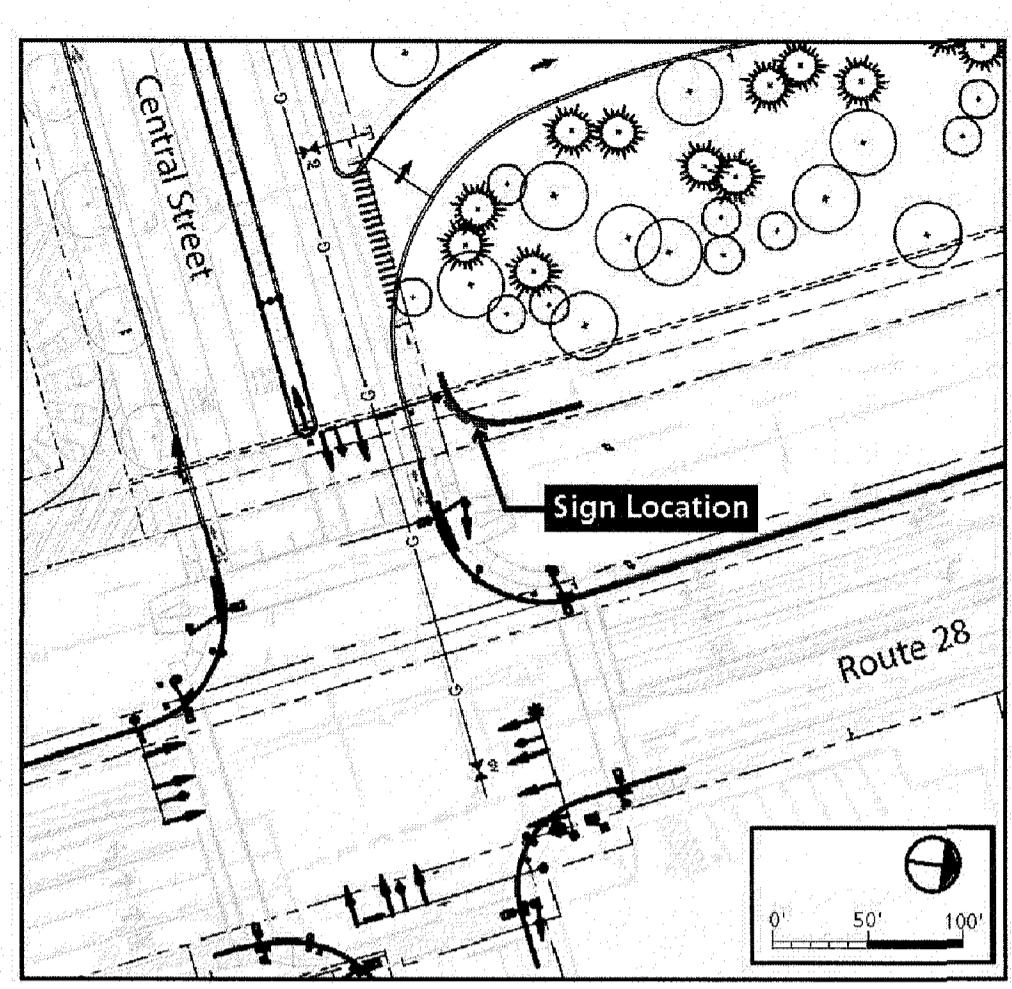
TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT
SALEM PROPERTY MAP 98 – LOT 12502
56 SOUTH BROADWAY, SALEM, NH 03079

PREPARED FOR:
DEMOLAS SUPER MARKETS, INC.
875 EAST STREET, TEWKSBURY, MA 01876



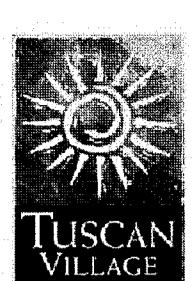
SCALE: N.T.S.	OWNER OF RECORD	SALEM PLANNING BOARD		
	DEMOLAS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67	APPROVAL		
11/1/17	ZONE: COMMERCIAL – INDUSTRIAL 'C'			
DESIGNED BY: DRJ	DRAWN/CHECKED: CCC/DRJ	DWG. NAME: 378715.DWG	PROJECT No.: 378715	SHEET No.: 28 OF 29

NO.	DESCRIPTION	BY	DATE
1	REVISIONS PER REVIEW COMMENTS	DRJ	8/22/17
REVISIONS			
CONSTRUCTION DETAILS			
TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT SALEM PROPERTY MAP 98 - LOT 12502 56 SOUTH BROADWAY, SALEM, NH 03079 PREPARED FOR: DEMOULAS SUPER MARKETS, INC. 875 EAST STREET, TEWKSBURY, MA 01876			
<p>44 Stiles Road, Suite One Salem, New Hampshire 03079 (603) 893-0720</p> <p>ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com</p> <p>SCALE: N.T.S.</p> <p>OWNER OF RECORD DEMOULAS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67</p> <p>APPROVAL</p> <p>DATE: JUNE 26, 2017</p>			
<p>DESIGNED BY: DRAWN/CHECKED DWG. NAME PROJECT No. SHEET No.</p> <p>DRJ CCC/DRJ 3787RETAIL-DET.DWG 378715 28A OF 29</p>			



Elevation

Scale: 3/8" = 1'-0"



Tuscan Village North

Monument Wall with Tenant Directory

Description:

Individual dimensional letters and logo with internal illuminated faces and halo illumination, mounted to aluminum backer.

Tenant directory panels set into stone wall with opaque painted aluminum sign faces and push thru internally illuminated letters.

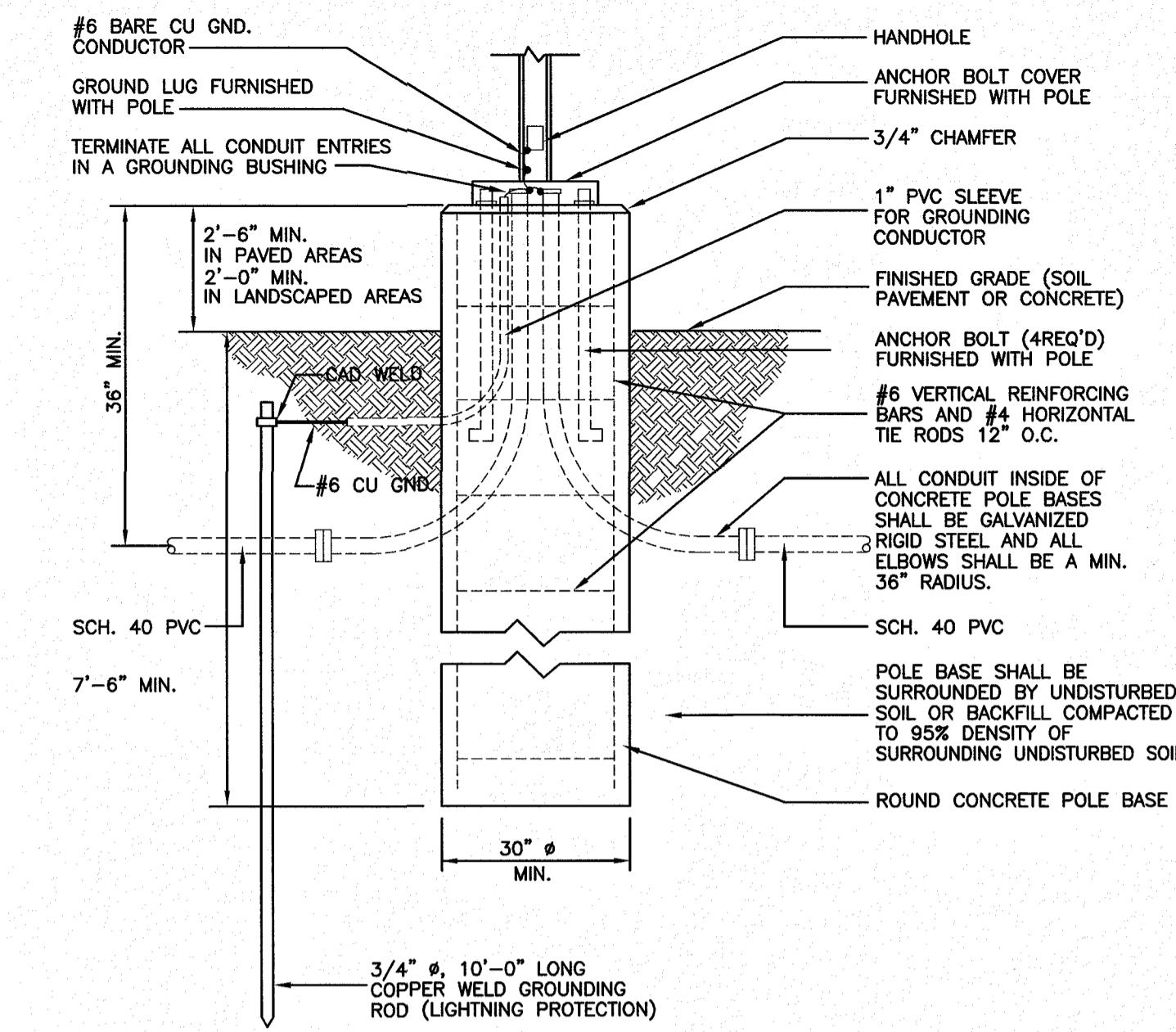
Illumination:

Internally illuminated letters and halo illumination.

Sign Area:

Tuscan Village North: 70 sq. ft.
Market Basket: 10 sq. ft

June 2017
Roll Barresi & Associates
48 Dunster Street
Cambridge, Massachusetts 02138
t: 617-968-5480 f: 617-497-9603
www.rbarresi.com



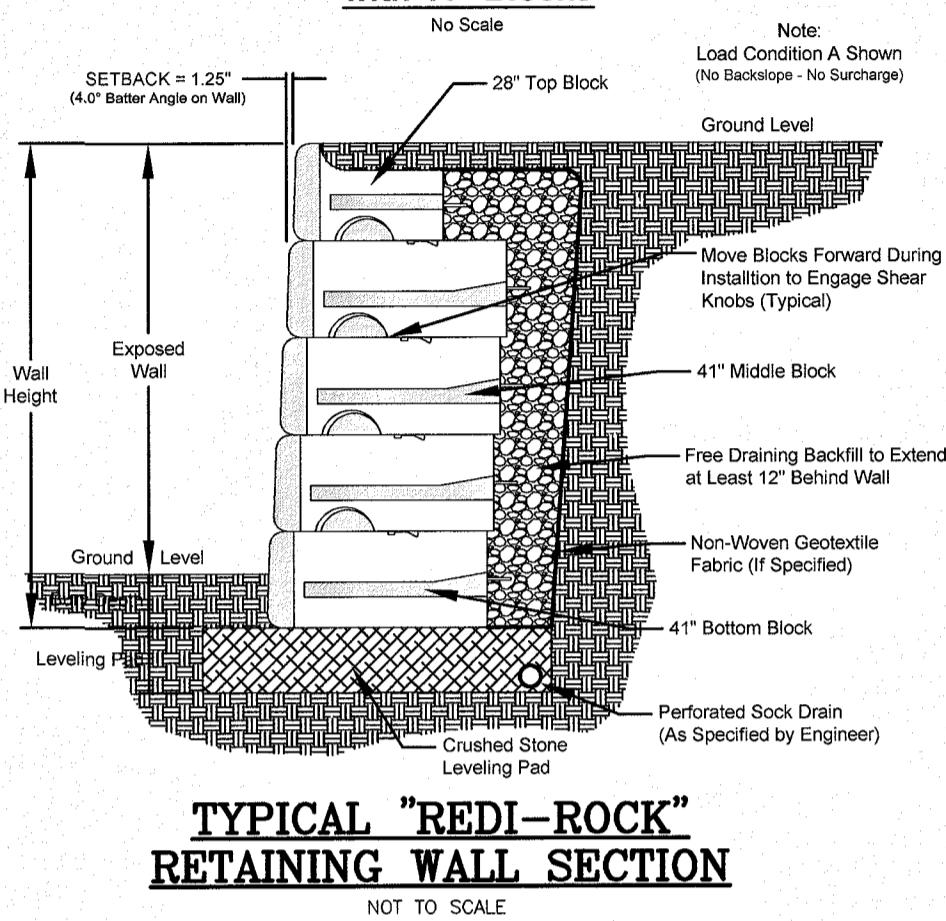
LIGHT POLE BASE
NOT TO SCALE

THE CONTRACTOR SHALL SUBMIT FOR APPROVAL PRIOR TO START OF CONSTRUCTION A RETAINING WALL DESIGN UTILIZING THE "REDI-ROCK" WALL, PREPARED BY AND CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER CONFORMING TO LOCAL, STATE AND FEDERAL REQUIREMENTS.

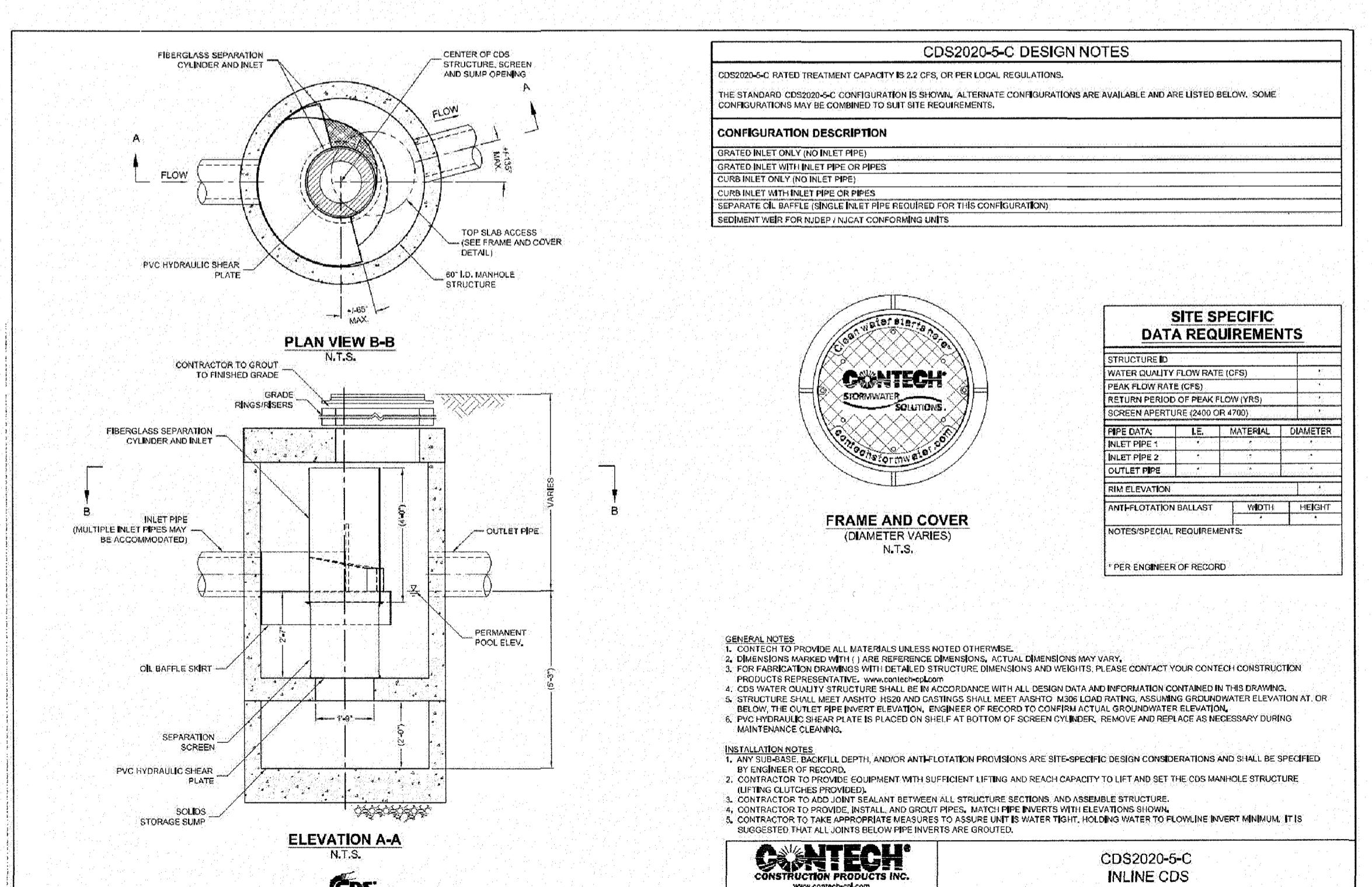
See Redi-Rock.com for Detailed Section Drawings of Each Condition Shown in the Design Charts

PROTECTIVE FENCING TO BE INSTALLED WHEN REQUIRED BY STATE/LOCAL CODE

Typical Gravity Wall with 41" Blocks



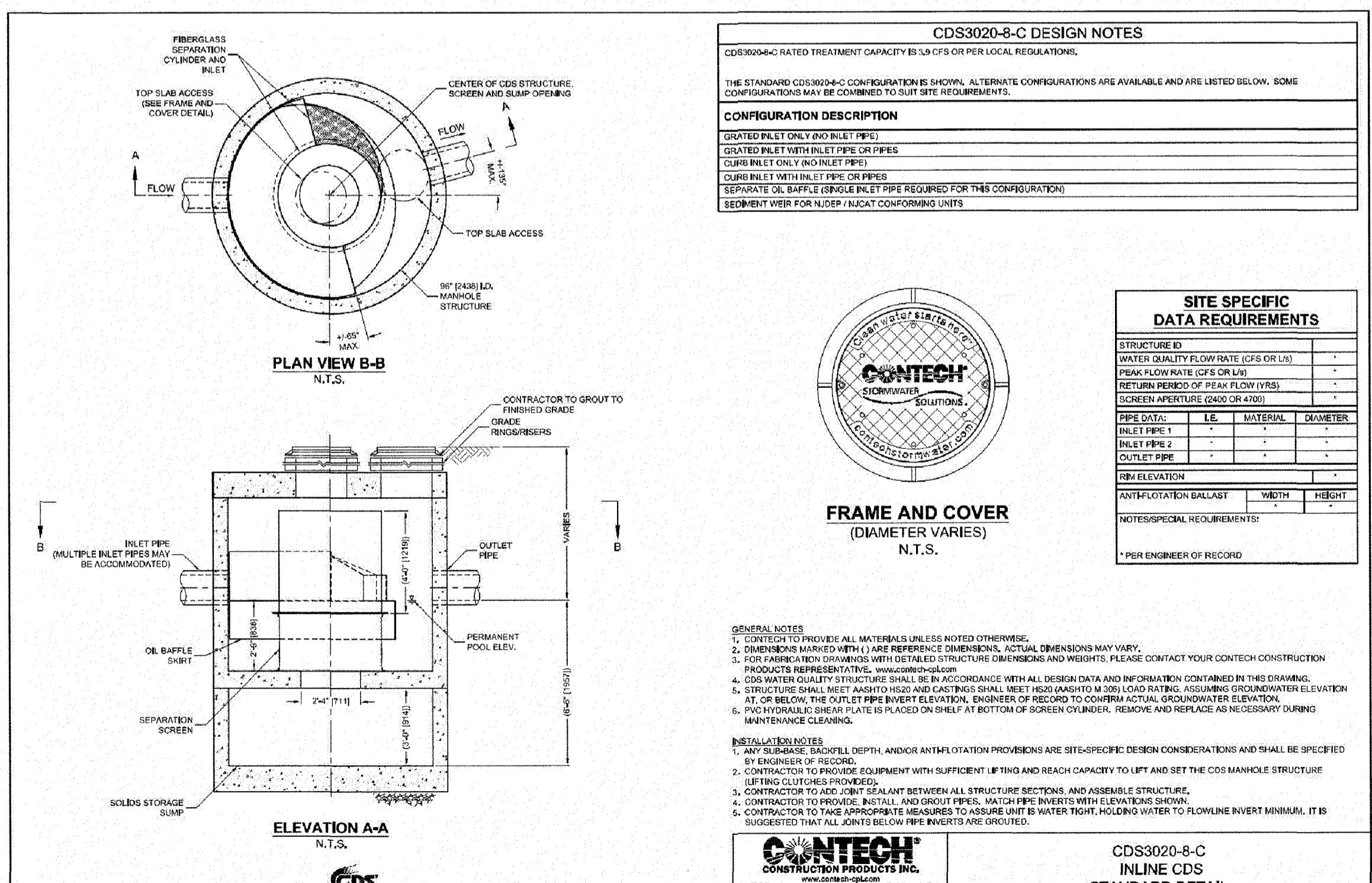
TYPICAL "REDI-ROCK" RETAINING WALL SECTION
NOT TO SCALE



**INLINE CDS STANDARD DETAIL (CB-334 & CB-335)
(OR APPROVED EQUAL)**

NOT TO SCALE

NOTE: CONTRACTOR SHOULD CONFIRM SYSTEM PARTS AND OBTAIN SHOP DRAWINGS FROM MANUFACTURER PRIOR TO CONSTRUCTION.



**INLINE CDS STANDARD DETAIL (DMH-311)
(OR APPROVED EQUAL)**

NOT TO SCALE

NOTE: CONTRACTOR SHOULD CONFIRM SYSTEM PARTS AND OBTAIN SHOP DRAWINGS FROM MANUFACTURER PRIOR TO CONSTRUCTION.

NO.	DESCRIPTION	REVISIONS	BY	DATE
2	UPDATE CDS DETAILS	DRJ	9/25/17	
1	REVISIONS PER REVIEW COMMENTS	DRJ	8/22/17	

CONSTRUCTION DETAILS

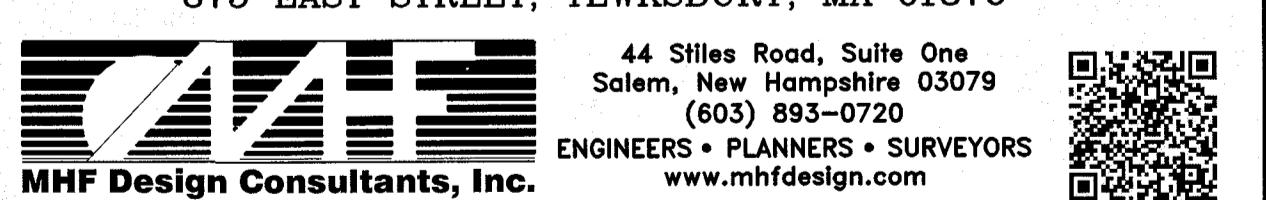
**TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT
SALEM PROPERTY MAP 98 - LOT 12502
56 SOUTH BROADWAY, SALEM, NH 03079**

PREPARED FOR:

DEMOULAS SUPER MARKETS, INC.
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44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 883-0720

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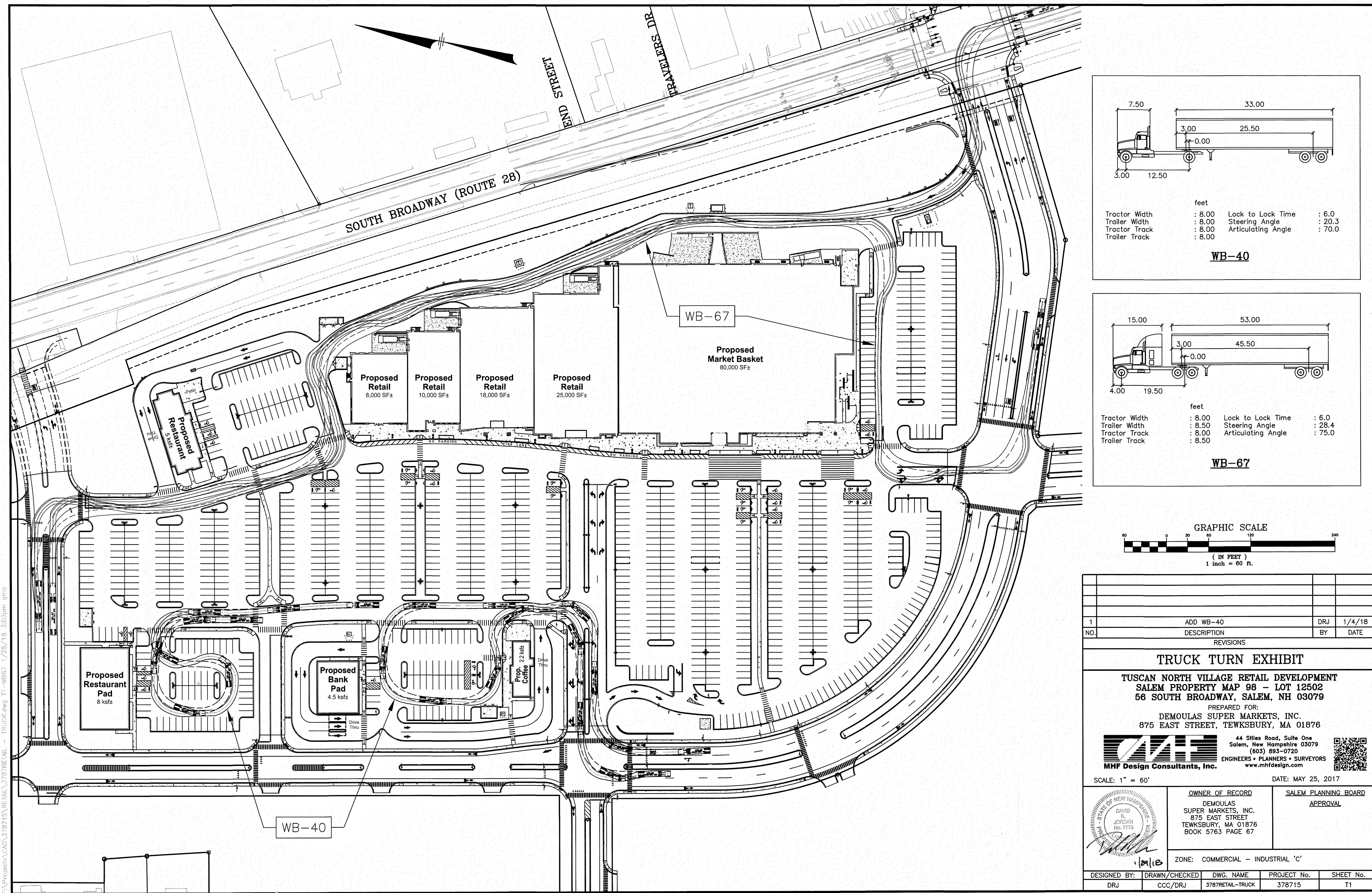


SCALE: N.T.S. DATE: JUNE 26, 2017

OWNER OF RECORD	SALEM PLANNING BOARD
DEMOULAS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67	APPROVAL
<i>[Signature]</i> DAVID R. JORDAN NO. 7778	<i>[Signature]</i>

ZONE: COMMERCIAL - INDUSTRIAL 'C'

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
DRJ	CCC/DRJ	3787RETAIL-DET.DWG	378715	29 OF 29



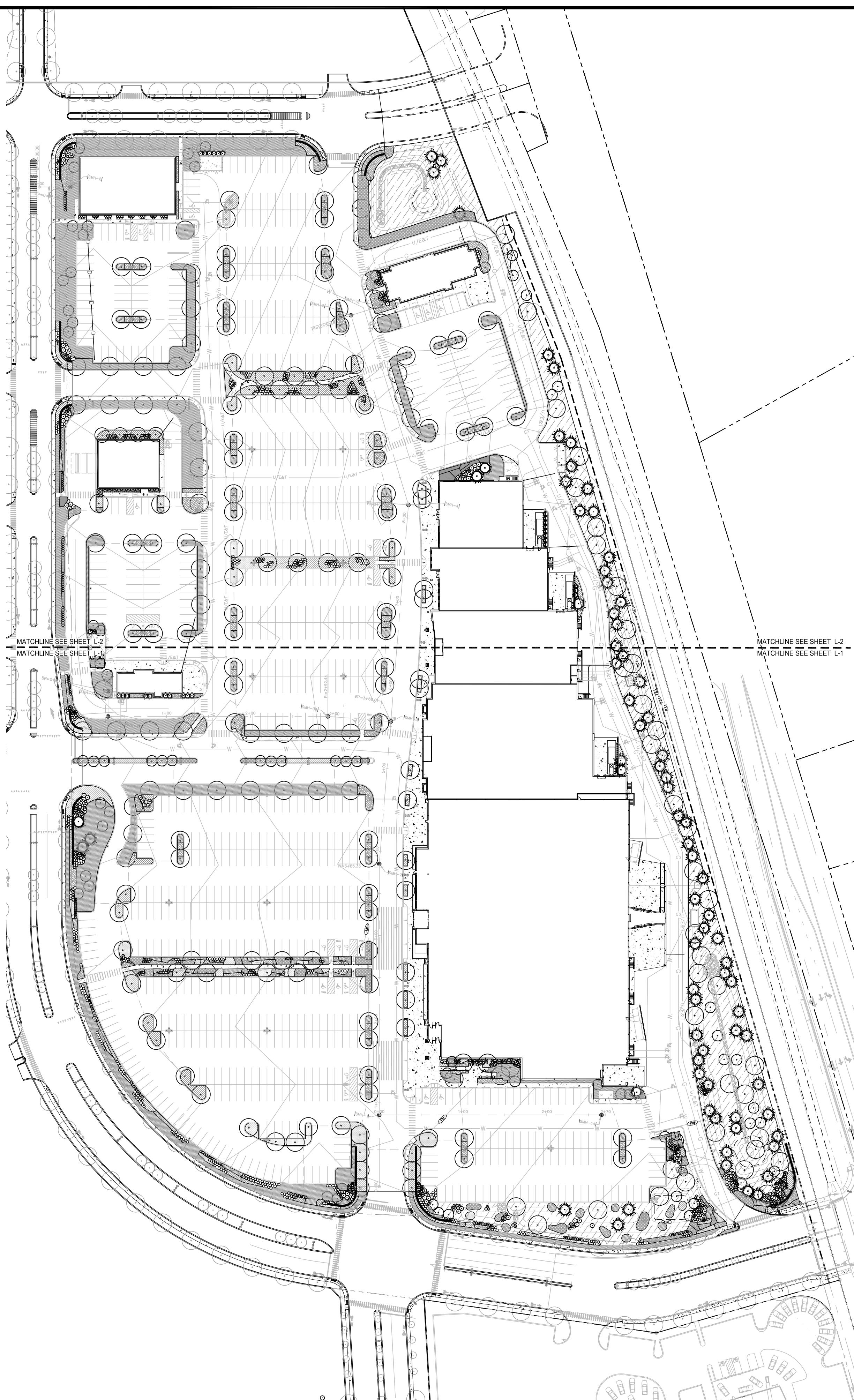
GENERAL LANDSCAPE PLANTING SCHEDULE

KEY	QNTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
TREES					
AC FR	51	Acer x freemanii 'Autumn Blaze'	Freeman Maple	3"-3.5" Cal.	B&B; matched
AC RU	6	Acer rubrum 'October Glory'	October Glory Red Maple	3"-3.5" Cal.	B&B; matched
AM CA	45	Amelanchier canadensis	Serviceberry	10'-12' Ht	B&B; multi-stem, 3-6 stems typ.
BE NI	32	Betula nigra 'Heritage'	Heritage River Birch	2"-2.5" Cal.	B&B; multi-stem
CR VI	19	Crataegus viridis 'Winter King'	Winter King Hawthorn	2.5"-3" Cal.	B&B; matched
JU VI	15	Juniper virginiana	Eastern Red Cedar	8'-10' Ht	B&B; matched
LA LA	7	Larix laricina	American Larch	2.5"-3" Cal.	B&B; matched
LI ST	25	Liquidambar styraciflua 'Rotundiloba'	Rotundiloba Sweetgum	2.5"-3" Cal.	B&B; matched
ME GL	5	Metasequoia glyptostroboides	Dawn redwood	8'-10' Ht	B&B; matched
NY SY	8	Nyssa sylvatica	Black Gum	2.5"-3" Cal.	B&B; matched
PI AB	36	Picea abies	Norway Spruce	8'-10' Ht	B&B; matched
PI OM	17	Picea omorika	Serbian Spruce	8'-10' Ht	B&B; matched
QU BI	14	Quercus bicolor	Swamp White Oak	3"-3.5" Cal.	B&B; matched
QU PA	15	Quercus palustris	Pin Oak	3"-3.5" Cal.	B&B; matched
QU RU	12	Quercus rubrum	Red Oak	3"-3.5" Cal.	B&B; matched
TH HO	31	Thuja occidentalis 'Holmstrup'	Holmstrup Arborvitae	5'-7' Ht	B&B; matched
UL AM	64	Ulmus americana 'Princeton'	Princeton Elm	3"-3.5" Cal.	B&B; matched
SHRUBS					
Ar ar	32	Aronia arbutifolia 'Brilliantissima'	Red Chokeberry	#7 Container	36" O.C, min size 30" Ht
Co se	381	Cornus sericea 'santi'	Red Twig Dogwood	#7 Container	36" O.C, min size 30" Ht
Fo ga	193	Fothergilla gardenii 'Mount Airy'	Mount Airy Fothergilla	#7 Container	36" O.C, min size 30" Ht
Hy qu	83	Hydrangea quercifolia 'Pee Wee'	Oak-Leaf Hydrangea	#7 Container	36" O.C, min size 30" Ht
Il gl	271	Ilex glabra 'Shamrock'	Shamrock Inkberry	#7 Container	30" O.C, min size 30" Ht
Il rs	46	Ilex verticillata 'Red Sprite'	Winterberry (F)	#7 Container	36" O.C, min size 30" Ht
Il jd	11	Ilex verticillata 'Jim Dandy'	Winterberry (M)	#7 Container	36" O.C, min size 30" Ht
It lh	55	Itea virginica 'Little Henry'	Virginia Sweetspire	#7 Container	36" O.C, min size 30" Ht
Rh ro	69	Rhododendron maximum 'Roseum'	Pink Rosebay Rhododendron	#10 Container	36" O.C, min size 30" Ht
Vi op	23	Viburnum opulus 'Nanum'	European Cranberrybush	#5 Container	30" O.C, min size 30" Ht
Vi pl	38	Viburnum plicatum f. tomentosum 'Shasta'	Summer Snowflake Viburnum	#10 Container	60" O.C, min size 36" Ht
PERENNIALS/ORNAMENTAL GRASSES					
al gl	430	Allium Summer Beauty	flowering onion	#2 Container	24" O.C
am ta	248	Amsonia tabernaemontana	Bluestar	#2 Container	30" O.C
am bi	403	Amsonia tabernaemontana 'Blue Ice'	Blue Ice Amsonia	#1 Container	15" O.C
as la	276	Aster laevis	Smooth Aster	#1 Container	15" O.C
ca ac	97	Calamagrostis x Acutiflora 'Karl Foerster'	Karl Foerster Grass	#3 Container	30" O.C
ec pu	861	Echinacea purpurea	Purple Coneflower	#2 Container	18" O.C
eu du	72	Eutrochium dubium 'Little Joe'	Little Joe Pye Weed	#2 Container	24" O.C
de ce	292	Deschampsia cespitosa 'Gold Tau'	Tufted Hair Grass	#2 Container	18" O.C
fe ru	785	Festuca rubra	Red Fescue	#1 Container	15" O.C
ge sa	348	Geranium sanguineum 'NH purple'	Cranesbill	#1 Container	18" O.C
ir ve	187	Iris versicolor	Iris	#1 Container	15" O.C
li sp	495	Liriope spicata	Lily Turf	#1 Container	18" O.C
mi si	133	Miscanthus sinensis 'Gracillimus'	Maiden Grass	#3 Container	24" O.C
ne wl	1172	Nepeta x fassennii 'Walkers Low'	Walkers Low Catmint	#2 Container	18" O.C
pa vi	137	Panicum virgatum	Switchgrass	#3 Container	24" O.C
pe al	701	Pennisetum alopecuroides 'Hameln'	Fountain Grass	#2 Container	24" O.C
pe li	399	Perovskia 'Little Spire'	Russian Sage	#3 Container	30" O.C
sa ne	885	Salvia nemorosa 'Cardona'	Salvia	#1 Container	18" O.C
se au	2450	Sesleria autumnalis	Autumn Moore Grass	#1 Container	18" O.C
st hu	507	Stachys officinalis 'Hummelo'	Betony	#1 Container	12" O.C
SEED MIX					
NE CR		New England Erosion Control / Restoration Mix for Dry Sites	1 LB/1250 sq. ft	New England Wetland Plants, Inc.	

PLANTS TAGS WITH * PLEASE NOTE: PLACE PERENNIAL PLANT MATERIAL EVENLY THROUGH OUT GARDEN BED IN SMALL GROUPS OF 3, 5, 7 OR 9. SESLERIA AUTUMNALIS IS ONLY PLANT REQUIRED TO MEET THIS REQUIREMENT. IT MAY BE PLACED IN LARGER GROUPS AS NEEDED.

PARKING AREA PLANTING REQUIREMENT

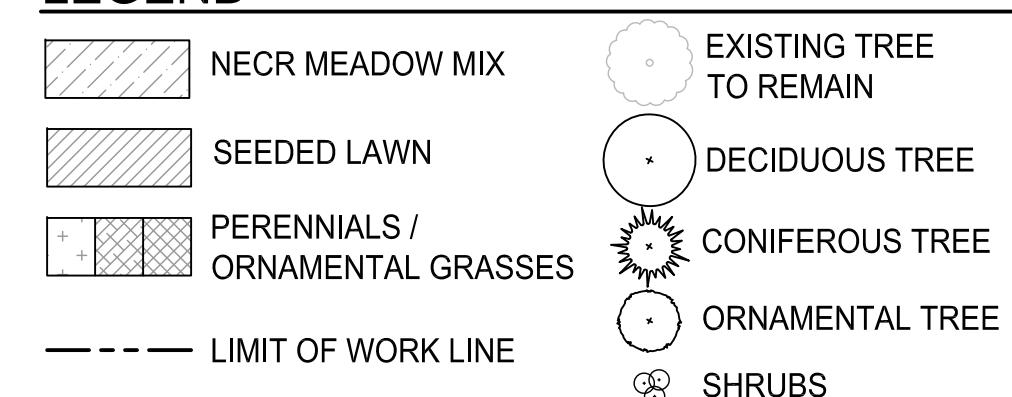
PARKING AREA = 280,000 SF
1 TREE PER 2,000SF = 140 TREES REQUIRED
TOTAL TREES PROVIDED IN PARKING AREA = 154
TOTAL TREES PROVIDED PROJECT WIDE = 409



PLANTING NOTES

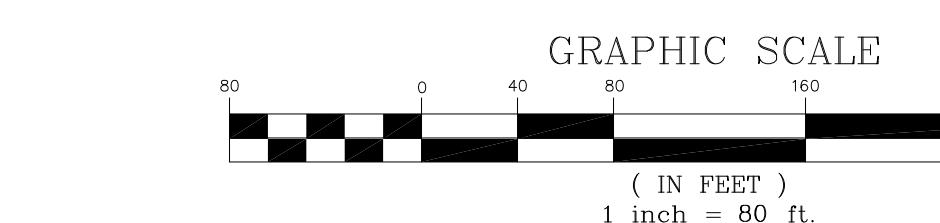
1. PLANT MATERIAL SHALL CONFORM TO "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN HORT (FORMERLY AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
2. NO SUBSTITUTIONS OF PLANT SPECIES WITHOUT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
3. SUBSTITUTIONS OF PLANT SPECIES SHALL BE A PLANT OF EQUIVALENT OVERALL FORM, HEIGHT AND BRANCHING HABIT, FLOWER, LEAF AND FRUIT, COLOR AND TIME OF BLOOM, AS APPROVED OF BY LANDSCAPE ARCHITECT.
4. LOCATE AND VERIFY UTILITY LINE LOCATIONS PRIOR TO STAKING AND REPORT CONFLICT TO LANDSCAPE ARCHITECT.
5. PLANTING DEMOLITION DEBRIS, GARBAGE, LUMPS OF CONCRETE, STEEL AND OTHER MATERIALS DELETERIOUS TO PLANT'S HEALTH AS DETERMINED BY LANDSCAPE ARCHITECT SHALL BE REMOVED FROM ALL PLANTING AREAS.
6. NO PLANTING TO BE INSTALLED BEFORE ACCEPTANCE OF ROUGH GRADING.
7. ALL PROPOSED TREE LOCATIONS SHALL BE STAKED OR LAID OUT IN THEIR APPROXIMATE LOCATION BY THE CONTRACTOR. REFER TO LAYOUT AND PLANTING SHEETS FOR LAYOUT INFORMATION. THE CONTRACTOR SHALL ADJUST THE LOCATIONS AS REQUESTED BY THE LANDSCAPE ARCHITECT TO ACCOUNT FOR SUBSURFACE UTILITIES AND OTHER FIELD CONDITIONS. FINAL LOCATIONS OF ALL PLANTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
8. INSTALL PLANTS WITH ROOT FLARES FLUSH WITH FINISHED GRADE. IMMEDIATELY REPLANT PLANTS THAT SETTLE OUT OF PLUMB OR BELOW FINISHED GRADE.
9. PLANT UNDER FULL TIME SUPERVISION OF CERTIFIED ARBORIST, NURSERYMAN, OR LICENSED LANDSCAPE ARCHITECT. PROVIDE WRITTEN VERIFICATION OF CERTIFICATION AND/OR LICENSE FOR LANDSCAPE ARCHITECT'S APPROVAL.
10. WATER PLANTS THOROUGHLY AFTER INSTALLATION, A MINIMUM OF TWICE WITHIN THE FIRST 24 HOURS.
11. REPAIR DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF LIMIT OF WORK

LEGEND

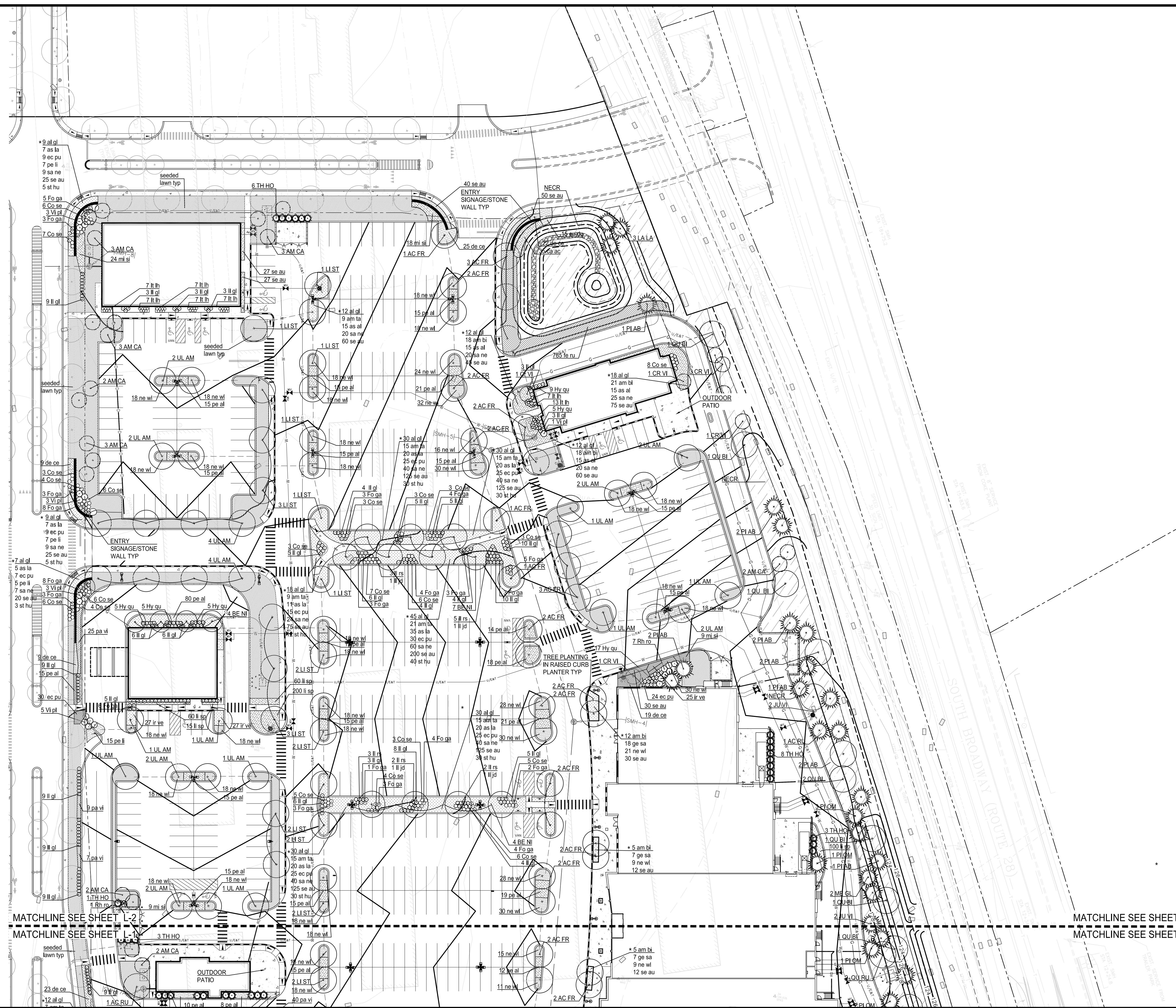


GENERAL NOTES

1. ROADWAY AND UTILITIES LAYOUT ARE SHOWN FOR REFERENCE ONLY. REFER TO THE ROADWAY ENGINEERING DRAWINGS.
2. FOR ADJACENT PROPOSED DEVELOPMENTS REFER TO THE 'TUSCAN VILLAGE MASTER PLAN' AND RELEVANT DEVELOPMENT PLANS.



NO.	DESCRIPTION	BY	DATE	REVISIONS
LANDSCAPE PLAN L-1				
TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT SALEM PROPERTY MAP 98 – LOT 12502 56 SOUTH BROADWAY, SALEM, NH 03079 PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET, SALEM, NH 03079				
HALVORSON DESIGN PARTNERSHIP LANDSCAPE ARCHITECTURE 25 Kingston St, Boston MA 02111 P. 617.536.0380 F. 617.536.0626				
MHF Design Consultants, Inc. SCALE: 1"=80' DATE: FEBRUARY 08, 2018				
OWNER OF RECORD DEMOULAS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67 APPROVAL				
ZONE: COMMERCIAL – INDUSTRIAL 'C'				
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
BDJ	BDJ		378715	1 of 4



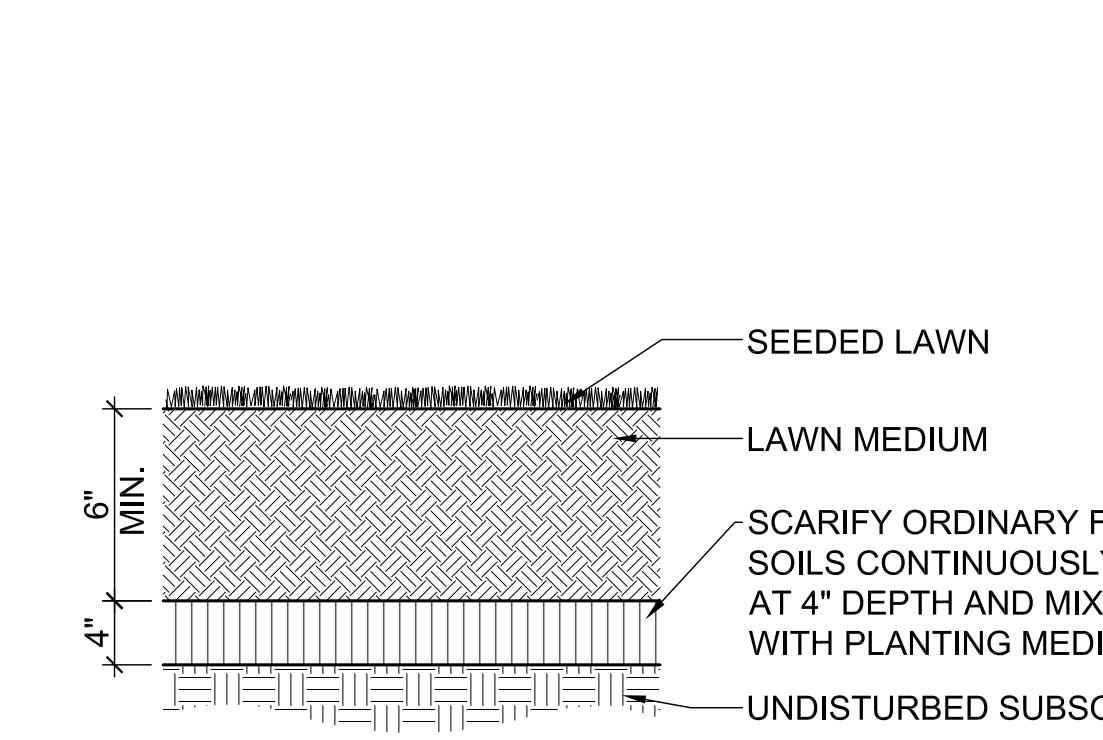
LEGEND

	NECR MEADOW MIX
	SEEDED LAWN
	PERENNIALS / ORNAMENTAL GRASSES
	CONIFEROUS TREE
	ORNAMENTAL TREE
	SHRUBS

GENERAL NOTES

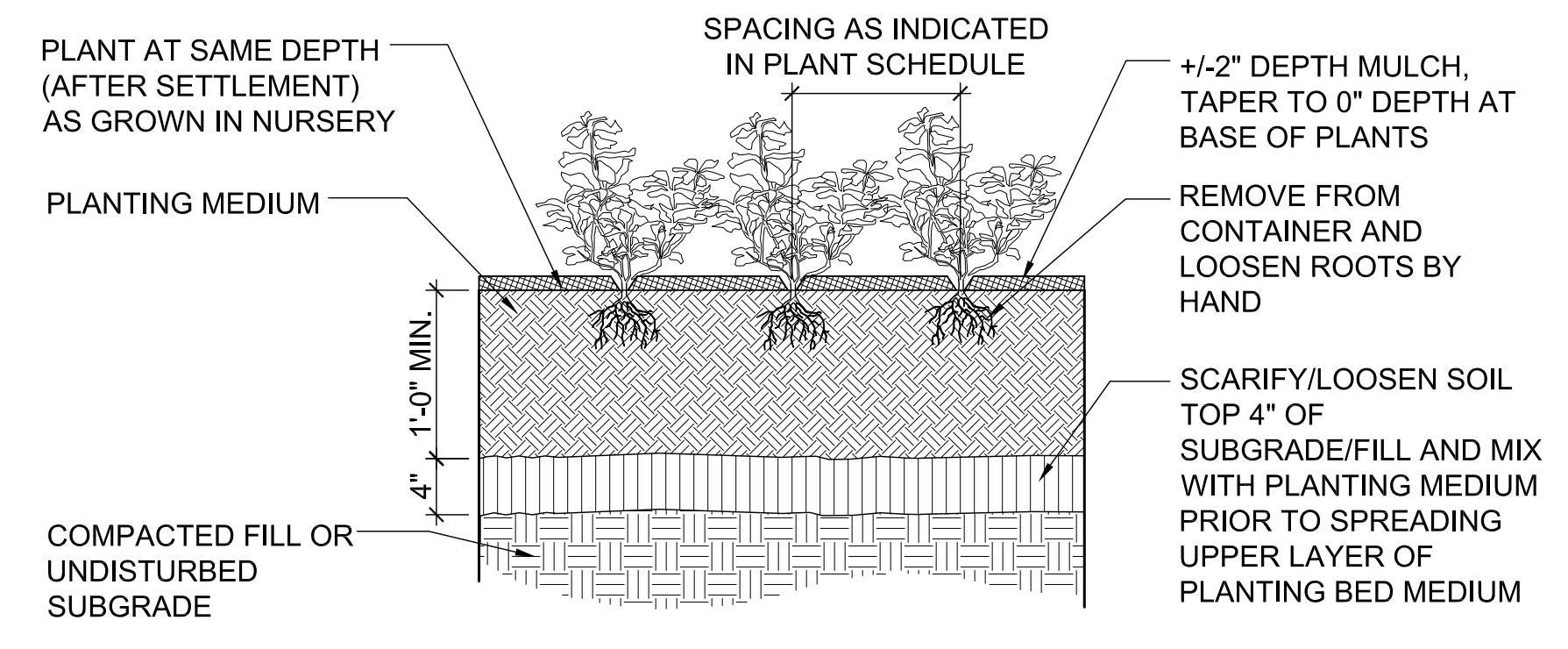
1. FOR PLANTING SCHEDULE SEE LANDSCAPE PLAN L-1.
2. IRRIGATION SHALL BE PROVIDED FOR ALL LANDSCAPE AREAS. WATER FOR IRRIGATION SHALL BE FROM AN ON-SITE WELL.
3. ROADWAY AND UTILITIES LAYOUT ARE SHOWN FOR REFERENCE ONLY. REFER TO THE ROADWAY ENGINEERING DRAWINGS.
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NO.	DESCRIPTION	BY	DATE
REVISIONS			
LANDSCAPE PLAN L-3			
TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT SALEM PROPERTY MAP 98 – LOT 12502 56 SOUTH BROADWAY, SALEM, NH 03079			
PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET, SALEM, NH 03079			
HALVORSON DESIGN PARTNERSHIP LANDSCAPE ARCHITECTURE 25 Kingston St, Boston, MA 02111 P. 617.536.0380 F. 617.536.0626			
SCALE: 1"=40'			
DATE: FEBRUARY 08, 2018			
OWNER OF RECORD		SALEM PLANNING BOARD APPROVAL	
DEMOLUS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67			
ZONE: COMMERCIAL – INDUSTRIAL 'C'			
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BDJ	BDJ	378715	SHEET No.
3 of 4			



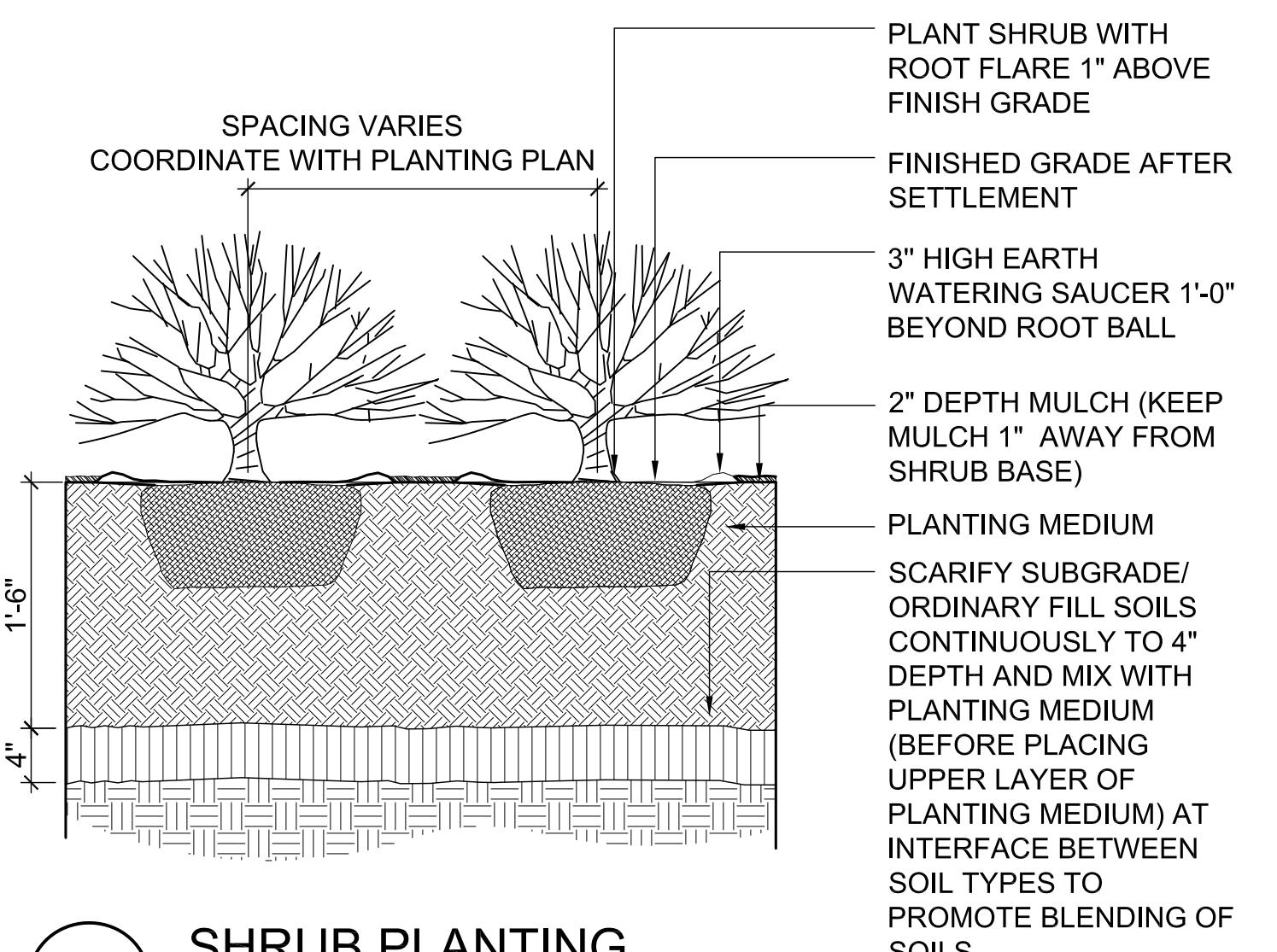
1 SEEDED LAWN

Scale: NT



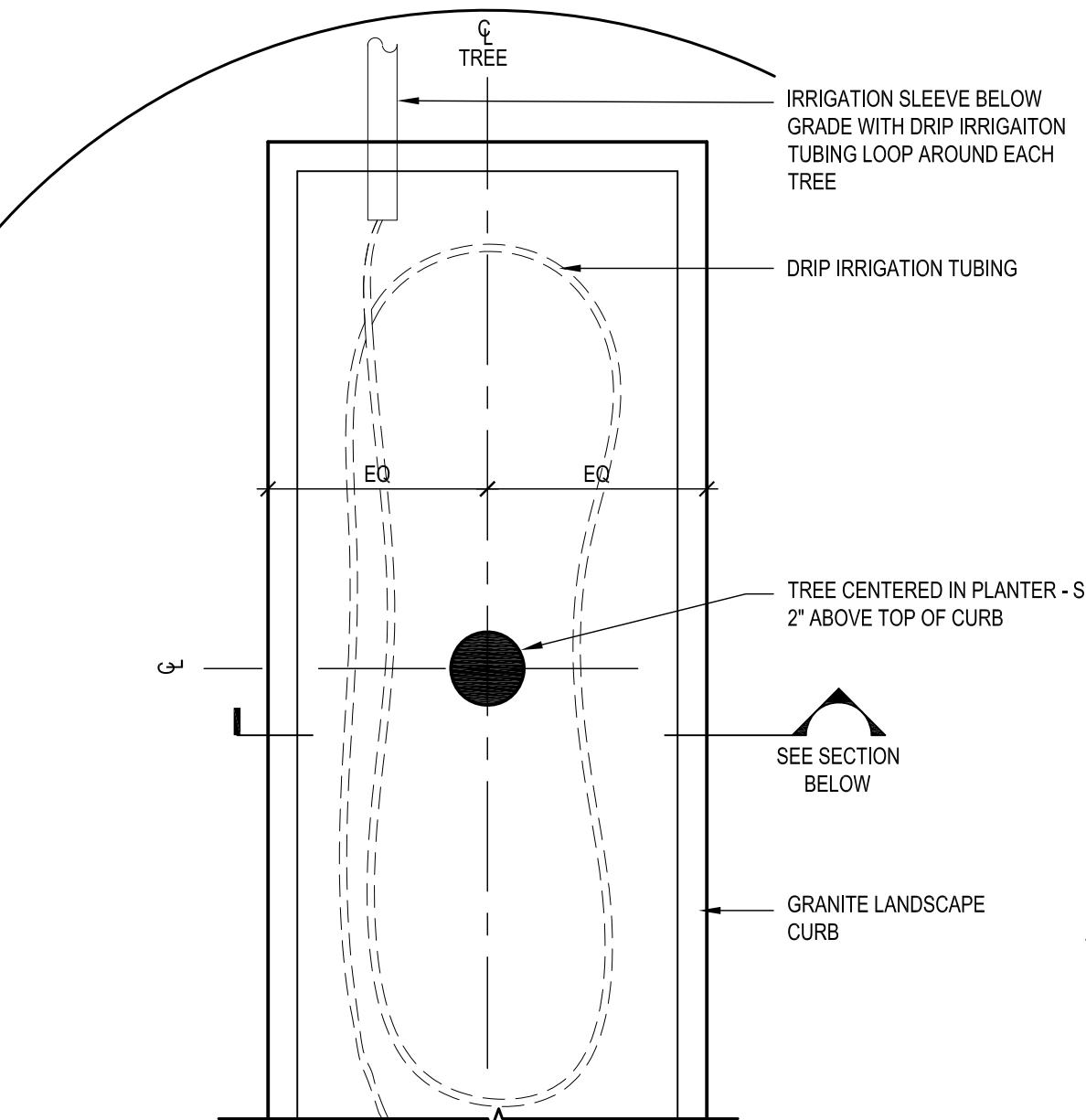
2 GROUNDCOVER AND PERENNIAL PLANTING

Scale: 1

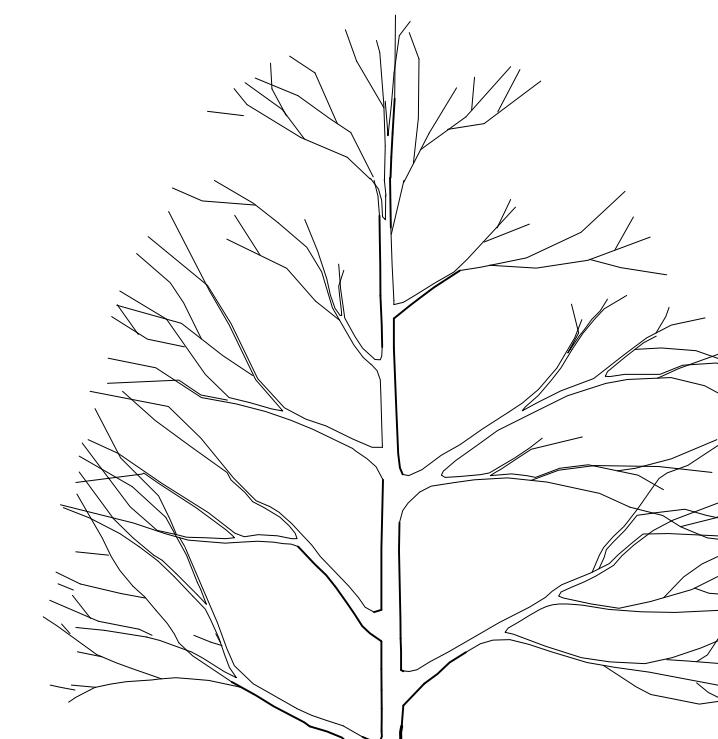


SHRUB PLANTING

3 Scale: NTS

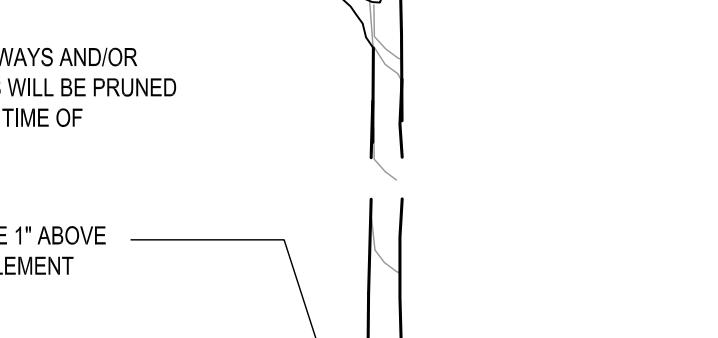
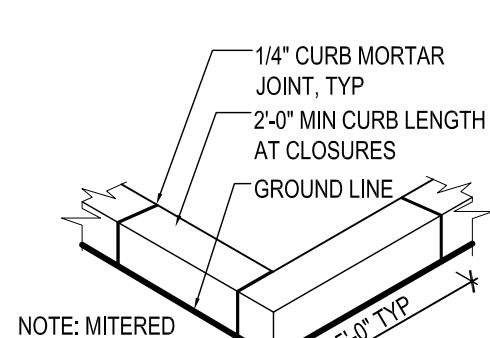


YICAL TREE PIT PLAN

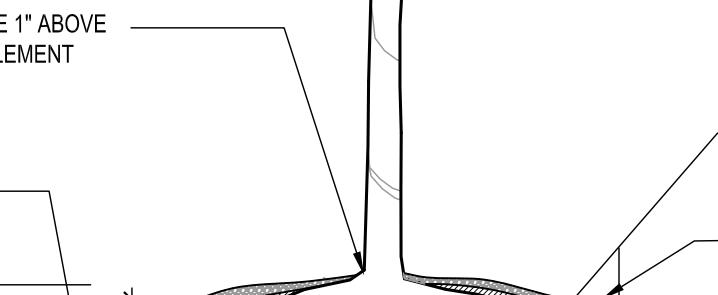


TREE PLANTING NOTES

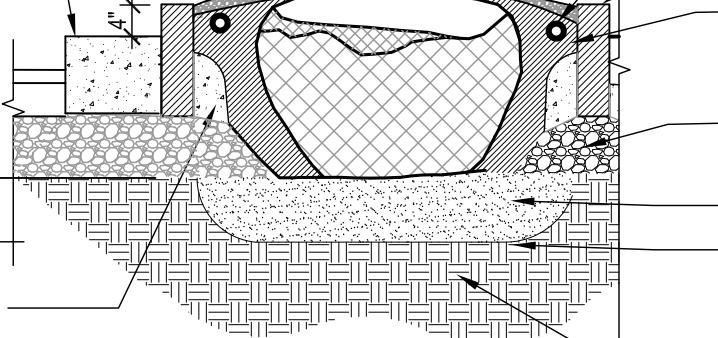
1. TREE SHALL HAVE STRAIGHT TRUNK AND SINGLE LEADER, TREES WITH DOUBLE LEADER TRUNKS WILL NOT BE ACCEPTED.
2. DO NOT CUT LEADER.
3. SET TREE PLUMB.
4. FLOOD SAUCER TWICE DURING FIRST 24 HOURS AFTER PLANTING.
5. SYNTHETIC BURLAP IS UNACCEPTABLE.
6. LOOSE OR CRACKED ROOTBALLS WILL NOT BE ACCEPTED FOR PLANTING
7. REMOVE TOP 2/3 OF WIRE BASKETS AND BURLAP.



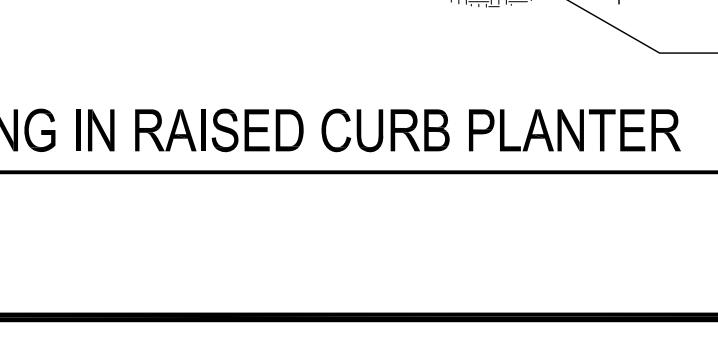
ACCEPTABLE *



ACCEPTABLE *

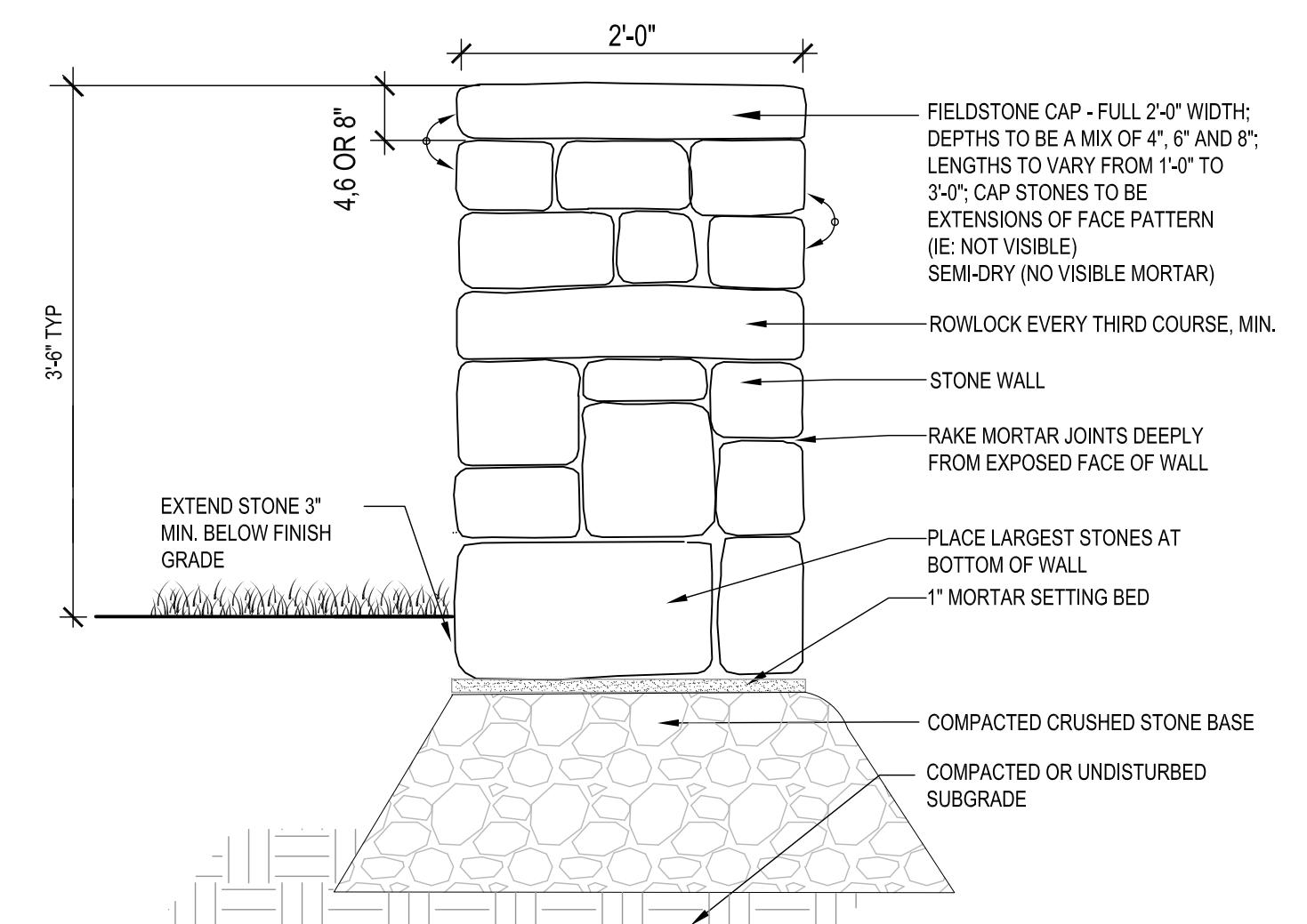


BETWEEN SOIL TYPES TO PROMOTE BLENDING OF SOILS



5 TREE PLANTING IN RAISED CURB PLANTER

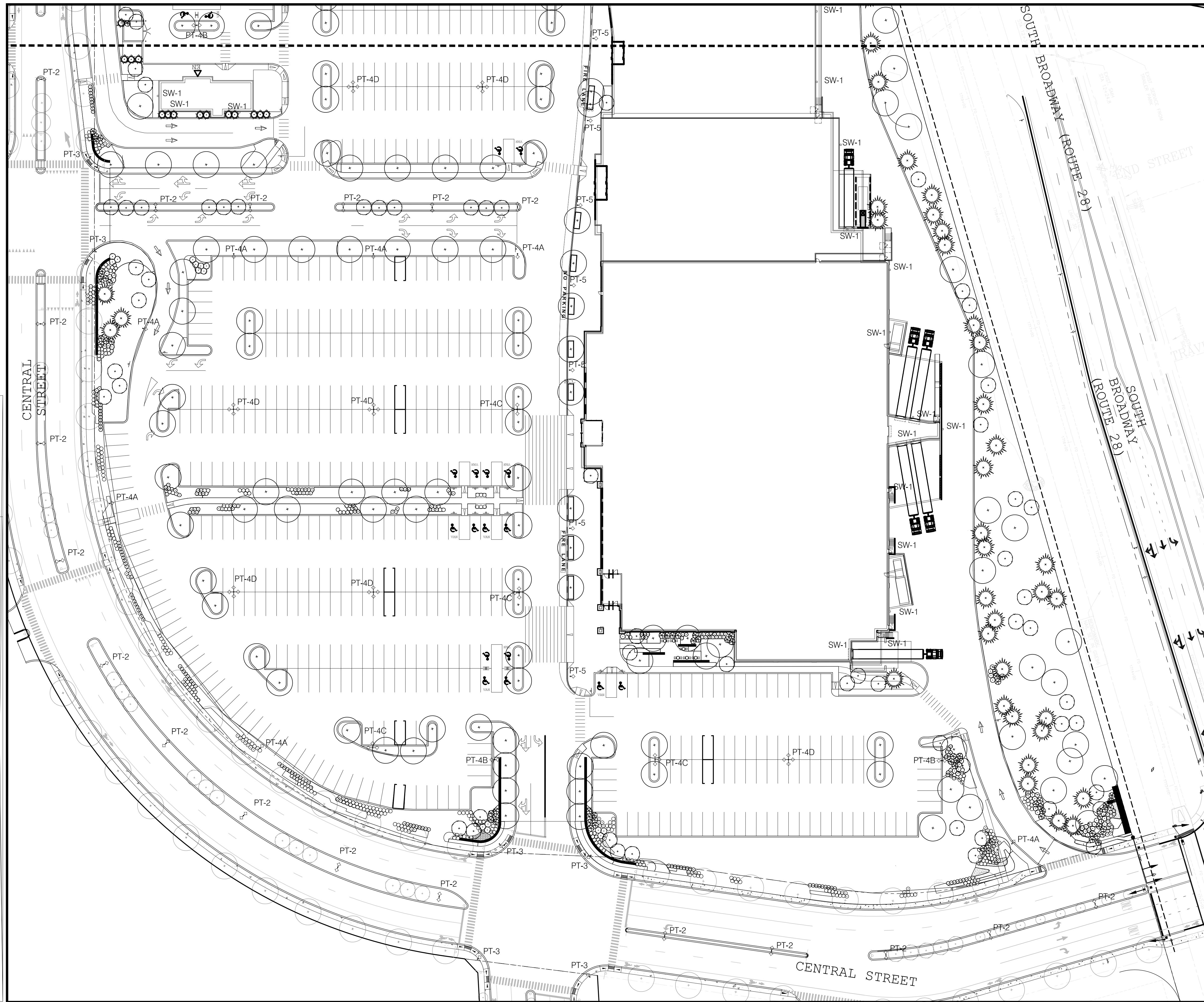
5 Scale: 1/2"-1' (1:64)



6 STONE WALL

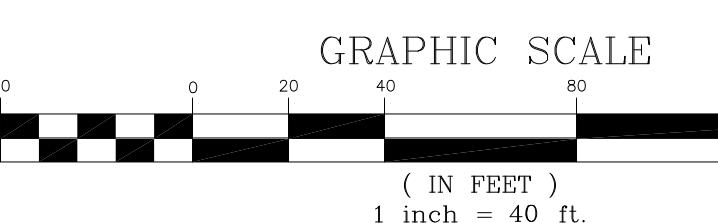
0 Scale: 1"=1'-0"

NO.	DESCRIPTION	BY	DATE
	REVISIONS		
LANDSCAPE DETAILS L-4			
TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT SALEM PROPERTY MAP 98 – LOT 12502 56 SOUTH BROADWAY, SALEM, NH 03079			
PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET, SALEM, NH 03079			
HALVORSON DESIGN PARTNERSHIP LANDSCAPE ARCHITECTURE 25 Kingston St, Boston MA 02111 P. 617.536.0380 F.617.536.0626		 MHF Design Consultants, Inc.	
SCALE:		DATE: FEBRUARY 08, 2018	
<u>OWNER OF RECORD</u> DEMOULAS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67		<u>SALEM PLANNING BOARD</u> <u>APPROVAL</u>	
ZONE: COMMERCIAL – INDUSTRIAL 'C'			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
BDJ	BDJ		378715
4 of 4			

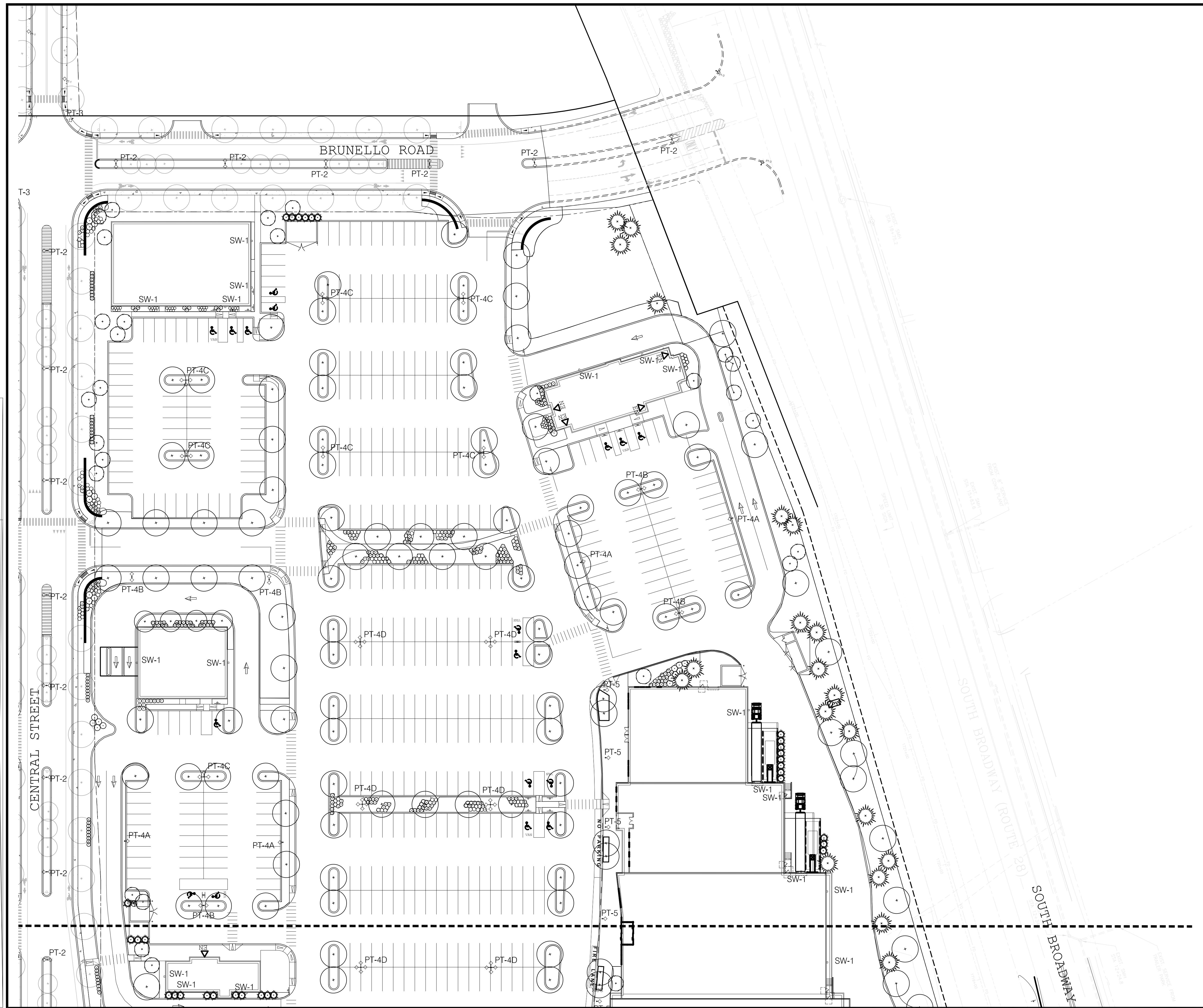


LIGHTING NOTES

1. SUBMITTAL DRAWINGS ARE REQUIRED FOR ALL FIXTURES, PRIOR TO ORDERING. ANY FIXTURES ORDERED WITHOUT SUBMITTAL REVIEW BY LUMEN STUDIO, INC. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
2. ANY SUBSTITUTIONS NOT APPROVED BY LUMEN STUDIO, INC. PRIOR TO ORDERING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
3. CONTRACTOR SHALL VERIFY RUN LENGTHS AND MOUNTING DETAILS OF ALL FIXTURES WITH ARCHITECTURAL DRAWINGS.
4. CONTRACTOR SHALL VERIFY AND COORDINATE FIXTURE MOUNTING WITH DETAILS, HOUSING TYPE, AND FIELD CONDITIONS.
5. FOR LED, TRACK, AND REMOTE TRANSFORMER FIXTURES, ALL FIXTURES SHALL BE ORDERED WITH NECESSARY POWER SUPPLIES, DRIVERS, AND POWER FEEDS FOR INSTALLATION OF A COMPLETE SYSTEM.
6. PROVIDE ALL PARTS AND COMPONENTS NECESSARY FOR INSTALLATION FOR ALL FIXTURES.
7. ELECTRICAL CONTRACTOR SHALL VERIFY VOLTAGE WITH THE ELECTRICAL ENGINEER, AND COORDINATE, PRIOR TO ORDERING ANY LIGHTING EQUIPMENT. SEE LIGHTING FIXTURE SCHEDULE, PAGE 15, FOR FIXTURE IDENTIFICATION

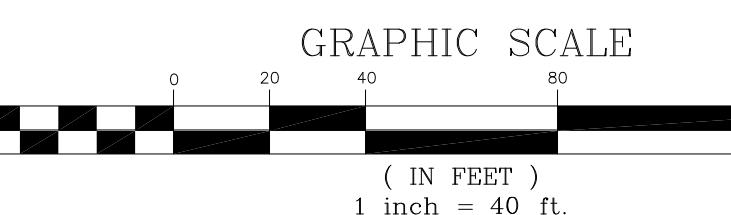


NO.	DESCRIPTION	BY	DATE
REVISIONS			
RETAIL LIGHTING PLAN LS-1			
	TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT SALEM PROPERTY MAP 98 – LOT 12502 56 SOUTH BROADWAY, SALEM, NH 03079		
	PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET, SALEM, NH 03079		
HALVORSON DESIGN PARTNERSHIP LANDSCAPE ARCHITECTURE	25 Kingston St, Boston, MA 02111 P. 617.536.0380 F. 617.536.0626	MHF Design Consultants, Inc.	
	SCALE: 1"=40'	DATE: JUNE 26, 2017	
	OWNER OF RECORD DEMOLUS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67	SALEM PLANNING BOARD APPROVAL	
	ZONE: COMMERCIAL – INDUSTRIAL 'C'		
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
LJS	KVM/LJS	378715	1 of 6



LIGHTING NOTES

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NO.	DESCRIPTION	BY	DATE
REVISIONS			
RETAIL LIGHTING PLAN LS-2			
TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT SALEM PROPERTY MAP 98 - LOT 12502 56 SOUTH BROADWAY, SALEM, NH 03079			
PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET, SALEM, NH 03079			
HALVORSON DESIGN PARTNERSHIP LANDSCAPE ARCHITECTURE 25 Kingston St, Boston, MA 02111 P. 617.536.0380 F. 617.536.0626			
SCALE: 1"=40'			
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DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
LJS	KVM/LJS		378715
SHEET No.			
2 of 6			

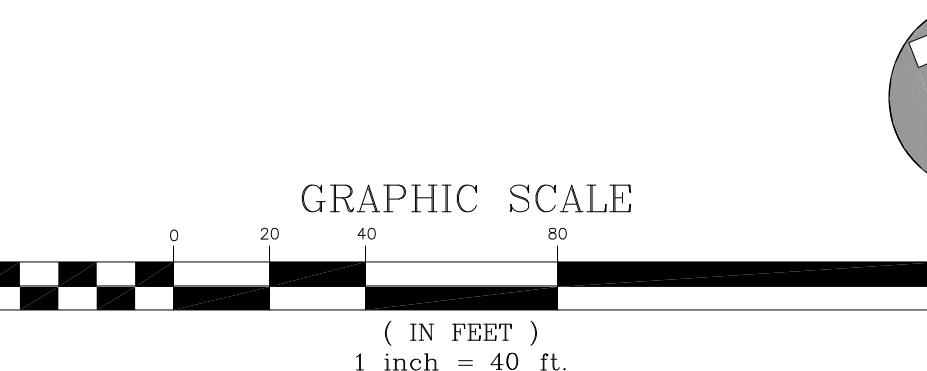
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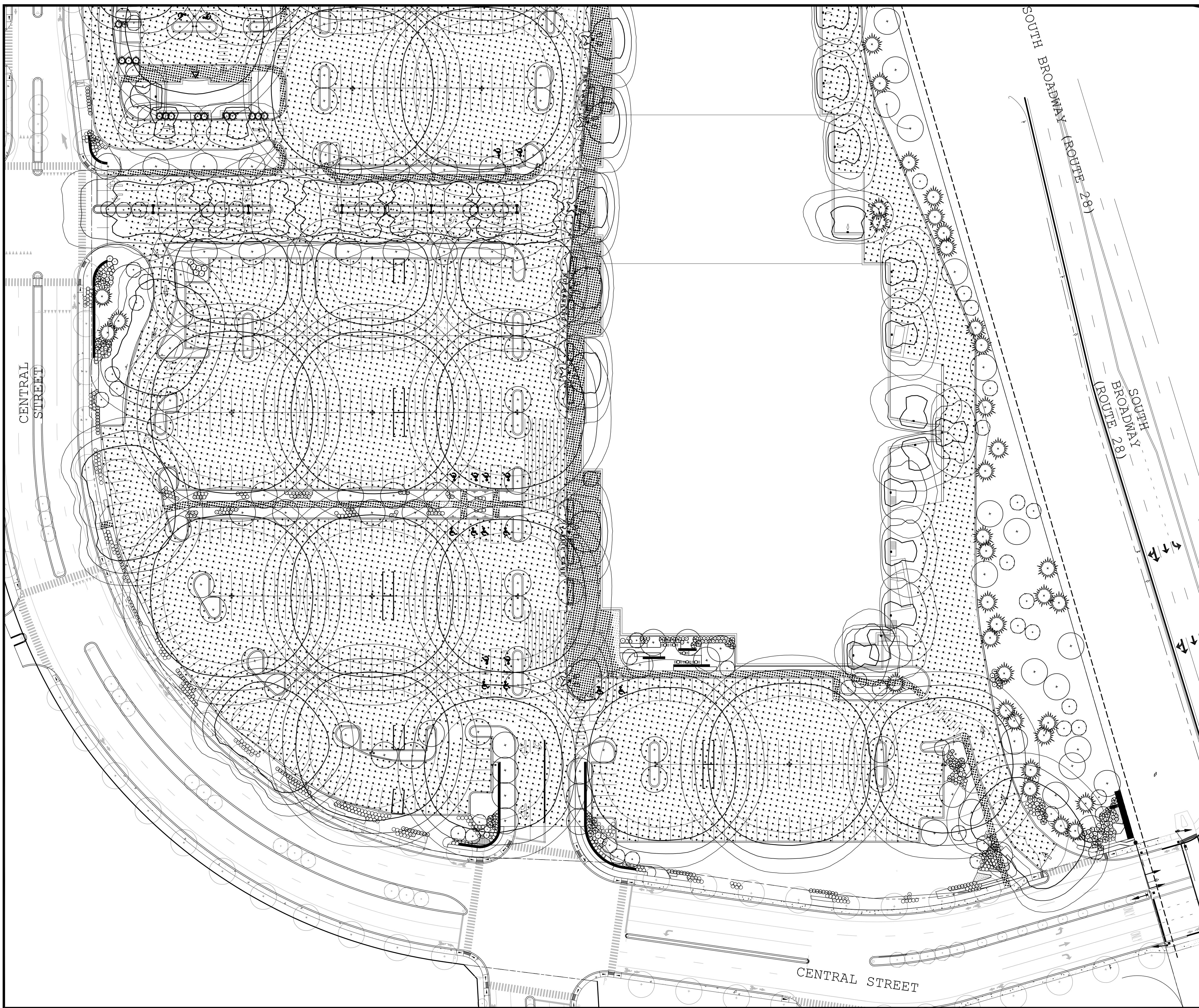
7. ELECTRICAL CONTRACTOR SHALL VERIFY VOLTAGE WITH THE ELECTRICAL ENGINEER, AND COORDINATE, PRIOR TO ORDERING ANY LIGHTING EQUIPMENT.
8. SEE LIGHTING FIXTURE SCHEDULE, PAGE 15, FOR FIXTURE IDENTIFICATION

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Total Lamp	Lumens	LLF	Description
	5	PT-2 Beacon	BACK-BACK	N.A.	0.720	URB-26-36NB-80-3K-T2	
	11	PT-4A Single - GE Evolve	SINGLE	N.A.	0.800	EALP01 H3AW740	
	7	PT-4B Double - GE Evolve	BACK-BACK	N.A.	0.800	EALP01 H3AW740	
	11	PT-4C Triple - GE Evolve	3 @ 90 DEGREES	N.A.	0.800	EALP01 H3AW740	
	11	PT-4D Quad - GE Evolve	4 @ 90 DEGREES	N.A.	0.800	EALP01 H3AW740	
	10	PT-5 Beacon	SINGLE	N.A.	0.720	URB-21-24NB-55-3K-T3	
	30	Wall Pack	SINGLE	N.A.	0.720	EWS3 B7D140 -120-277V	

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Auxiliary Bank Parking Top	Illuminance	Fc	4.46	8.0	0.6	7.43	13.33
Auxiliary To Coffee Parking Top	Illuminance	Fc	3.14	4.6	1.5	2.09	3.07
Auxiliary to Parking	Illuminance	Fc	2.18	5.1	0.6	3.63	8.50
Auxiliary to Restaurant Parking	Illuminance	Fc	3.01	5.1	0.6	5.02	8.50
Back of House Roadway Top	Illuminance	Fc	0.99	4.5	0.0	N.A.	N.A.
Bank Drive Thru Top	Illuminance	Fc	2.21	4.5	0.3	7.37	15.00
Bank Parking	Illuminance	Fc	3.39	6.3	1.2	2.83	5.25
Coffee Drive Thru Top	Illuminance	Fc	0.88	2.1	0.1	8.80	21.00
Parking Area 107	Illuminance	Fc	3.78	8.3	0.5	7.56	16.60
Parking Area 161	Illuminance	Fc	3.66	8.4	0.7	5.23	12.00
Parking Area 180	Illuminance	Fc	4.06	8.3	0.6	6.77	13.83
Parking Area 180 Perimeter	Illuminance	Fc	3.04	8.1	0.5	6.08	16.20
Parking Area 221	Illuminance	Fc	4.66	8.8	0.7	6.66	12.57
Parking Area 51	Illuminance	Fc	4.35	6.5	1.6	2.72	4.06
Parking Area 97	Illuminance	Fc	3.47	8.4	0.4	8.68	21.00
Parking Area Bank and Coffee	Illuminance	Fc	4.51	6.7	1.9	2.37	3.53
Parking Area Restaurant	Illuminance	Fc	1.63	3.3	0.9	1.81	3.67
Parking Sidewalk 1 Top	Illuminance	Fc	1.57	2.0	0.8	1.96	2.50
Parking Sidewalk Top	Illuminance	Fc	0.94	2.1	0.4	2.35	5.25
Restaurant Parking	Illuminance	Fc	4.95	15.6	1.0	4.95	15.60
Retail Sidewalk 1 Top	Illuminance	Fc	1.29	3.1	0.3	4.30	10.33
Retail Sidewalk Top	Illuminance	Fc	2.63	4.6	0.1	26.30	46.00
Roadway Adjacent To Retail Top	Illuminance	Fc	2.09	6.5	0.3	6.97	21.67
Roadway Parking Top	Illuminance	Fc	3.65	8.9	0.9	4.06	9.89
Roadway To Parking Top	Illuminance	Fc	3.14	4.4	1.8	1.74	2.44
Roadway To Retail Top	Illuminance	Fc	2.18	3.1	0.9	2.42	3.44
Sidewalk Bank Top	Illuminance	Fc	1.57	2.2	0.9	1.74	2.44
Sidewalk Coffee Top	Illuminance	Fc	2.17	3.8	0.8	2.71	4.75
Sidewalk Parking 5 Top	Illuminance	Fc	1.56	1.7	1.4	1.11	1.21
Sidewalk Parking 6 Top	Illuminance	Fc	0.80	1.1	0.4	2.00	2.75
Sidewalk Parking 2 Top	Illuminance	Fc	3.02	5.6	0.8	3.78	7.00
Sidewalk Parking 3 Top	Illuminance	Fc	1.14	3.4	0.4	2.85	8.50
Sidewalk Parking 4 Top	Illuminance	Fc	1.66	2.2	1.3	1.28	1.69
Sidewalk Parking 5 Top	Illuminance	Fc	1.68	3.4	0.0	N.A.	N.A.
Sidewalk Parking 6 Top	Illuminance	Fc	2.81	4.4	1.5	1.87	2.93
Sidewalk Parking 7 Top	Illuminance	Fc	3.99	6.4	1.4	2.85	4.57
Sidewalk Parking Top	Illuminance	Fc	2.76	3.9	1.6	1.73	2.44
Sidewalk Restaurant Top	Illuminance	Fc	1.22	3.2	0.3	4.07	10.67
Sidewalk Restaurant 3 Top	Illuminance	Fc	1.99	4.1	0.3	6.63	13.67



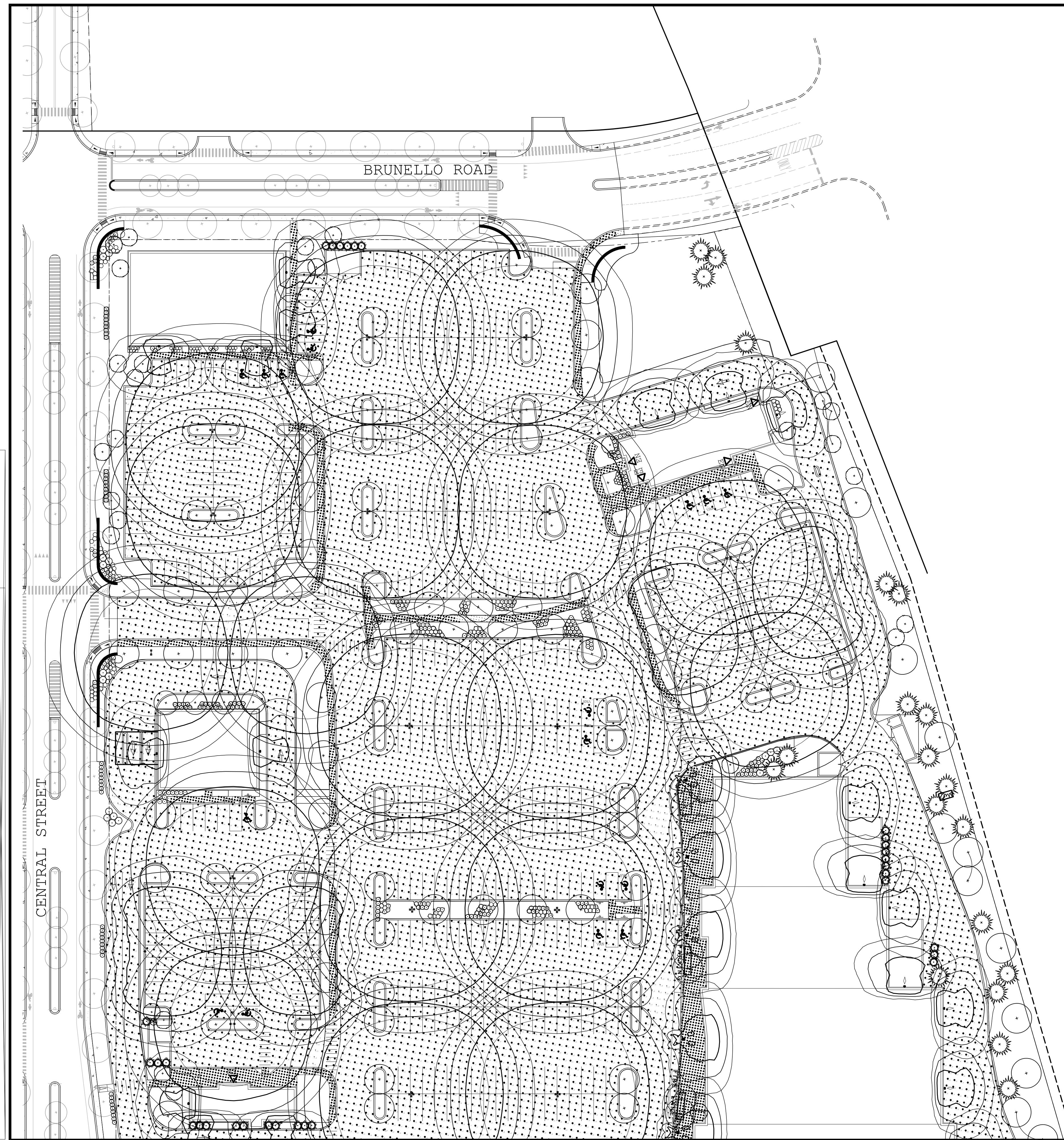
NO.	DESCRIPTION	BY	DATE
RETAIL LIGHTING CALC SUMMARY LS-3			
TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT SALEM PROPERTY MAP 98 – LOT 12502 56 SOUTH BROADWAY, SALEM, NH 03079 PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET, SALEM, NH 03079			
HALVORSON DESIGN PARTNERSHIP LANDSCAPE ARCHITECTURE 25 Kingston St, Boston, MA 02111 P. 617.536.0380 F. 617.536.0626			
 MHF Design Consultants, Inc.			
SCALE: 1"=40'			
DATE: JUNE 26, 2017			
OWNER OF RECORD DEMOLUS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67		SALEM PLANNING BOARD APPROVAL	
ZONE: COMMERCIAL – INDUSTRIAL 'C'			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
LJS	KVM/LJS		378715
SHEET No.			
3 of 6			



LIGHTING NOTES

1. SUBMITTAL DRAWINGS ARE REQUIRED FOR ALL FIXTURES, PRIOR TO ORDERING. ANY FIXTURES ORDERED WITHOUT SUBMITTAL REVIEW BY LUMEN STUDIO, INC. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
2. ANY SUBSTITUTIONS NOT APPROVED BY LUMEN STUDIO, INC. PRIOR TO ORDERING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
3. CONTRACTOR SHALL VERIFY RUN LENGTHS AND MOUNTING DETAILS OF ALL FIXTURES WITH ARCHITECTURAL DRAWINGS.
4. CONTRACTOR SHALL VERIFY AND COORDINATE FIXTURE MOUNTING WITH DETAILS, HOUSING TYPE, AND FIELD CONDITIONS.
5. FOR LED, TRACK, AND REMOTE TRANSFORMER FIXTURES, ALL FIXTURES SHALL BE ORDERED WITH NECESSARY POWER SUPPLIES, DRIVERS, AND POWER FEEDS FOR INSTALLATION OF A COMPLETE SYSTEM.
6. PROVIDE ALL PARTS AND COMPONENTS NECESSARY FOR INSTALLATION FOR ALL FIXTURES.
7. ELECTRICAL CONTRACTOR SHALL VERIFY VOLTAGE WITH THE ELECTRICAL ENGINEER, AND COORDINATE, PRIOR TO ORDERING ANY LIGHTING EQUIPMENT. SEE LIGHTING FIXTURE SCHEDULE, PAGE 15, FOR FIXTURE IDENTIFICATION

NO.	DESCRIPTION	BY	DATE
REVISIONS			
RETAIL LIGHTING CALC PLAN LS-4			
TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT SALEM PROPERTY MAP 98 – LOT 12502 56 SOUTH BROADWAY, SALEM, NH 03079			
PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET, SALEM, NH 03079			
HALVORSON DESIGN PARTNERSHIP LANDSCAPE ARCHITECTURE 25 Kingston St, Boston, MA 02111 P. 617.536.0380 F. 617.536.0626			
SCALE: 1"=40'			
DATE: JUNE 26, 2017			
OWNER OF RECORD		SALEM PLANNING BOARD	
DEMOLUS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67		APPROVAL	
ZONE: COMMERCIAL – INDUSTRIAL 'C'			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
LJS	KVM/LJS		378715
SHEET No.			
4 of 6			



LIGHTING NOTES

1. SUBMITTAL DRAWINGS ARE REQUIRED FOR ALL FIXTURES, PRIOR TO ORDERING. ANY FIXTURES ORDERED WITHOUT SUBMITTAL REVIEW BY LUMEN STUDIO, INC. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
2. ANY SUBSTITUTIONS NOT APPROVED BY LUMEN STUDIO, INC. PRIOR TO ORDERING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
3. CONTRACTOR SHALL VERIFY RUN LENGTHS AND MOUNTING DETAILS OF ALL FIXTURES WITH ARCHITECTURAL DRAWINGS.
4. CONTRACTOR SHALL VERIFY AND COORDINATE FIXTURE MOUNTING WITH DETAILS, HOUSING TYPE, AND FIELD CONDITIONS.
5. FOR LED, TRACK, AND REMOTE TRANSFORMER FIXTURES, ALL FIXTURES SHALL BE ORDERED WITH NECESSARY POWER SUPPLIES, DRIVERS, AND POWER FEEDS FOR INSTALLATION OF A COMPLETE SYSTEM.
6. PROVIDE ALL PARTS AND COMPONENTS NECESSARY FOR INSTALLATION FOR ALL FIXTURES.
7. ELECTRICAL CONTRACTOR SHALL VERIFY VOLTAGE WITH THE ELECTRICAL ENGINEER, AND COORDINATE, PRIOR TO ORDERING ANY LIGHTING EQUIPMENT.
8. SEE LIGHTING FIXTURE SCHEDULE, PAGE 15, FOR FIXTURE IDENTIFICATION

NO.	DESCRIPTION	BY	DATE
REVISIONS			
RETAIL LIGHTING CALC PLAN LS-5			
TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT SALEM PROPERTY MAP 98 – LOT 12502 56 SOUTH BROADWAY, SALEM, NH 03079			
PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET, SALEM, NH 03079			
HALVORSON DESIGN PARTNERSHIP LANDSCAPE ARCHITECTURE 25 Kingston St, Boston, MA 02111 P. 617.536.0380 F. 617.536.0626			
SCALE: 1"=40'			
DATE: JUNE 26, 2017			
OWNER OF RECORD DEMOLUS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67		SALEM PLANNING BOARD APPROVAL	
ZONE: COMMERCIAL – INDUSTRIAL 'C'			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
LJS	KVM/LJS		378715
SHEET No. 5 of 6			

Code/Tag	Image	Product / Manufacturer	Attributes	Notes
PT-1		Beacon Lighting "Urban Series"	Specification: #URB-MAR21-24NB-55-3K-480V-T3-NRNW-FINISH Description: Single LED Post Top	1. Not by Lumen Studio. Fixture selected and approved by Owner.

Code/Tag	Image	Product / Manufacturer	Attributes	Notes
PT-2		Beacon Lighting "Urban Series"	Specification: #URB-MAR26-36NB-80-3K-480V-T2-NRNW-FINISH Description: Double Suspended LED Lantern	1. Not by Lumen Studio. Fixture selected and approved by Owner.

Code/Tag	Image	Product / Manufacturer	Attributes	Notes
PT-3		Beacon Lighting "Urban Series"	Specification: #URB-MAR26-36NB-80-3K-480V-T2-NRNW-FINISH Description: Single Suspended LED Lantern	1. Not by Lumen Studio. Fixture selected and approved by Owner.

Code/Tag	Image	Product / Manufacturer	Attributes	Notes
PT-4A		GE Lighting "Evolve LED Area Light"	Pole Specification: #ASSA30SD(D1)6DB Fixture Specification: #EALP-01-0-H3-AW-7-40-N-D-1-DK6Z-F-L (Qty 1) PE Accessories: #28299 (Verify with owner)	1. EC to verify voltage, prior to ordering. 2. Footing per detail, by Market Basket.

Code/Tag	Image	Product / Manufacturer	Attributes	Notes
PT-4B		GE Lighting "Evolve LED Area Light"	Pole Specification: #ASSA30SD(D1)6DB Fixture Specification: #EALP-01-0-H3-AW-7-40-N-D-1-DK6Z-F-L (Qty 2) PE Accessories: #28299 (Verify with owner)	1. EC to verify voltage, prior to ordering. 2. Footing per detail, by Market Basket. 3. Fixture Heads to be back to back.

Code/Tag	Image	Product / Manufacturer	Attributes	Notes
PT-4C		GE Lighting "Evolve LED Area Light"	Pole Specification: #ASSA30TB(D1)6DB Fixture Specification: #EALP-01-0-H3-AW-7-40-N-D-1-DK6Z-F-L (Qty 3) PE Accessories: #28299 (Verify with owner)	1. EC to verify voltage, prior to ordering. 2. Fixtures heads to be placed on pole 90° apart. 3. Footing per detail, by Market Basket.

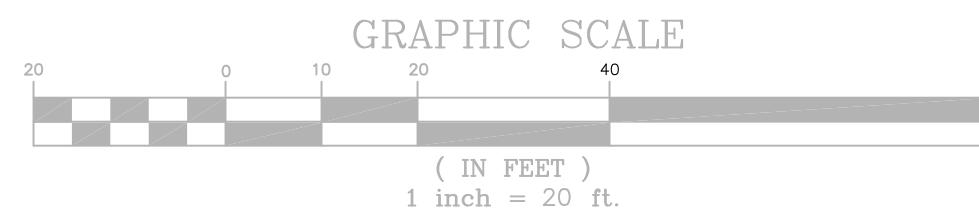
Code/Tag	Image	Product / Manufacturer	Attributes	Notes
PT-4D		GE Lighting "Evolve LED Area Light"	Pole Specification: #ASSA30DQ(D1)6DB Fixture Specification: #EALP-01-0-H3-Area Light with 30' Square Pole PE Accessories: #28299 (Verify with owner)	1. EC to verify voltage, prior to ordering. 2. Fixtures heads to be placed on pole 90° apart. 3. Footing per detail, by Market Basket.

Code/Tag	Image	Product / Manufacturer	Attributes	Notes
PT-5		Beacon Lighting "Urban Series"	Specification: #URB-MAR21-24NB-55-3K-480V-T3-NRNW-FINISH Description: Single Suspended Post Top	1. Not by Lumen Studio. Fixture selected and approved by Owner.

Code/Tag	Image	Product / Manufacturer	Attributes	Notes
SW-1		GE Lighting "Evolve LED Area Light"	Description: LED Wall Pack	1. Not by Lumen Studio. Fixture selected and approved by Owner.

Code/Tag	Image	Product / Manufacturer	Attributes	Notes
SW-1		GE Lighting "Evolve LED Area Light"	Description: LED Wall Pack	1. EC to verify voltage, prior to ordering. 2. EC to verify finish with order, prior to ordering.

Lighting Schedule Notes:				
1. Lighting submittals are required for all lighting fixtures, prior to ordering. Any lighting ordered without prior review and approval by Lumen Studio, Inc. is the sole responsibility of the contractor.				
2. Any substitutions not approved by Lumen Studio, Inc., prior to ordering, are the sole responsibility of the contractor.				
3. All architectural details and site conditions shall be the sole responsibility of the contractor and lighting distributor. These include, but are not limited to: a. Location of details and construction drawings by Architect and/or Lumen Studio, Inc. b. Labor costs associated with the modifications required in the field, for previously coordinated lighting equipment. c. Cost of running additional photometric and/or energy studies by Lumen Studio, Inc. d. Delay of project, due to unexpected lead-time issues associated with substitute lighting equipment, or because substituted lighting equipment, as determined by the Lumen Studio, Inc. is "Not Equal". e. The management of lead-times, for all lighting equipment, is the sole responsibility of the contractor, and not acceptable as a reason for substitution requests.				
5. Quantities, lengths, and installation details for all lighting products, are to be verified, by contractor, prior ordering.				
6. Contractor responsible for coordinating all lighting installation details, with site conditions, and informing Lumen Studio, Inc., of any conflicts prior to proceeding with installation.				
7. All fixtures shall be coordinated with all necessary power supplies, drivers, power feeds, and components, as required, for installation.				
8. For all coordination on fixtures, including track, manufacturer shall submit a layout drawing for run lengths specified, per Contract Documents, during shop drawing review for Lumen Studio, Inc. approval, prior to fabrication.				
9. Contractor shall verify voltage and coordinate, prior to ordering any lighting equipment.				



NO.	DESCRIPTION	BY	DATE
	REVISIONS		

LIGHTING FIXTURE SCHEDULE LS-6

TUSCAN NORTH VILLAGE RETAIL DEVELOPMENT
SALEM PROPERTY MAP 98 - LOT 12502
56 SOUTH BROADWAY, SALEM, NH 03079

PREPARED FOR:
OMJ REALTY, LLC
63 MAIN STREET, SALEM, NH 03079

HALVORSON DESIGN
PARTNERSHIP
LANDSCAPE ARCHITECTURE

25 Kingston St, Boston, MA 02111
P. 617.536.0380 F. 617.536.0626



SCALE: NTS	DATE: JUNE 26, 2017
OWNER OF RECORD	SALEM PLANNING BOARD
DEMOLUS SUPER MARKETS, INC. 875 EAST STREET TEWKSBURY, MA 01876 BOOK 5763 PAGE 67	APPROVAL
ZONE: COMMERCIAL - INDUSTRIAL 'C'	
DESIGNED BY: LJS/KVM	DRAWN/CHECKED: LJS
DWG. NAME: 378715	PROJECT No.: SHEET No.: 6 OF 6



SITE PLAN

A0



BUILDING A1/M1-4 PERSPECTIVE



MAIN ELEVATION BUILDING A1/M1-4



REAR ELEVATION BUILDING A1/M1-4

A1

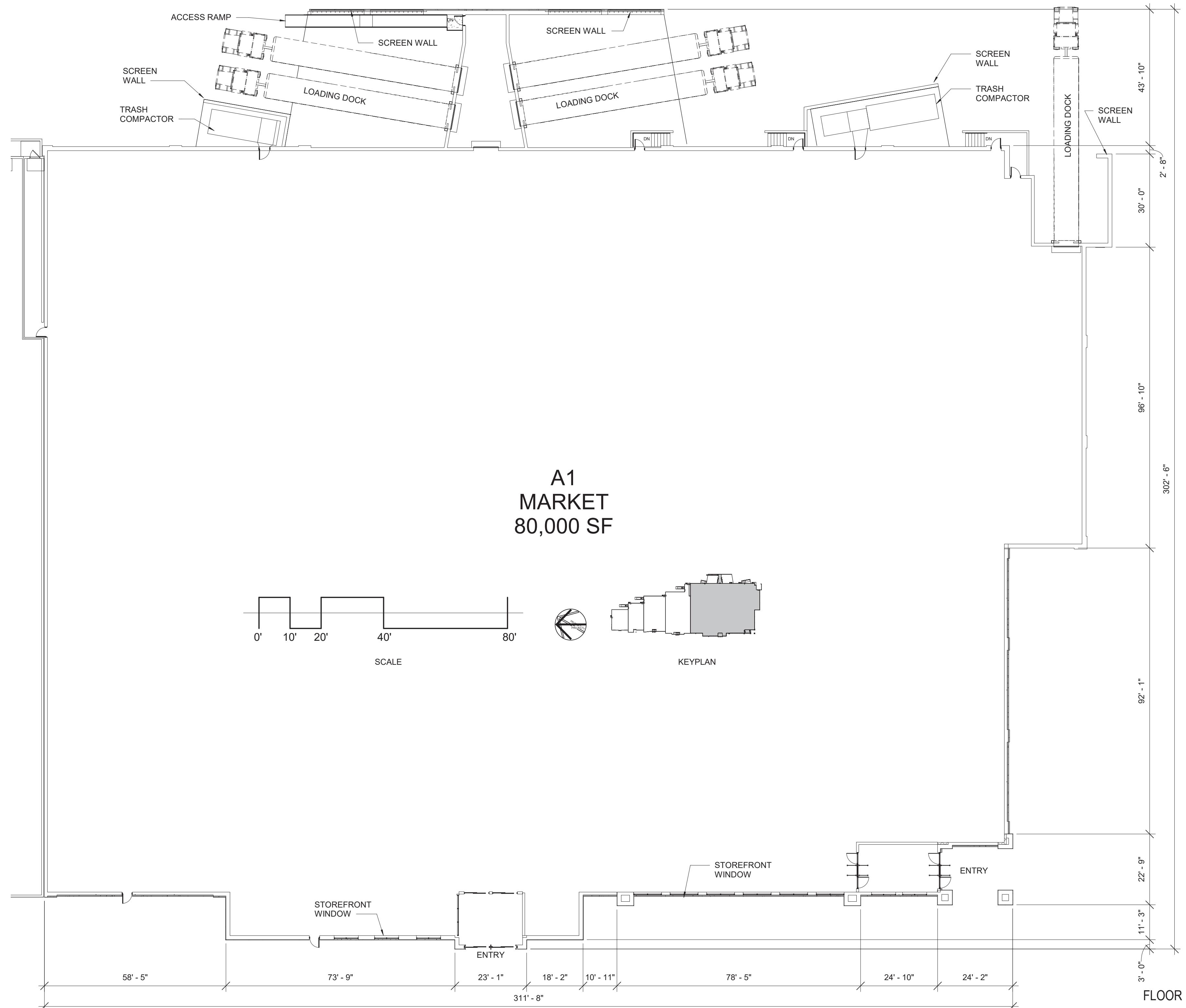
RT-28 SOUTHEAST VIEW



RT-28 NORTHEAST VIEW



A2



rmcd

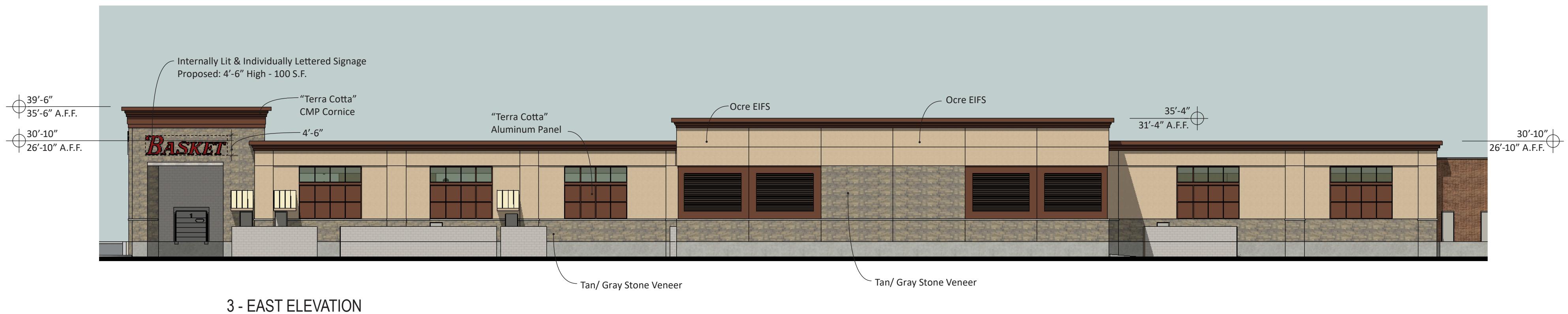
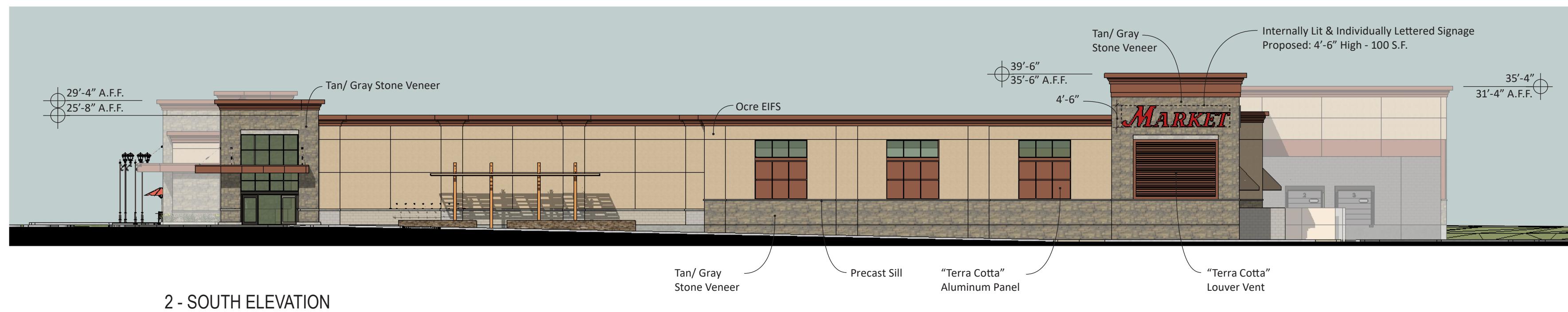
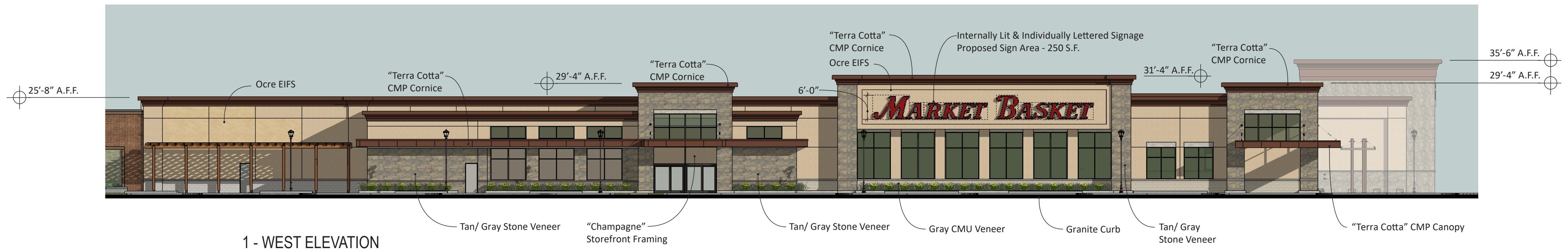
Tuscan North Village - Retail

Salem, New Hampshire

9/5/2017

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PARTNERSHIP





BUILDING A1 - PROPOSED SIGNAGE

A4



A1 PERSPECTIVE 1
PROPOSED SIGNAGE

A5

rm d

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Salem, New Hampshire
9/5/2017

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PARTNERSHIP

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MHF Design Consultants, Inc.
Architecture Planning Interiors



A1 PERSPECTIVE 2
PROPOSED SIGNAGE

A6



A1 PERSPECTIVE 3

A6.1

rm d

Tuscan North Village - Retail
Salem, New Hampshire
9/5/2017

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PRELLWITZ CHILINSKI ASSOCIATES
Architecture Planning Interiors



A1 PERSPECTIVE 4

A6.2



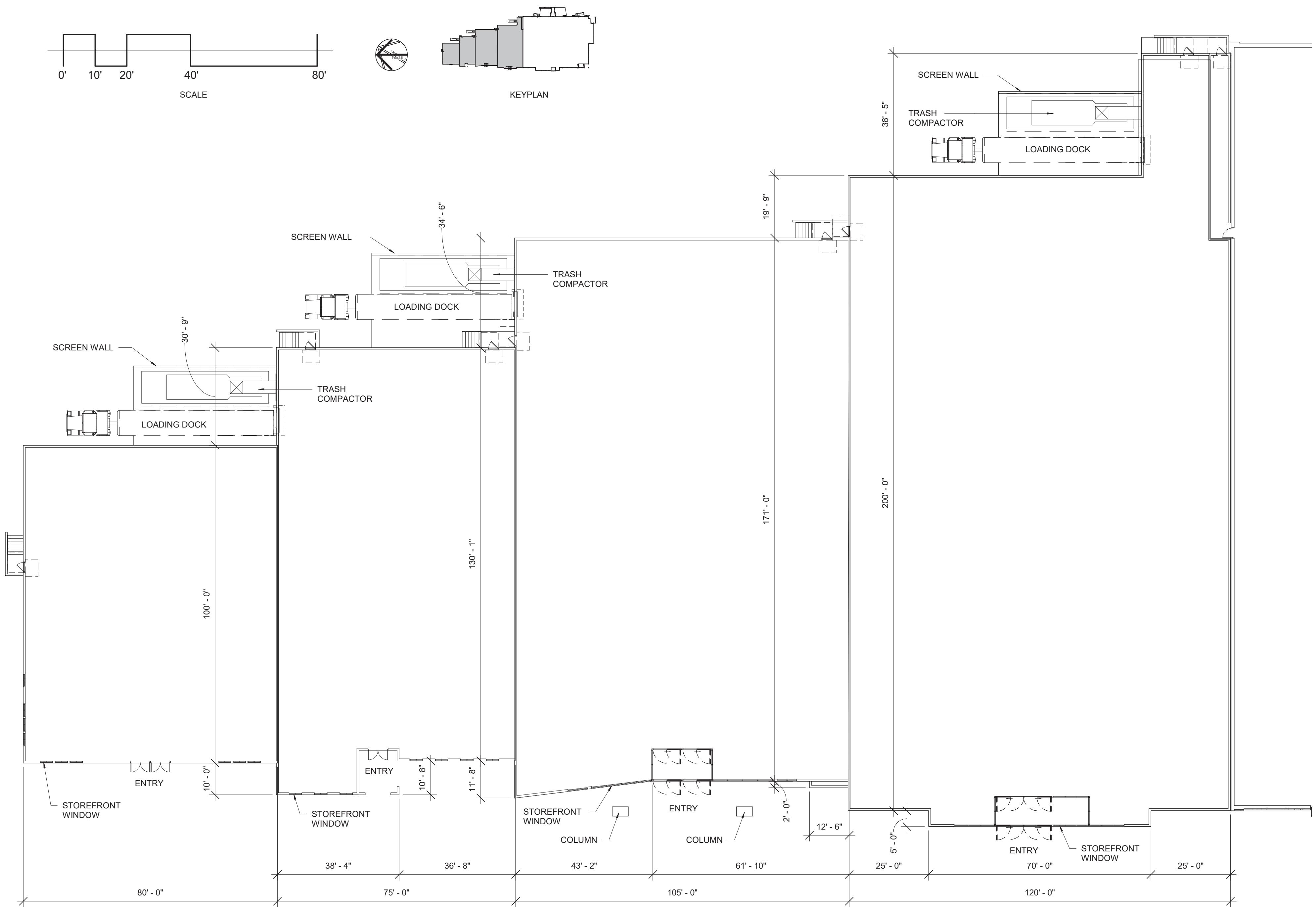
A1 PERSPECTIVE 5

A6.3



A1 PERSPECTIVE 6

A6.4

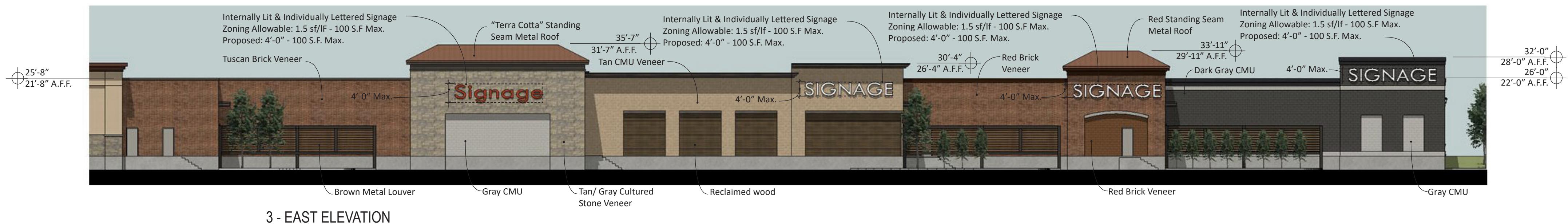


FLOOR PLAN

A7



2 - NORTH ELEVATION



3 - EAST ELEVATION



M1 PERSPECTIVE

A9



M1 PERSPECTIVE

A9.1

rm d

Tuscan North Village - Retail
Salem, New Hampshire
9/5/2017

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M2 PERSPECTIVE

A10

rm d

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9/5/2017

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M3 PERSPECTIVE

A11



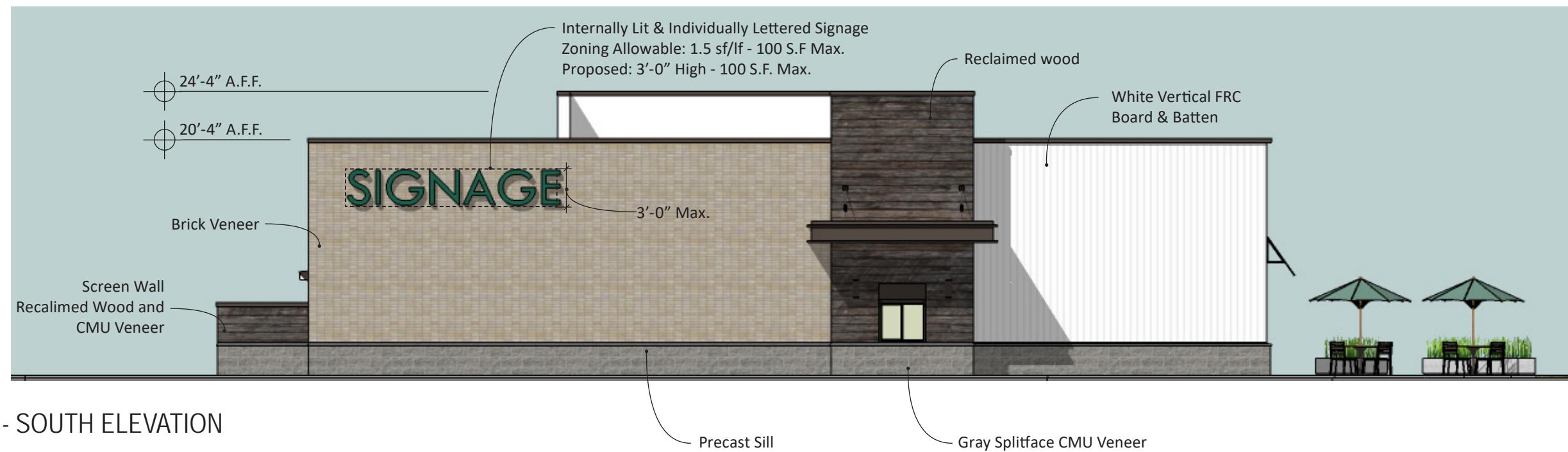
M4 PERSPECTIVE

A12



M4 PERSPECTIVE

A12.1



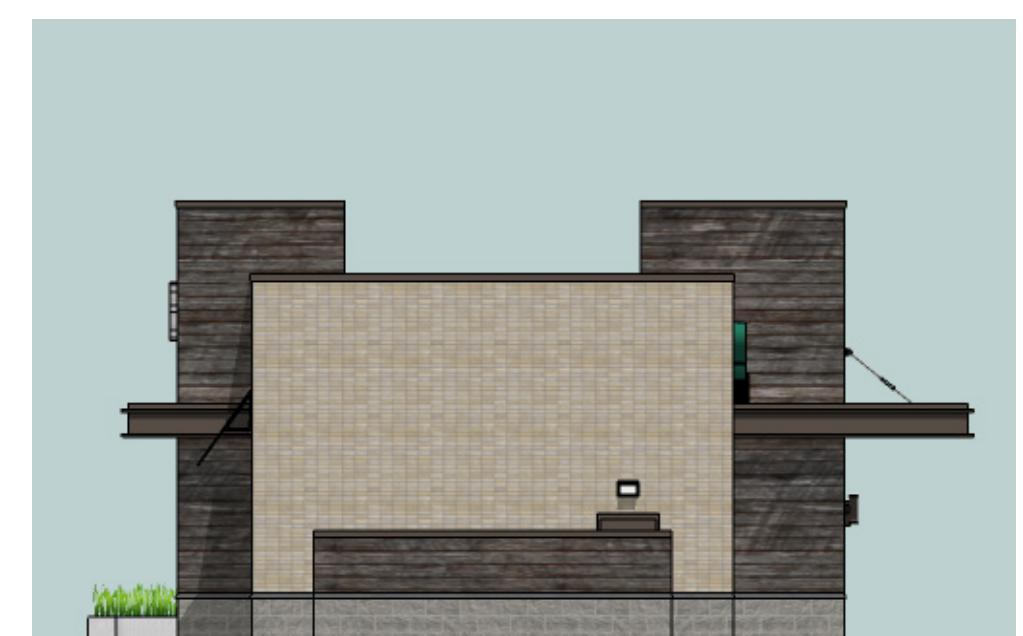
1 - SOUTH ELEVATION



2 - EAST ELEVATION



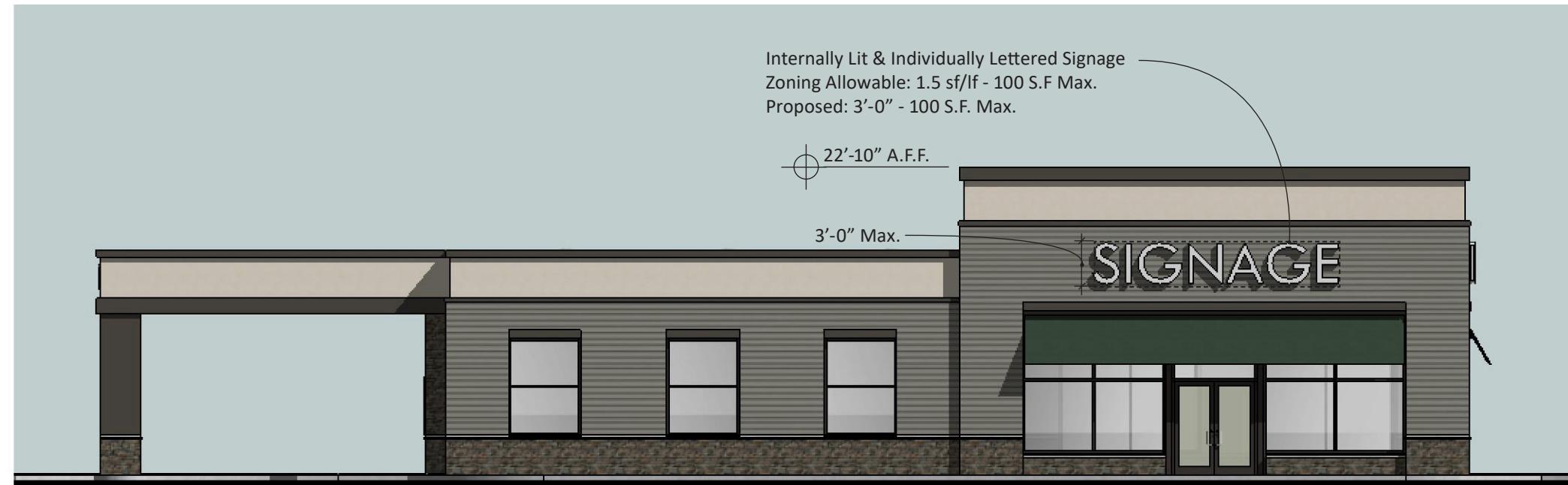
3 - NORTH ELEVATION



4 - WEST ELEVATION



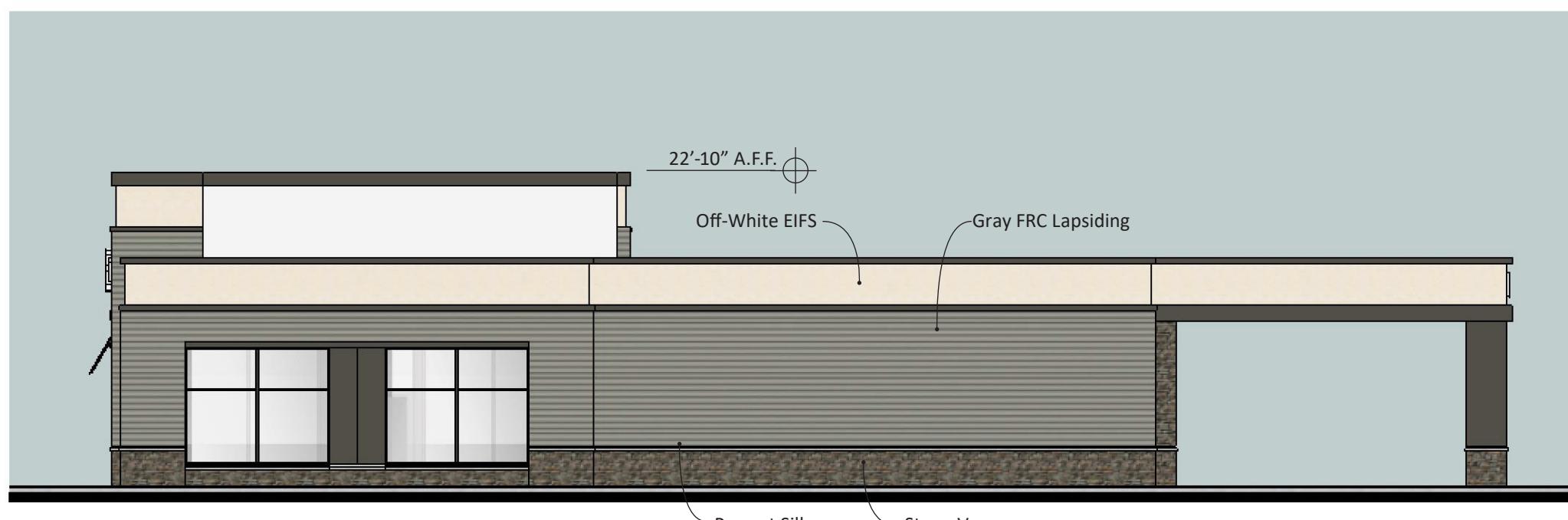
PERSPECTIVE



1 - SOUTH ELEVATION



2 - EAST ELEVATION



3 - NORTH ELEVATION



4 - WEST ELEVATION



PERSPECTIVE



1 - SOUTH ELEVATION



2 - EAST ELEVATION



3 - NORTH ELEVATION



4 - WEST ELEVATION



PERSPECTIVE



1 - SOUTH ELEVATION



2 - EAST ELEVATION



3 - NORTH ELEVATION



4 - WEST ELEVATION



PERSPECTIVE