

1. TITLE SHEET
2. EXISTING CONDITIONS PLAN
3. TUSCAN VILLAGE OVERVIEW PLAN
4. SITE PLAN
5. GRADING & DRAINAGE PLAN
- 5A. GRADING & DRAINAGE PLAN
6. UTILITIES PLAN
7. STORMWATER MANAGEMENT PLAN
8. CONSTRUCTION DETAILS
9. CONSTRUCTION DETAILS
10. CONSTRUCTION DETAILS
11. CONSTRUCTION DETAILS
12. CONSTRUCTION DETAILS
- 1 OF 1. SIGN DETAILS
- 1 OF 1. TRUCK TURN PLAN
- 1 OF 2. BUILDING ELEVATIONS (BY OTHERS)
- 2 OF 2. BUILDING ELEVATIONS (BY OTHERS)
- 1 OF 3. LANDSCAPE PLAN L4.1 (BY OTHERS)
- 2 OF 3. LANDSCAPE PLAN L5.1 (BY OTHERS)
- 3 OF 3. LANDSCAPE PLAN L5.2 (BY OTHERS)
- 1 OF 4. SITE LIGHTING PLAN (BY OTHERS)
- 2 OF 4. SITE LIGHTING PHOTOMETRICS (BY OTHERS)
- 3 OF 4. SITE LIGHTING FIXTURE SCHEDULE (BY OTHERS)
- 4 OF 4. SITE LIGHTING FIXTURE LINEUP (BY OTHERS)

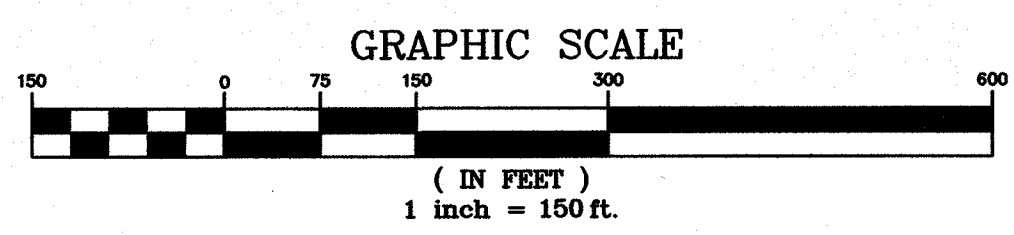
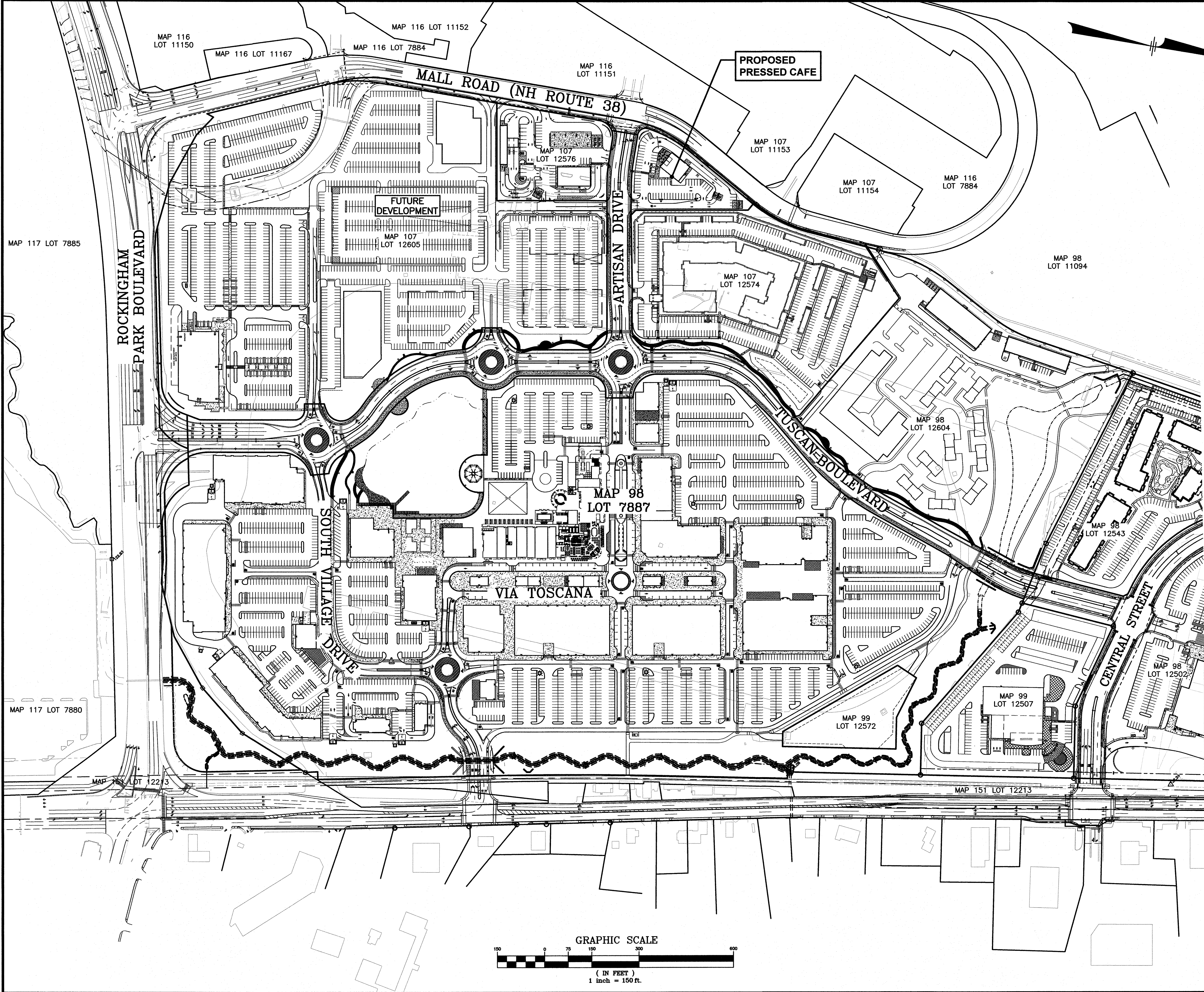
<u>MAP/LOT #</u>	<u>NAME & ADDRESS</u>
107/12574	ROCK ACQUISITION LLC
107/12576	C/O TUSCAN MARKET
107/12605	63 MAIN STREET SALEM, NH 03079
116/7884	ROCKSAL MALL LLC C/O SIMON PROPERTY GROUP P.O. BOX 6120 INDIANAPOLIS, IN 46207
107/11153	SERITAGE SRC FINANCE LLC C/O SERITAGE GROWTH PROPERTIES 500 FIFTH AVENUE, SUITE 1530 NEW YORK, NY 10110

<u>TYPE</u>	<u>PERMIT NUMBER</u>	<u>APPROVED</u>
NHDES ALTERATION OF TERRAIN	AOT-1681	10/1/2019
NHDES SEWER CONNECTION	D2019-0801	8/23/2019

- 1) ON JUNE 18, 2019 THE SALEM PLANNING BOARD VOTED TO APPROVE THE FOLLOWING CONDITIONAL USE PERMITS:
490-710E NUMBER OF PARKING SPACES: 63 PROPOSED WHERE 89 REQUIRED.
490-501C LOT COVERAGE: 78% PROPOSED WHERE A MAXIMUM OF 70% IS PERMITTED.
- 2) ON JUNE 18, 2019 THE SALEM PLANNING BOARD VOTED TO APPROVE THIS PLAN SUBJECT TO THE FOLLOWING CONDITIONS:


PRIOR TO BUILDING PERMIT:
 1. SUBMIT APPROVAL FROM ENGINEERING DIVISION;
 2. NOTE CONDITIONAL USE PERMITS ON PLAN;
 3. PAY FOR OUTSIDE INSPECTIONS PER DIRECTION OF ENGINEERING DIVISION;
 4. SUBMIT STATE PERMITS (AOT, SEWER EXTENSION);
 5. SUBMIT APPROVAL FROM TOWN'S DESIGN CONSULTANT;
PRIOR TO OCCUPANCY:
 6. PAY ROAD (\$84,950) AND PUBLIC SAFETY (\$2,800) IMPACT FEES;
 7. CONDUCT ALL SITE IMPROVEMENTS (BUILDING LOCATION DIMENSIONS, AND SETBACKS, SITE GRADING, UTILITIES, ROAD WORK, DRAINAGE, LANDSCAPING, LIGHTING, PARKING SPACES, SIGMAG WETLAND/FLOODPLAIN MITIGATION AREAS) IN ACCORDANCE WITH APPROVED PLAN;
 8. PROVIDE CERTIFIED AS-BUILT SITE PLAN;
 9. SUBMIT DRIVEWAY PERMIT FROM NHDOT;
OTHER:
 10. APPLICANT MUST OPERATE BUSINESS SO THAT PARKING LOT CAPACITY IS NOT EXCEEDED;
 11. MANAGE SNOW REMOVAL TO MINIMIZE LOSS OF PARKING SPACES;
 12. ALL REPRESENTATIONS MADE BY APPLICANT OR AGENTS AND ALL NOTES ON PLANS ARE INCORPORATED AS PART OF APPROVAL.

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
DRJ	CPS/DRJ	4040CAFE-CVR.DWG	404016	1 OF 12




NO.	DESCRIPTION REVISIONS	BY	DATE


TUSCAN VILLAGE OVERVIEW PLAN



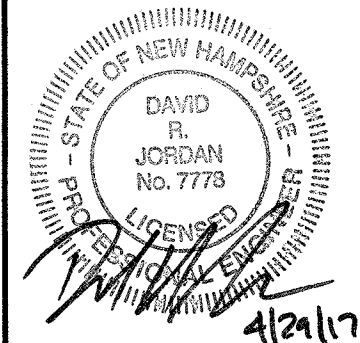
SALEM PROPERTY MAP 107 - LOT 12575
1 ARTISAN DRIVE
 PREPARED FOR:
OMJ REALTY, LLC
 63 MAIN STREET
 SALEM, NH 03079



MHF Design Consultants, Inc.
 44 Stiles Road, Suite One
 Salem, New Hampshire 03079
 (603) 893-0720
 ENGINEERS • PLANNERS • SURVEYORS
 www.mhfdesign.com



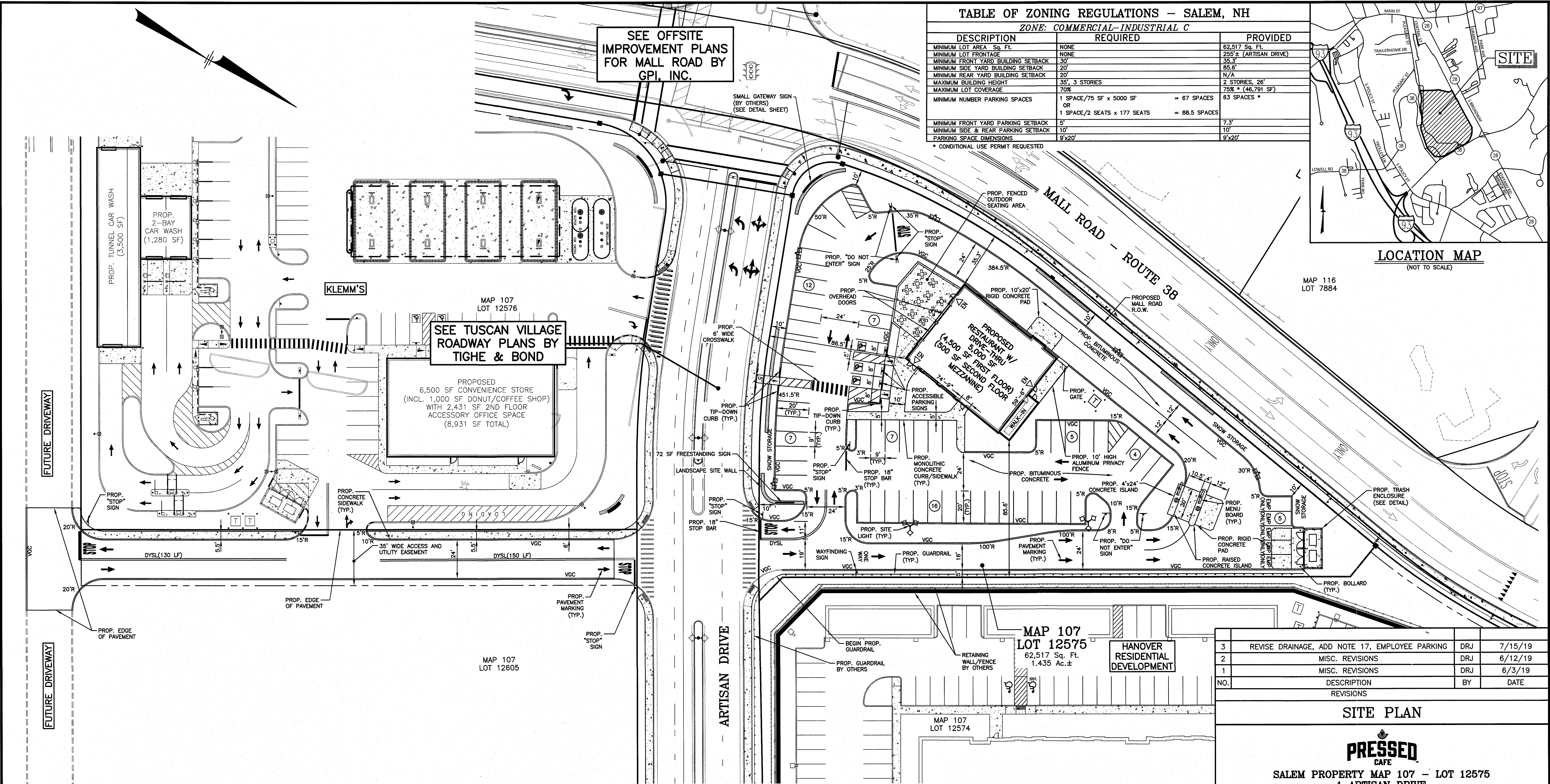
SCALE: 1" = 150' DATE: APRIL 29, 2019

 4/29/19	OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079	SALEM PLANNING BOARD APPROVAL
	ZONE: COMMERCIAL - INDUSTRIAL 'C'	

DESIGNED BY: DRJ	DRAWN/CHECKED CPS/DRJ	DWG. NAME 4040CAFE-SOP.DWG	PROJECT No. 404016	SHEET No. 3 OF 12
---------------------	--------------------------	-------------------------------	-----------------------	----------------------

F:\Projects\CAD\404016\PRESSED_CAFE\4040CAFE-SOP.dwg SGP 4/26/19 4:15pm sjb

F:\projects\cad\404016\pressed cafe\4040CAFE-SP.dwg SP 7/16/19 2:14pm csaras

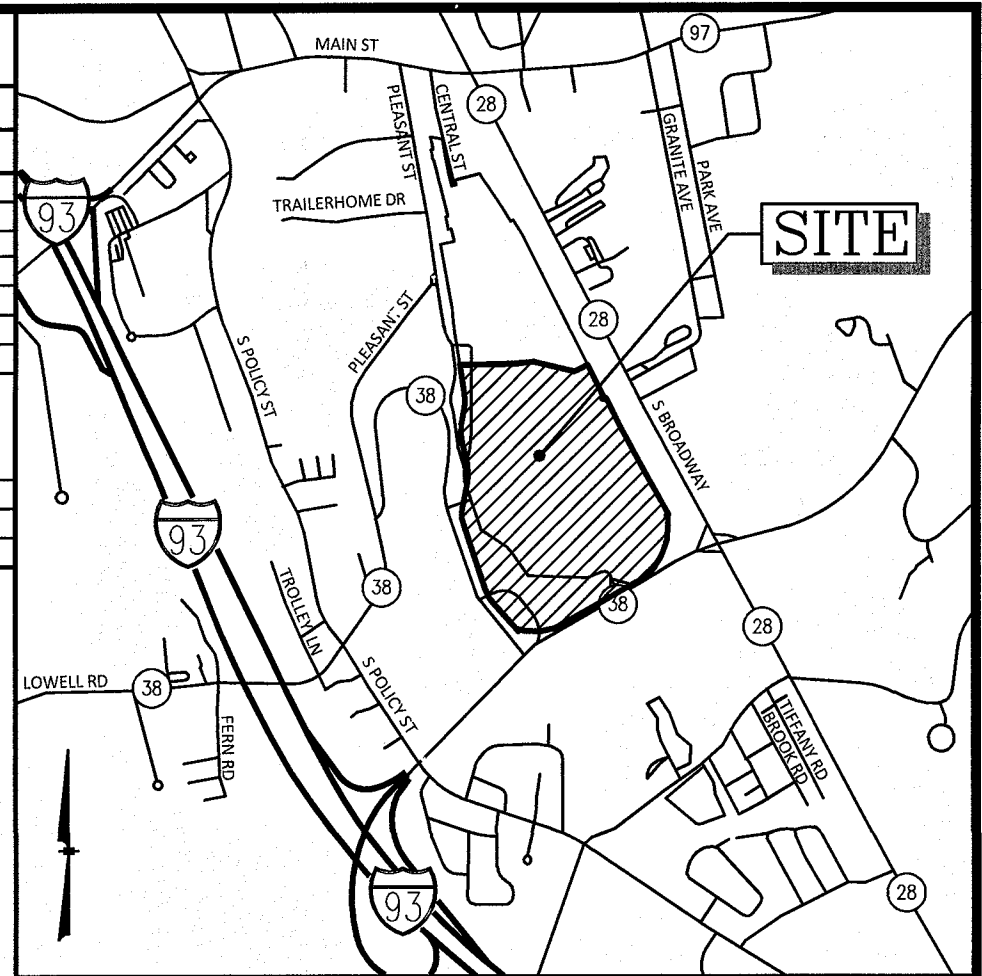


SEE OFFSITE
IMPROVEMENT PLANS
FOR MALL ROAD BY
GPI, INC.

SEE TUSCAN VILLAGE
ROADWAY PLANS BY
TIGHE & BOND

PROPOSED
6,500 SF CONVENIENCE STORE
(INCL. 1,000 SF DONUT/COFFEE SHOP)
WITH 2,431 SF 2ND FLOOR
ACCESSORY OFFICE SPACE
(8,931 SF TOTAL)

TABLE OF ZONING REGULATIONS - SALEM, NH		
ZONE: COMMERCIAL-INDUSTRIAL C		
DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA Sq. Ft.	NONE	62,517 Sq. Ft.
MINIMUM LOT FRONTAGE	NONE	255'± (ARTISAN DRIVE)
MINIMUM FRONT YARD BUILDING SETBACK	30'	35.3'
MINIMUM SIDE YARD BUILDING SETBACK	20'	85.5'
MINIMUM REAR YARD BUILDING SETBACK	20'	N/A
MAXIMUM BUILDING HEIGHT	35', 3 STORIES	2 STORIES, 26'
MAXIMUM LOT COVERAGE	70%	75% * (46,791 SF)
MINIMUM NUMBER PARKING SPACES	1 SPACE/75 SF x 5000 SF OR 1 SPACE/2 SEATS x 177 SEATS	67 SPACES 63 SPACES *
MINIMUM FRONT YARD PARKING SETBACK	5'	7.3'
MINIMUM SIDE & REAR PARKING SETBACK	10'	10'
PARKING SPACE DIMENSIONS	9'x20'	9'x20'



LOCATION MAP
(NOT TO SCALE)

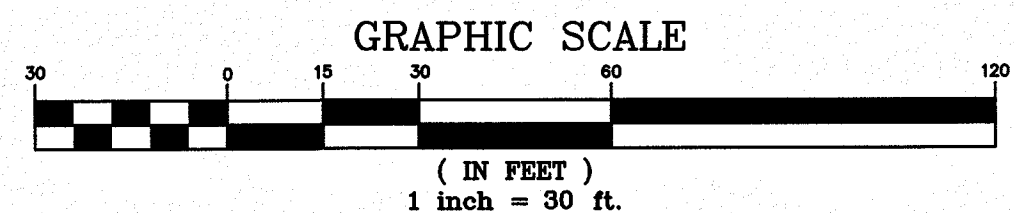
MAP 116
LOT 7884

LEGEND

○	IRON PIN FOUND	⊕	UTILITY POLE
□	CONCRETE BOUND FOUND	⊗	DRAIN MANHOLE
△	RAILROAD SPIKE FOUND	⊙	SEWER MANHOLE
◇	DRILL HOLE FOUND	⊖	TELEPHONE MANHOLE
VGC	VERTICAL GRANITE CURB	□	CATCH BASIN
BOC	BITUMINOUS CONCRETE LIP CURBING	—	WATER LINE
BCB	BITUMINOUS CONCRETE BERM	—	WATER VALVE
—	OVERHEAD SERVICE WIRES	ENT	ENTRY
DYSL	DOUBLE SOLID YELLOW LINE	⊕	FIRE HYDRANT
SSHL	SINGLE SOLID WHITE LINE	⊕	GAS VALVE
BWL	BROKEN WHITE LINE	—	GAS LINE
—	SIGN	—	UNDERGROUND TELEPHONE LINE
—	OBSERVATION WELL	—	UNDERGROUND ELECTRIC AND TELEPHONE
—	TEST PIT	—	WETLAND LINE
—	TEST BORING	—	SPOT ELEVATION
—	PERCOLATION TEST	—	CONTOUR ELEVATION
—	TREELINE	①	NUMBER OF PARKING SPACES

NOTES:

- THE PURPOSE OF THIS PLAN IS TO SHOW A LAYOUT OF A 5,000 SF RESTAURANT (4,500 SF FIRST FLOOR WITH 500 SF SECOND FLOOR MEZZANINE) WITH DRIVE-THRU, INCLUDING 125 INDOOR SEATS AND 52 PATIO SEATS ON MAP 107 LOT 12575 IN ACCORDANCE WITH THE LARGE SCALE DEVELOPMENT ORDINANCE, SECTION 490-710.
- THIS PLAN SHOWS THE PROPOSED IMPROVEMENTS AND LANE CONFIGURATIONS IN MALL ROAD. SEE PLANS PREPARED BY GPI.
- THE SECOND FLOOR MEZZANINE IS FOR STORAGE ONLY.
- THE FOLLOWING CONDITIONAL USE PERMITS ARE REQUESTED:
A) LOT COVERAGE
B) NUMBER OF PARKING SPACES
- THE INFORMATION SHOWN ON THIS PLAN IS BASED IN PART ON SURVEY WORK PERFORMED BY MHF DESIGN CONSULTANTS, INC. ALONG WITH INFORMATION FROM RECORD PLANS AND AERIAL MAPPING.
- ALL WALKS, STAIRS AND LANDINGS TO BE CEMENT CONCRETE. CONTRACTOR SHALL ENSURE ADA COMPLIANCE AS APPROPRIATE.
- ALL WORK SHALL CONFORM TO APPLICABLE TOWN OF SALEM, NHDES AND NHDOT STANDARDS.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN CASE OF CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWING AND/OR SPECIFICATION, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATIONS.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONFIRM WITH THE ENGINEER THAT HE HAS THE MOST RECENT SET OF PLANS. SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS, NOT ALL FEATURES ARE DETAILED ON EVERY SHEET. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
- CONTRACTOR RESPONSIBLE FOR COORDINATION WITH ARCHITECTURAL PLANS FOR HIS/ HER WORK. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS.
- CONTRACTOR TO CONFIRM BENCHMARKS PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFYING AND DETERMINING THE LOCATION, SIZE, AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING "DIG SAFE" (888-344-7233) AT LEAST 72 HOURS PRIOR TO ANY DIGGING.
- ALL PAVEMENT MARKINGS SHALL CONFORM TO THE MUTCD, LATEST EDITION.
- PROPOSED ON-SITE SNOW STORAGE AREAS ARE AS SHOWN. ANY EXCESS SNOW SHALL BE TRUCKED OFF-SITE AND DISPOSED OF IN ACCORDANCE WITH THE TOWN OF SALEM AND NHDES REQUIREMENTS.
- ANY ROOFTOP OR GROUND LEVEL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW.
- DELIVERIES/ LOADING AREA IS PROPOSED IN THE BYPASS LANE DURING NON-PEAK HOURS, TYPICALLY 5 AM - 7 AM.
- TRASH PICKUP TYPICALLY SCHEDULED 5AM-7AM.



3	REVISE DRAINAGE, ADD NOTE 17, EMPLOYEE PARKING	DRJ	7/15/19
2	MISC. REVISIONS	DRJ	6/12/19
1	MISC. REVISIONS	DRJ	6/3/19
NO.	DESCRIPTION	BY	DATE

REVISIONS

SITE PLAN

PRESSED CAFE

SALEM PROPERTY MAP 107 - LOT 12575
1 ARTISAN DRIVE

PREPARED FOR:
OMJ REALTY, LLC
63 MAIN STREET
SALEM, NH 03079

44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

MHF Design Consultants, Inc.

SCALE: 1"=30'

DATE: APRIL 29, 2019

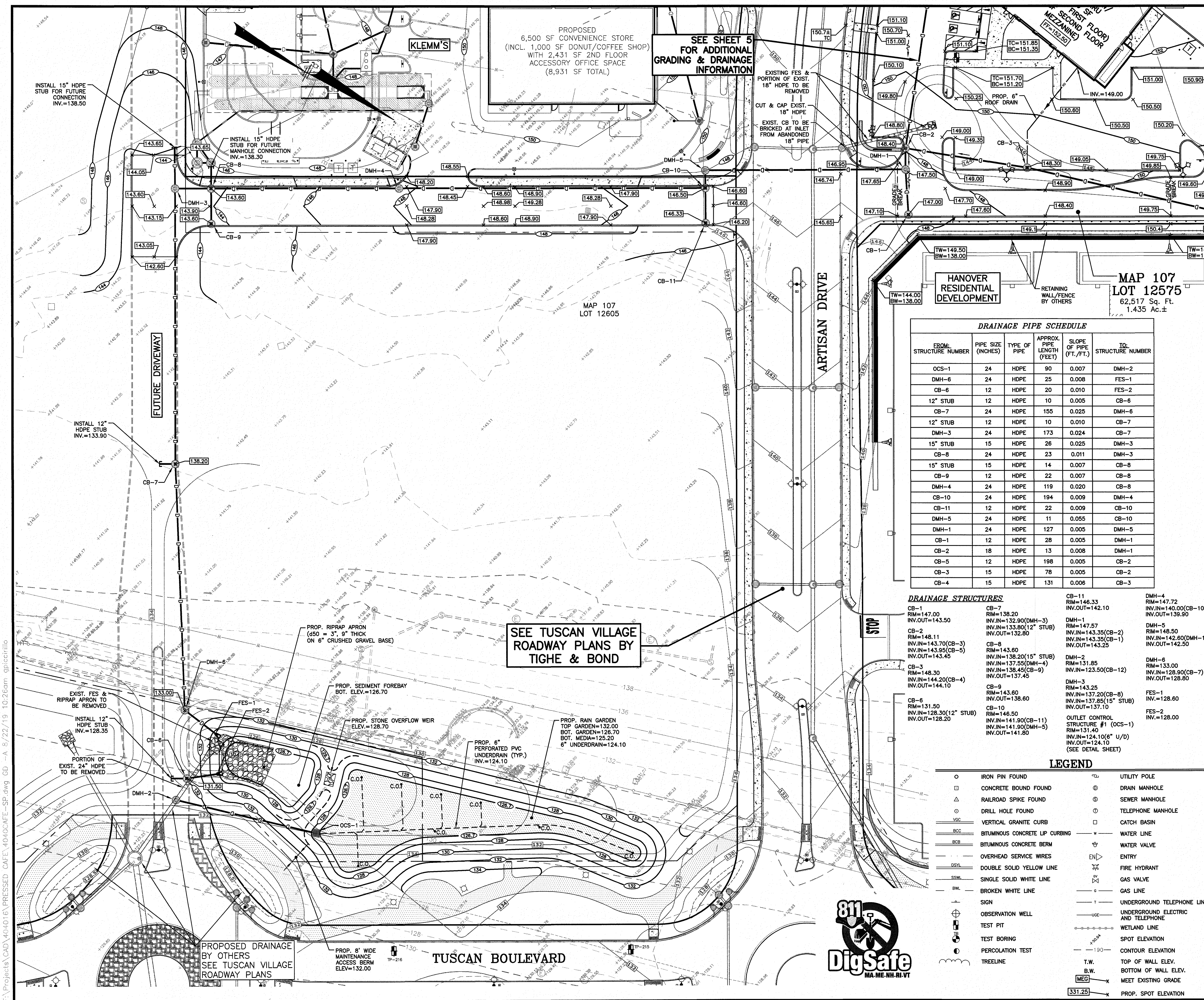
OWNER OF RECORD
ROCK ACQUISITION, LLC
63 MAIN STREET
SALEM, NH 03079

SALEM PLANNING BOARD
APPROVAL

ZONE: COMMERCIAL - INDUSTRIAL 'C'

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
DRJ	CPS/DRJ	4040CAFE-SP.DWG	404016	4 OF 12



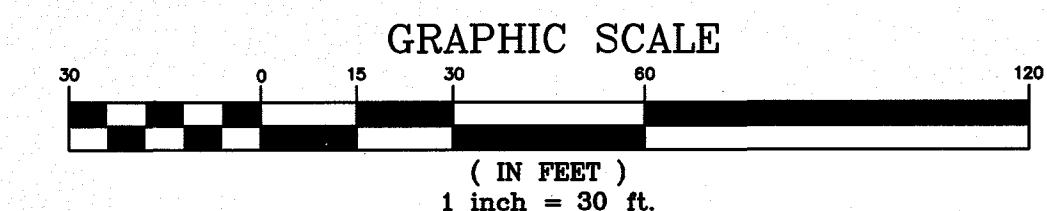


- NOTES:**
- 1) ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF SALEM, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
 - 2) THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AFFECTED BY HIS WORK AT ALL TIMES.
 - 3) ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
 - 4) CONTRACTOR SHALL VERIFY TBM ELEVATIONS PRIOR TO CONSTRUCTION.
 - 5) THE CONTRACTOR SHALL COORDINATE MATERIALS AND INSTALLATION SPECIFICATIONS WITH THE INDIVIDUAL UTILITY AGENCIES/COMPANIES, AND ARRANGE FOR ALL INSPECTIONS.
 - 6) THE CONTRACTOR SHALL STABILIZE ALL DITCHES, SWALES, AND PONDS PRIOR TO DIRECTING STORMWATER RUN-OFF TO THEM.
 - 7) THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS. PRIOR TO THE START OF ANY CONSTRUCTION, THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE AGREED TO BY THE ENGINEER BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIG SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE DIGGING.
 - 8) CONTRACTOR SHALL DISPOSE OF ANY UNSUITABLE MATERIAL FOUND ONSITE (I.E. TRASH, STUMPS, ETC.) IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. CONTRACTOR SHALL COORDINATE ALL WORK WITH SUBCONTRACTORS, UTILITY COMPANIES, AND THE TOWN OF SALEM, AND SHALL BE RESPONSIBLE FOR COORDINATION OF ALL PERMITS, INSPECTIONS, AND MAINTENANCE AND PROTECTION OF ALL TRAFFIC AND PEDESTRIANS. ANY DISCREPANCIES FOUND OR SHOWN SHALL BE RESOLVED BY THE CONTRACTOR.
 - 9) PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL CONFIRM WITH THE ENGINEER THAT HE HAS THE MOST RECENT SET OF PLANS. SITE WORK SHALL BE CONSTRUCTED FROM A COMPLETE SET OF PLANS. NOT ALL FEATURES ARE DETAILED ON EVERY PLAN. THE ENGINEER IS TO BE NOTIFIED OF ANY CONFLICT WITHIN THIS PLAN SET.
 - 10) CONTRACTOR SHALL CONFIRM WITH ENGINEER ALL LAYOUT ITEMS NOT SHOWN OR ANNOTATED. THE LOCATION OF ALL STRUCTURES AND UTILITIES SHALL BE CONFIRMED PRIOR TO LAYOUT OF PAVED AREAS. EXACT LOCATION OF PAVEMENT SHALL BE CONFIRMED WITH ENGINEER PRIOR TO PLACEMENT OF BINDER COURSE PAVEMENT.
 - 11) IF DURING CONSTRUCTION IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE CONTRACTOR SHALL BE REQUIRED TO CORRECT THE DEFICIENCIES TO MEET THE REQUIREMENTS OF THE REGULATIONS AT NO EXPENSE TO THE TOWN.
 - 12) SEE CONSTRUCTION DETAIL SHEETS FOR ADDITIONAL INFORMATION.
 - 13) ALL DRAINAGE PIPE DATA CALCULATED TO STRUCTURE CENTERS, TYP.
 - 14) AN OPERATION AND MAINTENANCE MANUAL HAS BEEN PREPARED FOR THE ON-SITE STORMWATER MANAGEMENT SYSTEMS AND IS CONSIDERED PART OF THIS PLAN SET. THE PROPERTY OWNER SHALL COMPLY WITH THE INSPECTION AND MAINTENANCE SCHEDULE AND RECORD KEEPING REQUIREMENTS CONTAINED THEREIN.
 - 15) ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.
 - 16) ALL ROOF DRAIN PIPE SHALL BE 6" PVC(SDR-35).
 - 17) ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED. ELEVATIONS ARE BASED ON NVD 1929 DATUM.
 - 18) SOIL STOCKPILING AREAS TO BE SURROUNDED BY HAY BALES TO LIMIT EROSION.
 - 19) SEE UTILITIES PLAN FOR DETAILED UTILITIES INFORMATION.
 - 20) SEE STORMWATER MANAGEMENT PLAN FOR DETAILED EROSION CONTROL MEASURES.
 - 21) ALL ADA ACCESSIBLE WALKWAYS CANNOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE. RAMP CANNOT EXCEED 8.33% RUNNING SLOPE AND 2% CROSS SLOPE, AND HC PARKING STALLS AND ACCESS AISLES CANNOT EXCEED 2% SLOPE IN ANY DIRECTION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
 - 22) ALL PROPOSED CATCH BASINS SHALL HAVE 4" SUMPS AND OUTLETS EQUIPPED WITH "SNOUT" OIL HOODS OR APPROVED EQUAL.
 - 23) SEE SHEET 12 FOR TEST PIT DATA RESULTS.

DRAINAGE PIPE SCHEDULE					
FROM: STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE OF PIPE (FT./FT.)	TO: STRUCTURE NUMBER
OCS-1	24	HDPE	90	0.007	DMH-2
DMH-6	24	HDPE	25	0.008	FES-1
CB-6	12	HDPE	20	0.010	FES-2
12" STUB	12	HDPE	10	0.005	CB-6
CB-7	24	HDPE	155	0.025	DMH-6
12" STUB	12	HDPE	10	0.010	CB-7
DMH-3	24	HDPE	173	0.024	CB-7
15" STUB	15	HDPE	26	0.025	DMH-3
CB-8	24	HDPE	23	0.011	DMH-3
15" STUB	15	HDPE	14	0.007	CB-8
CB-9	12	HDPE	22	0.007	CB-8
DMH-4	24	HDPE	119	0.020	CB-8
CB-10	24	HDPE	194	0.009	DMH-4
CB-11	12	HDPE	22	0.009	CB-10
DMH-5	24	HDPE	11	0.055	CB-10
DMH-1	24	HDPE	127	0.005	DMH-5
CB-1	12	HDPE	28	0.005	DMH-1
CB-2	18	HDPE	13	0.008	DMH-1
CB-5	12	HDPE	198	0.005	CB-2
CB-3	15	HDPE	78	0.005	CB-2
CB-4	15	HDPE	131	0.006	CB-3

DRAINAGE STRUCTURES	
CB-7 RIM=147.00 INV.OUT=143.50	CB-11 RIM=146.33 INV.IN=140.00(CB-10) INV.OUT=142.10
CB-2 RIM=148.11 INV.IN=143.70(CB-3) INV.IN=143.95(CB-5) INV.OUT=143.45	DMH-1 RIM=147.57 INV.IN=143.35(CB-2) INV.IN=143.35(CB-1) INV.OUT=143.25
CB-3 RIM=148.30 INV.IN=144.20(CB-4) INV.OUT=144.10	DMH-2 RIM=131.85 INV.IN=123.50(CB-12) INV.OUT=137.45
CB-6 RIM=131.50 INV.IN=128.30(12" STUB) INV.OUT=128.20	DMH-3 RIM=143.25 INV.IN=137.20(CB-8) INV.IN=137.85(15" STUB) INV.OUT=137.10
	DMH-4 RIM=147.72 INV.IN=140.00(CB-10) INV.OUT=139.90
	DMH-5 RIM=148.50 INV.IN=142.60(DMH-1) INV.OUT=142.50
	DMH-6 RIM=133.00 INV.IN=128.90(CB-7) INV.OUT=128.80
	FES-1 INV.=128.60
	FES-2 INV.=128.00
	OUTLET CONTROL STRUCTURE #1 (OCS-1) RIM=131.40 INV.IN=124.10(6" U/D) INV.OUT=124.10 (SEE DETAIL SHEET)

- LEGEND**
- | | | | |
|-------|---------------------------------|--------|------------------------------------|
| ○ | IRON PIN FOUND | ⊕ | UTILITY POLE |
| □ | CONCRETE BOUND FOUND | ⊗ | DRAIN MANHOLE |
| △ | RAILROAD SPIKE FOUND | ⊙ | SEWER MANHOLE |
| ○ | DRILL HOLE FOUND | ⊖ | TELEPHONE MANHOLE |
| —VSC— | VERTICAL GRANITE CURB | □ | CATCH BASIN |
| —BCS— | BITUMINOUS CONCRETE LIP CURBING | —W— | WATER LINE |
| —BCB— | BITUMINOUS CONCRETE BERM | ⊕ | WATER VALVE |
| —OSL— | OVERHEAD SERVICE WIRES | EN | ENTRY |
| —SSW— | DOUBLE SOLID YELLOW LINE | ⊕ | FIRE HYDRANT |
| —BWL— | SINGLE SOLID WHITE LINE | ⊕ | GAS VALVE |
| — | BROKEN WHITE LINE | —G— | GAS LINE |
| — | SIGN | —T— | UNDERGROUND TELEPHONE LINE |
| ⊕ | OBSERVATION WELL | —UG— | UNDERGROUND ELECTRIC AND TELEPHONE |
| ⊕ | TEST PIT | — | WETLAND LINE |
| ⊕ | TEST BORING | — | SPOT ELEVATION |
| ⊕ | PERCOLATION TEST | — | CONTOUR ELEVATION |
| ⊕ | TREELINE | T.W. | TOP OF WALL ELEV. |
| | | B.W. | BOTTOM OF WALL ELEV. |
| | | MEG | MEET EXISTING GRADE |
| | | 331.25 | PROP. SPOT ELEVATION |



NO.	REVISIONS	BY	DATE
2	REVISE PER RCCD COMMENTS	DRJ	8/21/19
1	MISC. PIPE REVISIONS	DRJ	7/24/19

GRADING & DRAINAGE PLAN

PRESSED CAFE

SALEM PROPERTY MAP 107 - LOT 12575

1 ARTISAN DRIVE

PREPARED FOR:
OMJ REALTY, LLC
63 MAIN STREET
SALEM, NH 03079

44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

MHF Design Consultants, Inc.

SCALE: 1"=30'

DATE: JULY 15, 2019

OWNER OF RECORD
ROCK ACQUISITION, LLC
63 MAIN STREET
SALEM, NH 03079

SALEM PLANNING BOARD
APPROVAL

ZONE: COMMERCIAL - INDUSTRIAL 'C'

DESIGNED BY: DRJ
DRAWN/CHECKED: CPS/DRJ
DWG. NAME: 4040CAFE-SP.DWG
PROJECT No.: 404016
SHEET No.: 5A OF 12

F:\Projects\CAD\404016\4040CAFE-SP.DWG GD -A 8/22/19 10:26am gpiccirillo

SEWER PIPE SCHEDULE					
FROM: STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE OF PIPE (FT./FT.)	TO: STRUCTURE NUMBER
BLDG.	6	PVC	22	0.061	GR. TRAP
GR. TRAP	6	PVC	48	0.098	SMH-2
BLDG.	8	PVC	8	0.063	SMH-1
SMH-1	8	PVC	30	0.010	SMH-2
SMH-2	8	PVC	76	0.033	SMH-3
SMH-3	8	PVC	92	0.008	EXIST. STUB
EXIST. STUB	8	PVC	25	0.005	SMH-4
SMH-4	8	PVC	100	0.005	SMH-5

SEWER STRUCTURES

SMH-1 (DROP MANHOLE)
RIM=151.60
INV.IN=148.00 (BLDG.)
INV.OUT=143.00

SMH-2
RIM=150.18
INV.IN=142.70 (GR. TRAP)
INV.IN=142.70 (SMH-1)
INV.OUT=142.60

SMH-3
RIM=148.55
INV.IN=140.10 (SMH-2)
INV.OUT=140.00

SMH-4
RIM=148.99
INV.IN=138.20 (8" PVC STUB)
INV.OUT=138.10

SMH-5
RIM=146.70
INV.IN=137.60 (SMH-4)
INV.OUT=137.50

2,000 GAL. GREASE TRAP
RIM=151.8±
INV.IN=147.65 (BLDG.)
INV.OUT=147.40

SEE TUSCAN VILLAGE
ROADWAY PLANS BY
TIGHE & BOND

SEE OFFSITE
IMPROVEMENT PLANS
FOR MALL ROAD BY
GPI, INC.

LOCATION MAP (NOT TO SCALE)

NOTES:

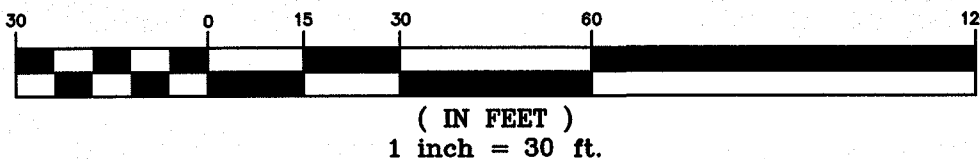
- ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.
- ALL WATER PIPE SHALL BE CEMENT LINED DUCTILE IRON, UNLESS OTHERWISE NOTED. BUILDING WATER DOMESTIC SERVICE SHALL BE COPPER, TYPE K.
- ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DESIGN ENGINEER PRIOR TO INSTALLATION.
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE TOWN, STATE AND FEDERAL STANDARDS.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
- ALL WATER CONSTRUCTION SHALL CONFORM TO APPLICABLE MUNICIPAL SERVICES DEPARTMENT AND NHDES SPECIFICATIONS.
- ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS.
- ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL MSD.
- THE LOCATION AND ELEVATION OF ALL PROPOSED BUILDING UTILITY CONNECTIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS.
- ALL EXISTING ON-SITE UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE REMOVED.
- THRUST BLOCKS SHALL BE REQUIRED AT ALL BENDS & FITTINGS FOR PROPOSED CLDI WATER AND SHALL CONFORM TO SALEM WATER DEPARTMENT SPECIFICATIONS.
- ANCHOR TEES ARE REQUIRED FOR 6" HYDRANT.
- ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
- SEE GRADING & DRAINAGE PLAN FOR DETAILED DRAINAGE INFORMATION.
- IRRIGATION FOR THE SITE LANDSCAPING SHALL BE PROVIDED BY THE TUSCAN VILLAGE WELL WATER IRRIGATION SYSTEM.

ESTIMATE OF PROPOSED WATER USAGE:

(PER ENV-WQ 100B.03(e))

177 SEATS (20 GPD/SEAT) = 3,540 GPD
10 RESTAURANT EMPLOYEES (20 GPD/EMPLOYEE) = 200 GPD
= 3,740 GPD

GRAPHIC SCALE



SALEM MUNICIPAL SERVICES DEPARTMENT NOTES:

- REQUIRED METERING AND BACKFLOW PREVENTION DEVICES WILL BE INSTALLED ON WATER SERVICES. THESE DEVICES WILL BE LOCATED AT THE POINT SERVICE LINES ENTER THE BUILDING. SERVICE LINES ARE NOT ALLOWED TO RUN THROUGH THE BUILDING, UNDER FLOORS, OVERHEAD OR OTHERWISE.
- ALL EXISTING WATER AND SEWER SERVICES FOR BUILDINGS TO BE RAZED MUST BE CUT AND CAPPED PRIOR TO A RAZE PERMIT BEING ISSUED.
- DOMESTIC WATER SERVICES MAY BE TAPPED OFF FIRE SPRINKLER SERVICES, PROVIDED THE DOMESTIC SERVICE IS TAPPED A MINIMUM OF TEN FEET OUTSIDE THE BUILDING. VALVES ARE REQUIRED ON BOTH SERVICE LINES, WITH A VALVE IN THE FIRE SERVICE DOWNSIDE OF THE DOMESTIC SERVICE TAP. THESE VALVES SHOULD BE LOCATED A MINIMUM FIVE FEET FROM THE BUILDING.

SALEM FIRE DEPARTMENT NOTES:

- EACH BUILDING SHALL BE PROVIDED THROUGHOUT WITH AN AUTOMATIC FIRE ALARM SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH SALEM FIRE DEPARTMENT REGULATIONS.
- EACH BUILDING SHALL BE PROVIDED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH SALEM FIRE DEPARTMENT RULES AND REGULATIONS.
- ALL SITE AND CONSTRUCTION PLANS MAY BE REVIEWED BY A THIRD PARTY CONSULTANT OF THE TOWNS CHOOSING. ALL COST ASSOCIATED WITH THIRD PARTY REVIEWS AND INSPECTION SHALL BE PAID BY THE DEVELOPER.
- FIRE HYDRANT AND REQUIRED FLOW REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE 2015 EDITION AND SALEM WATER DEPARTMENT REGULATIONS. FLOW CALCULATIONS AND BUILDING CONSTRUCTION CLASSIFICATION SHALL BE INCLUDED WITH THE SITE PLAN.
- PLANS FOR CONSTRUCTION OF BUILDINGS AND FIRE PROTECTION SYSTEMS SHALL BE SUBMITTED TO THE SALEM FIRE DEPARTMENT AND RELEASED FOR CONSTRUCTION PRIOR TO STARTING WORK. ALL CONTRACTORS INSTALLING FIRE PROTECTION SYSTEMS SHALL HOLD A CERTIFICATE OF FITNESS FROM THE SALEM FIRE DEPARTMENT.
- ALL UNDERGROUND WATER MAINS SERVING SPRINKLER OR STANDPIPE SYSTEM SHALL BE FLUSHED IN ACCORDANCE WITH NFPA 24 AND SHALL BE WITNESSED BY SALEM FIRE DEPARTMENT PERSONNEL.



UTILITIES PLAN



SALEM PROPERTY MAP 107 - LOT 12575
1 ARTISAN DRIVE

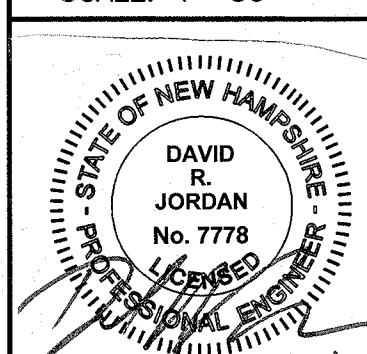
PREPARED FOR:
OMJ REALTY, LLC
63 MAIN STREET
SALEM, NH 03079



44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

SCALE: 1"=30'

DATE: APRIL 29, 2019



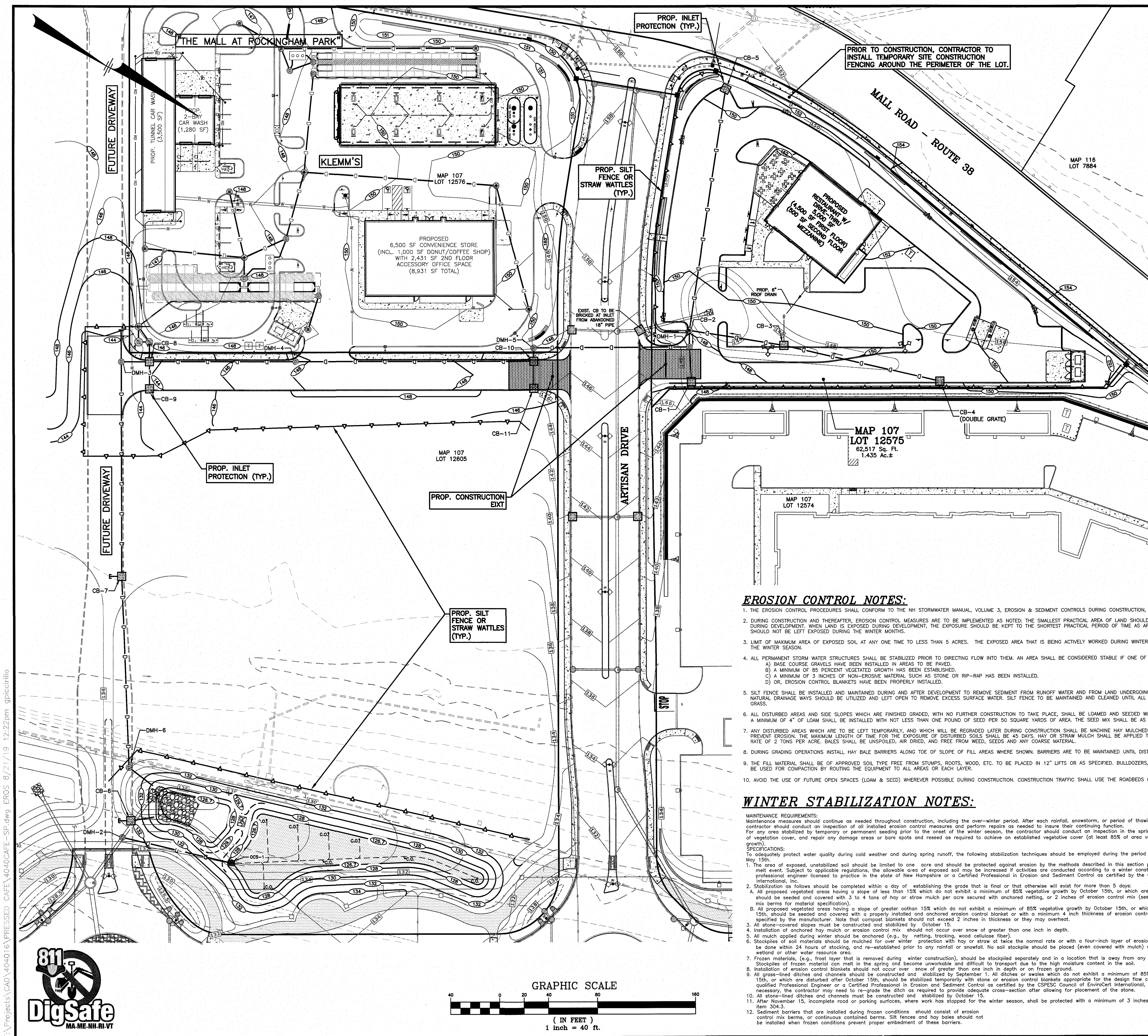
OWNER OF RECORD
ROCK ACQUISITION, LLC
63 MAIN STREET
SALEM, NH 03079

SALEM PLANNING BOARD
APPROVAL

ZONE: COMMERCIAL - INDUSTRIAL 'C'

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
DRJ	CPS/DRJ	4040CAFE-SP.DWG	404016	6 OF 12

F:\Projects\CAD\404016\PPRESSED_CAFE\4040CAFE-SP.dwg UT 9/05/19 9:09am gpiccirillo



NOTES:

- 1) ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC. OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.
- 2) ELEVATIONS ARE BASED ON NGVD 1929 DATUM.
- 3) ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- 4) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
- 5) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 6) ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE TOWN, STATE AND FEDERAL STANDARDS.
- 7) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
- 8) AN OPERATION AND MAINTENANCE MANUAL HAS BEEN PREPARED FOR THE ON-SITE STORMWATER MANAGEMENT SYSTEMS AND IS CONSIDERED PART OF THIS PLAN SET. THE PROPERTY OWNER SHALL COMPLY WITH THE INSPECTION AND MAINTENANCE SCHEDULE AND RECORD KEEPING REQUIREMENTS CONTAINED THEREIN.

LOCATION MAP
(NOT TO SCALE)

CONSTRUCTION SEQUENCE NOTES:

1. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY ON-SITE CONSTRUCTION AS SHOWN. ADDITIONAL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL.
2. CONSTRUCT TEMPORARY STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THIS SHEET.
3. CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
4. REMOVE AND STOCKPILE TOPSOIL. STOCKPILE SHALL BE SEED TO PREVENT EROSION.
5. CONSTRUCT PONDS, SWALES & LEVEL SPREADERS & STABILIZE PRIOR TO DIRECTING ANY RUNOFF TO THEM.
6. CONSTRUCT ROADWAYS AND PERFORM SITE GRADING, PLACING HAY BALES AND SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION. STABILIZE ROADS, PARKING LOTS AND CUT/FILL SLOPES WITHIN 72-HOURS OF ACHIEVING FINISH GRADES.
7. INSTALL UNDERGROUND UTILITIES AND DRAINAGE SYSTEM.
8. BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL LOT AND FILL SLOPES SHALL BE SEED OR MULCHED WITHIN 72-HOURS OF ACHIEVING FINISHED GRADES.
9. DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING. AT A MINIMUM, INSPECT EROSION CONTROLS WEEKLY AND AFTER EVERY 1/2" OF RAINFALL.
10. BEGIN EXCAVATION FOR CONSTRUCTION OF BUILDINGS.
11. FINISH PAVING ALL ROADWAYS AND DRIVEWAYS.
12. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
13. AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEEDING AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
14. APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:

Limestone:	138 lbs./1,000 square feet.
Fertilizer:	13.8 lbs./1,000 SF
Mulch:	hay mulch approximately 3 tons/acre unless erosion control matting is used.
Permanent Seed Mix:	
Creeping Red Fescue	20 LBS./ACRE
Tall Fescue	20 LBS./ACRE
Redtop	2 LBS./ACRE
TOTAL	42 LBS./ACRE
Temporary Seed Mix:	
Winter Rye (Aug. 15-Sept. 15)	112 LBS./ACRE
Oats (No later than May 15)	80 LBS./ACRE

15. NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE HAY MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 2 TONS PER ACRE.
16. THE CONTRACTOR AND DEVELOPER MUST MANAGE THE PROJECT TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:33 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
17. FUGITIVE DUST MUST BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000.

TEMPORARY EROSION CONTROL MEASURES:

1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
2. HAY BALE BARRIERS AND SEDIMENT TRAPS SHALL BE INSTALLED AS REQUIRED. BARRIERS AND TRAPS ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
3. BALED HAY AND MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE FROM NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY. NO SALT HAY SHALL BE USED.
4. FILL MATERIAL SHALL BE FREE FROM STUMPS, WOOD, ROOTS, ETC.
5. STOCKPILED MATERIALS SHALL BE PLACED ONLY IN AREAS SHOWN ON THE PLANS. STOCKPILES SHALL BE PROTECTED BY SILTATION FENCE AND SEED TO PREVENT EROSION. THESE MEASURES SHALL REMAIN UNTIL ALL MATERIAL HAS BEEN PLACED OR DISPOSED OFF SITE.
6. ALL DISTURBED AREAS SHALL BE LOAMED AND SEED. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED AND SEEDING AS SPECIFIED.
7. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED.
8. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
9. ALL CATCH BASIN INLETS WILL BE PROTECTED WITH LOW POINT SEDIMENTATION BARRIER.
10. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED AND CLEANED AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
11. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTER AREA.
12. JUTE NETTING OR APPROVED EQUIVALENT SHALL BE PROVIDED ON ALL SLOPES GREATER THAN 3:1.

EROSION CONTROL NOTES:

1. THE EROSION CONTROL PROCEDURES SHALL CONFORM TO THE NH STORMWATER MANUAL, VOLUME 3, EROSION & SEDIMENT CONTROLS DURING CONSTRUCTION, DECEMBER 2008.
2. DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED; THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME AS APPROVED BY THE ENGINEER. LAND SHOULD NOT BE LEFT EXPOSED DURING THE WINTER MONTHS.
3. LIMIT OF MAXIMUM AREA OF EXPOSED SOIL AT ANY ONE TIME TO LESS THAN 5 ACRES. THE EXPOSED AREA THAT IS BEING ACTIVELY WORKED DURING WINTER IS TO BE LESS THAN 3 ACRES DURING THE WINTER SEASON.
4. ALL PERMANENT STORM WATER STRUCTURES SHALL BE STABILIZED PRIOR TO DIRECTING FLOW INTO THEM. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
A) BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
B) A MINIMUM OF 85 PERCENT VEGETATED GROWTH HAS BEEN ESTABLISHED.
C) A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED.
D) OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
5. SILT FENCE SHALL BE INSTALLED AND MAINTAINED DURING AND AFTER DEVELOPMENT TO REMOVE SEDIMENT FROM RUNOFF WATER AND FROM LAND UNDERGOING DEVELOPMENT. WHERE POSSIBLE, NATURAL DRAINAGE WAYS SHOULD BE UTILIZED AND LEFT OPEN TO REMOVE EXCESS SURFACE WATER. SILT FENCE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE A HEALTHY STAND OF GRASS.
6. ALL DISTURBED AREAS AND SIDE SLOPES WHICH ARE FINISHED GRADED, WITH NO FURTHER CONSTRUCTION TO TAKE PLACE, SHALL BE LOAMED AND SEED WITHIN 72 HOURS AFTER FINAL GRADING. A MINIMUM OF 4" OF LOAM SHALL BE INSTALLED WITH NOT LESS THAN ONE POUND OF SEED PER 50 SQUARE YARDS OF AREA. THE SEED MIX SHALL BE AS DESIGNATED BELOW.
7. ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEED WITH RYE GRASS TO PREVENT EROSION. THE MAXIMUM LENGTH OF TIME FOR THE EXPOSURE OF DISTURBED SOILS SHALL BE 45 DAYS. HAY OR STRAW MULCH SHALL BE APPLIED TO ALL FRESHLY SEEDING AREAS AT THE RATE OF 2 TONS PER ACRE. BALES SHALL BE UNSPOILED, AIR DRIED, AND FREE FROM WEED, SEEDS AND ANY COARSE MATERIAL.
8. DURING GRADING OPERATIONS INSTALL HAY BALE BARRIERS ALONG TOE OF SLOPE OF FILL AREAS WHERE SHOWN. BARRIERS ARE TO BE MAINTAINED UNTIL DISTURBED AREAS ARE PAVED OR GRASSED.
9. THE FILL MATERIAL SHALL BE OF APPROVED SOIL TYPE FREE FROM STUMPS, ROOTS, WOOD, ETC. TO BE PLACED IN 12" LIFTS OR AS SPECIFIED. BULLDOZERS, TRUCKS, TRACTORS, OR ROLLERS MAY BE USED FOR COMPACTION BY ROUTING THE EQUIPMENT TO ALL AREAS OR EACH LAYER.
10. AVOID THE USE OF FUTURE OPEN SPACES (LOAM & SEED) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ROADS.

WINTER STABILIZATION NOTES:

MAINTENANCE REQUIREMENTS:
Maintenance measures should continue as needed throughout construction, including the over-winter period. After each rainfall, snowstorm, or period of thawing and runoff, the site contractor should conduct an inspection of all installed erosion control measures and perform repairs as needed to insure their continuing function. For any area stabilized by temporary or permanent seeding prior to the onset of the winter season, the contractor should conduct an inspection in the spring to ascertain the condition of vegetation cover, and repair any damage areas or bare spots and reseed as required to achieve an established vegetative cover (at least 85% of area vegetated with healthy, vigorous growth).

SPECIFICATIONS:
To adequately protect water quality during cold weather and during spring runoff, the following stabilization techniques should be employed during the period from October 15th through May 15th.

1. The area of exposed, unstabilized soil should be limited to one acre and should be protected against erosion by the methods described in this section prior to any thaw or spring melt event. Subject to applicable regulations, the allowable area of exposed soil may be increased if activities are conducted according to a winter construction plan, developed by a professional engineer, licensed to practice in the state of New Hampshire or a Certified Professional in Erosion and Sediment Control as certified by the CSPESC Council of EnviroCert International, Inc.
2. Stabilization should be completed within a day of establishing the grade that is final or that otherwise will exist for more than 5 days:
A. All proposed vegetated areas having a slope of less than 15% which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, should be seeded and covered with 3 to 4 tons of hay or straw mulch per acre secured with anchored netting, or 2 inches of erosion control mix (see description of erosion control mix in item 304.3).
3. All stone-covered slopes must be constructed and stabilized by October 15.
4. Installation of anchored hay mulch or erosion control mix should not occur over snow of greater than one inch in depth.
5. All mulch applied during winter should be anchored (e.g., by netting, tracking, wood cellulose fiber).
6. Stockpiles of soil materials should be mulched for over winter protection with hay or straw at twice the normal rate or with a four-inch layer of erosion control mix. Mulching should be done within 24 hours of stocking, and re-established prior to any rainfall or snowfall. No soil stockpile should be placed (even covered with mulch) within 100 feet from any wetland or other water resource area.
7. Frozen materials, (e.g., frost layer that is removed during winter construction), should be stockpiled separately and in a location that is away from any area needing to be protected. Stockpiles of frozen material can melt in the spring and become unworkable and difficult to transport due to the high moisture content in the soil.
8. Installation of erosion control blankets should not occur over snow of greater than one inch in depth or on frozen ground.
9. All grass-lined ditches and channels should be constructed and stabilized by September 1. All ditches or swales which do not exhibit a minimum of 85% vegetative growth by October 15th, or which are disturbed after October 15th, should be stabilized temporarily with stone or erosion control blankets appropriate for the design flow conditions, as determined by a qualified Professional Engineer or a Certified Professional in Erosion and Sediment Control as certified by the CSPESC Council of EnviroCert International, Inc. If a stone lining is necessary, the contractor may need to re-grade the ditch as required to provide adequate cross-section after allowing for placement of the stone.
10. All stone-lined ditches and channels must be constructed and stabilized by October 15.
11. After November 15, incomplete road or parking surfaces, where work has stopped for the winter season, shall be protected with a minimum of 3 inches of crushed gravel per NHDOT item 304.3.
12. Sediment barriers that are installed during frozen conditions should consist of erosion control mix berms, or continuous contained berms. Silt fences and hay bales should not be installed when frozen conditions prevent proper embedment of these barriers.

REVISIONS

NO.	DESCRIPTION	BY	DATE
4	REVISE DRAINAGE PER RCCD COMMENTS	DRJ	8/21/19
3	REVISE DRAINAGE	DRJ	7/15/19
2	MISC. REVISIONS	DRJ	6/12/19
1	MISC. REVISIONS	DRJ	6/3/19

STORMWATER MANAGEMENT PLAN

PRESSED CAFE
SALEM PROPERTY MAP 107 - LOT 12576
1 ARTISAN DRIVE
PREPARED FOR:
OMJ REALTY, LLC
63 MAIN STREET
SALEM, NH 03079

MHF Design Consultants, Inc.
44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 895-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

SCALE: 1"=40'
DATE: APRIL 29, 2019

OWNER OF RECORD
ROCK ACQUISITION, LLC
63 MAIN STREET
SALEM, NH 03079

SALEM PLANNING BOARD
APPROVAL

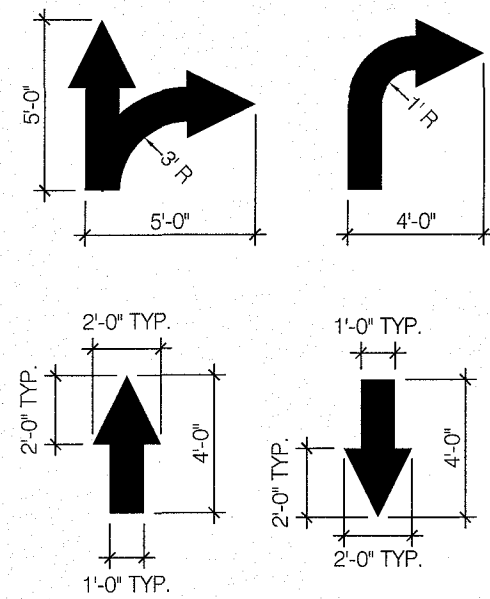
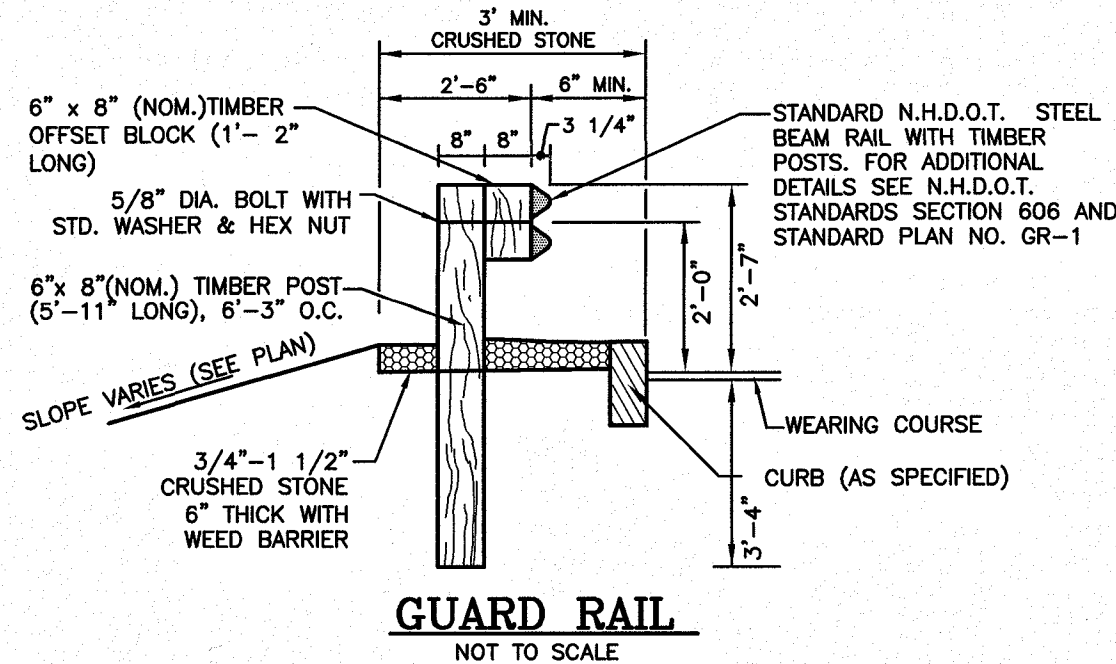
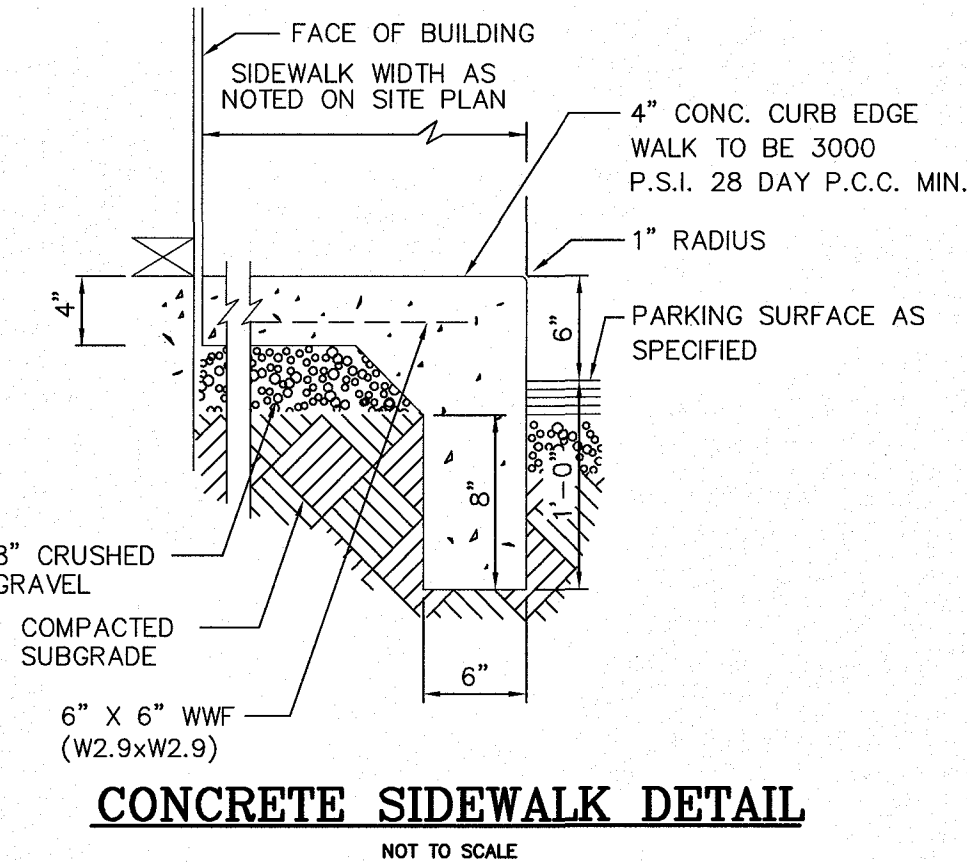
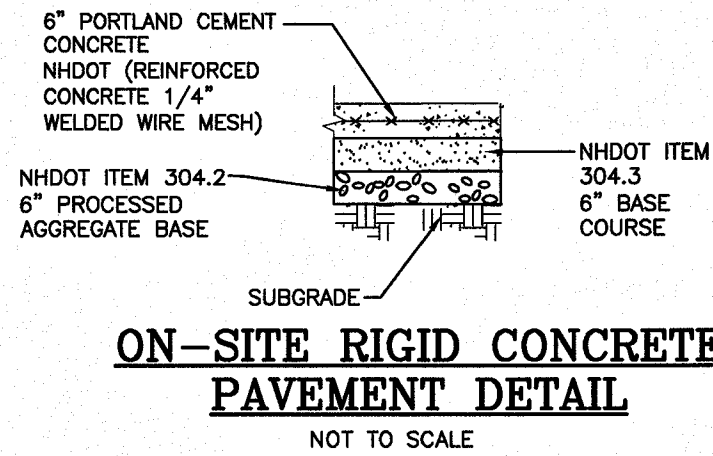
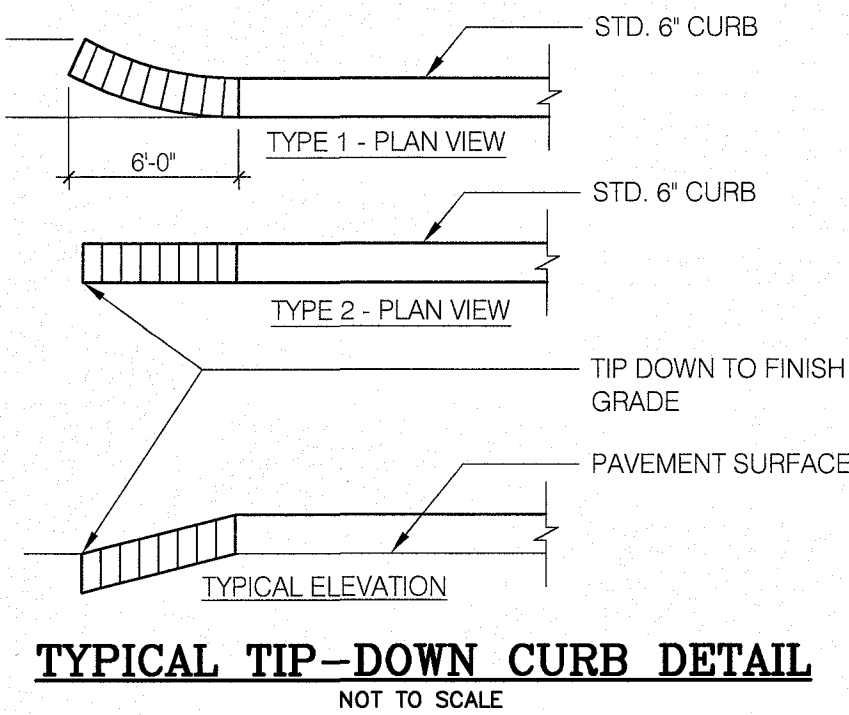
ZONE: COMMERCIAL - INDUSTRIAL 'C'

DESIGNED BY: DRJ
DRAWN/CHECKED: CPS/DRJ
DWG. NAME: 4040CAFE-SP.DWG
PROJECT No.: 404016
SHEET No.: 7 OF 12

\\Projects\CAD\404016\PRESSED_CAFE\4040CAFE-SP.dwg EROS 8/21/19 12:22pm gpiccittio

811
DigSafe
MA-ME-NH-RIVT

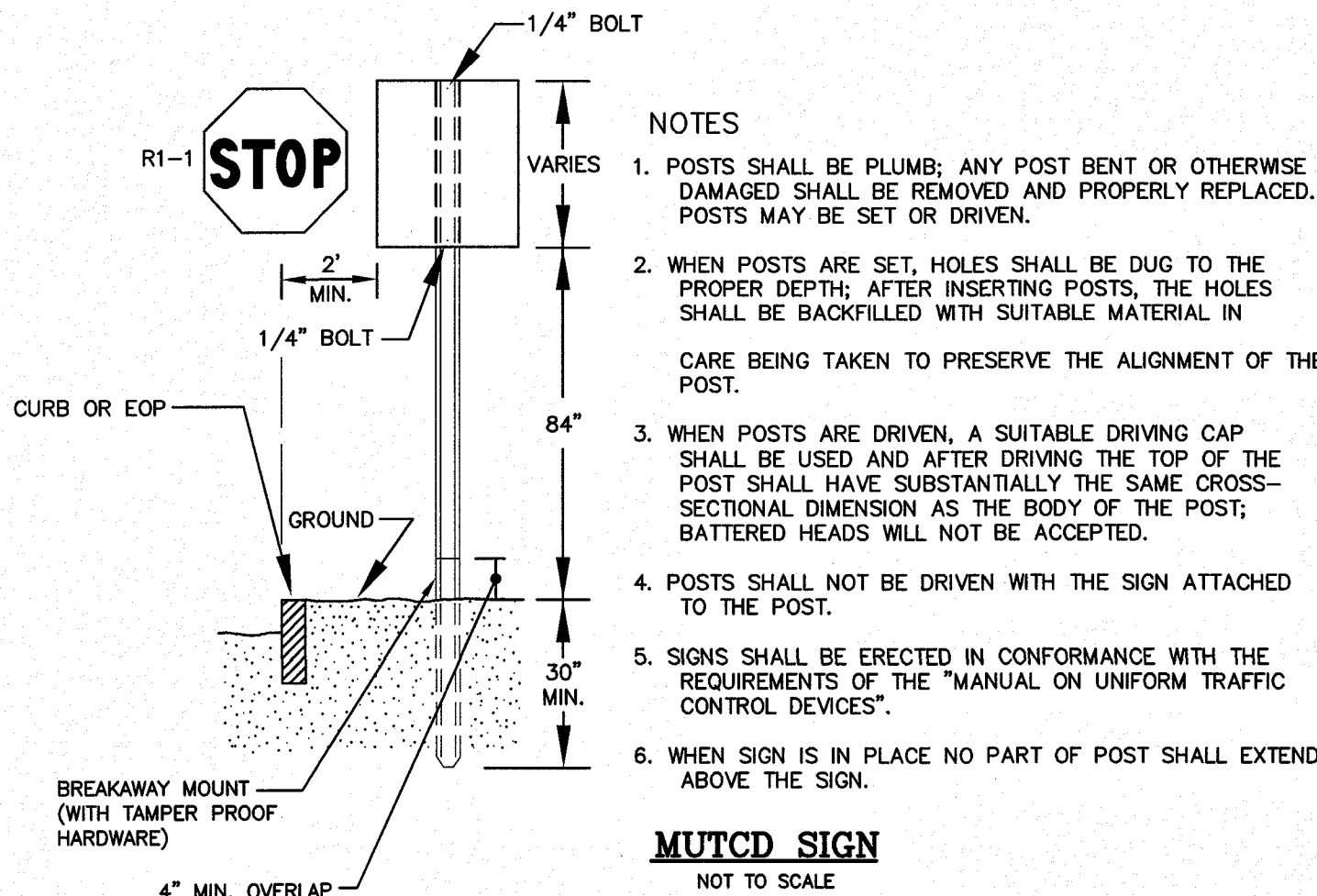
Copyright © 2018 by MHF Design Consultants, Inc. All Rights Reserved.



ALL PAVEMENT MARKINGS TO BE WHITE PAVEMENT PAINT, UNLESS STATED OTHERWISE.

ON-SITE PAVEMENT MARKING DETAILS

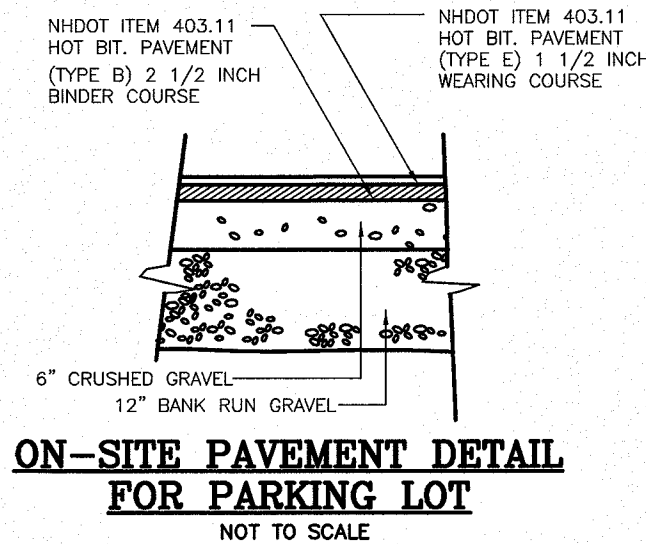
NOT TO SCALE



- NOTES
1. POSTS SHALL BE PLUMB; ANY POST BENT OR OTHERWISE DAMAGED SHALL BE REMOVED AND PROPERLY REPLACED. POSTS MAY BE SET OR DRIVEN.
 2. WHEN POSTS ARE SET, HOLES SHALL BE DUG TO THE PROPER DEPTH; AFTER INSERTING POSTS, THE HOLES SHALL BE BACKFILLED WITH SUITABLE MATERIAL IN CARE BEING TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.
 3. WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED AND AFTER DRIVING THE TOP OF THE POST SHALL HAVE SUBSTANTIALLY THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST; BATTERED HEADS WILL NOT BE ACCEPTED.
 4. POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
 5. SIGNS SHALL BE ERECTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
 6. WHEN SIGN IS IN PLACE NO PART OF POST SHALL EXTEND ABOVE THE SIGN.

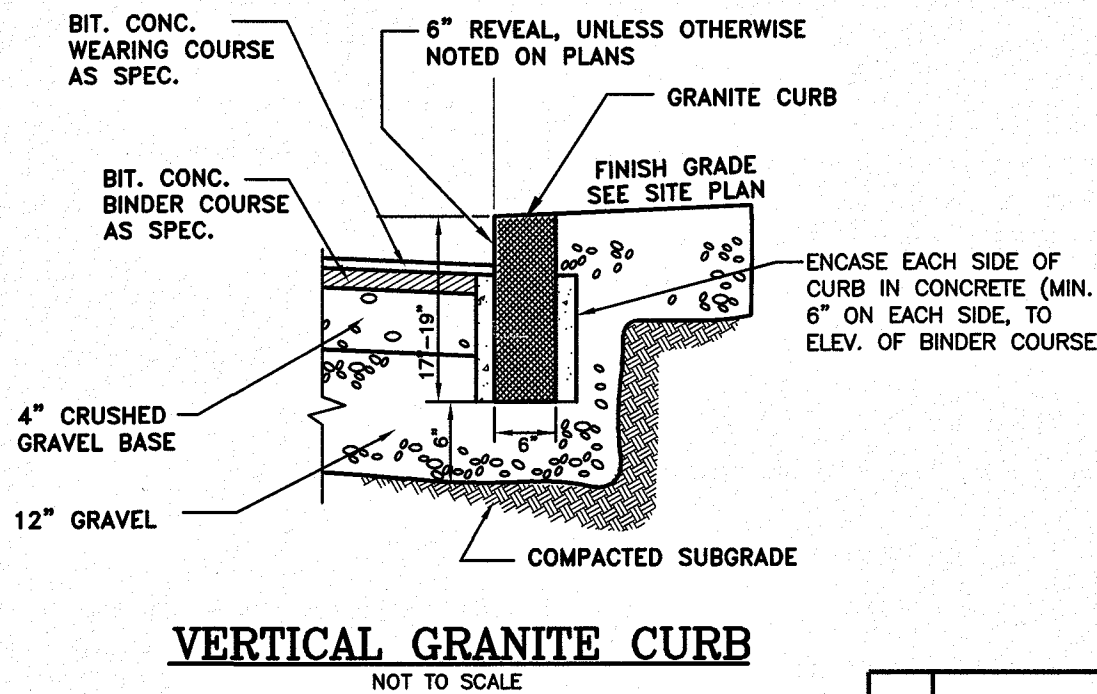
MUTCD SIGN

NOT TO SCALE



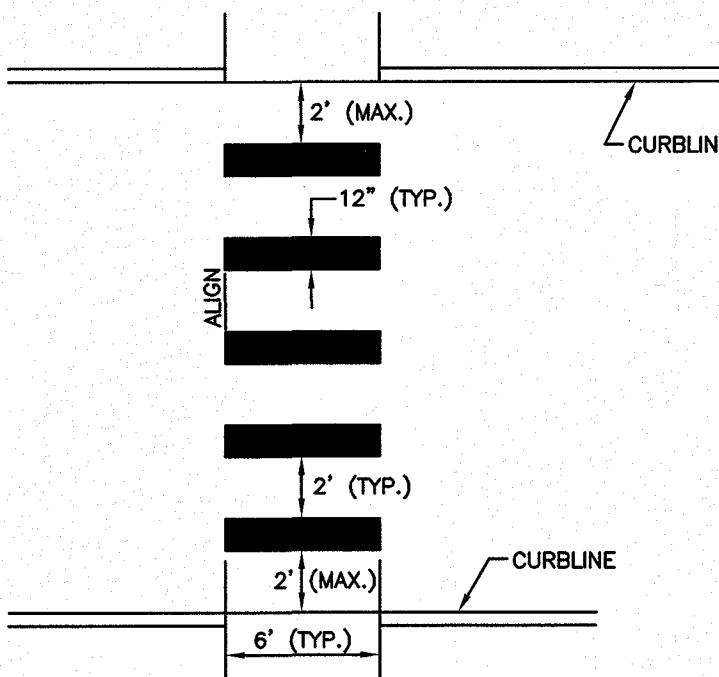
ON-SITE PAVEMENT DETAIL FOR PARKING LOT

NOT TO SCALE



VERTICAL GRANITE CURB

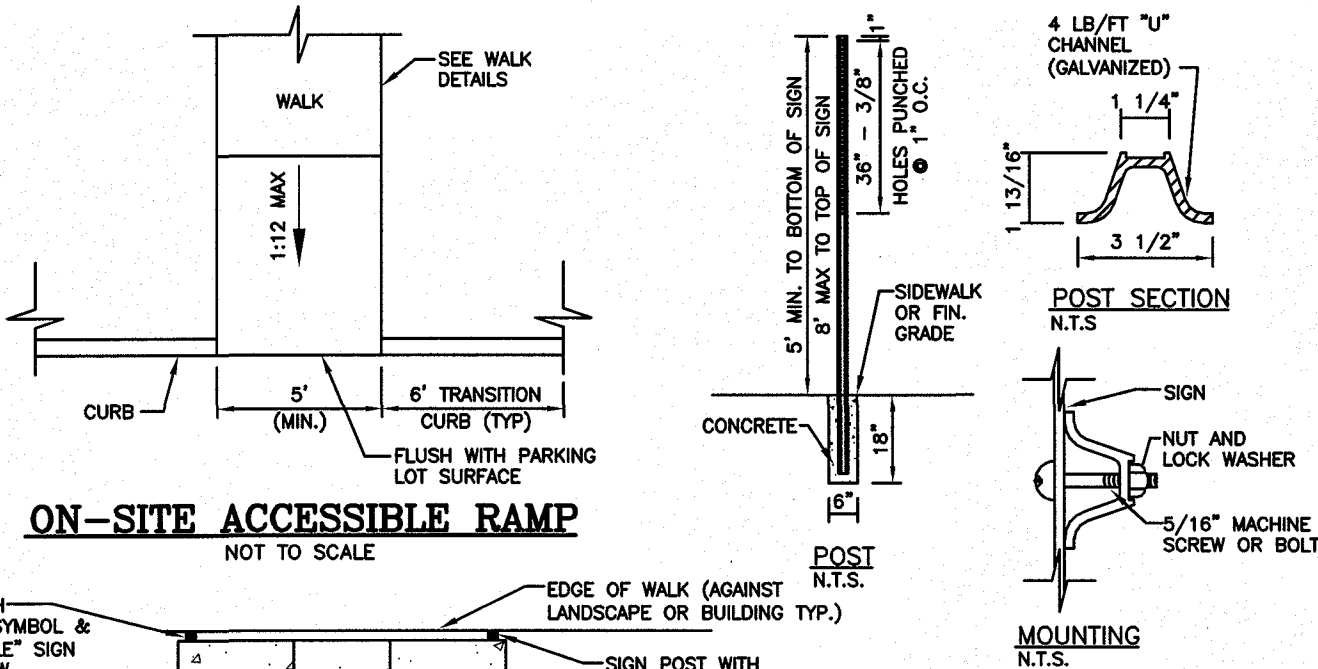
NOT TO SCALE



TYPICAL CROSSWALK

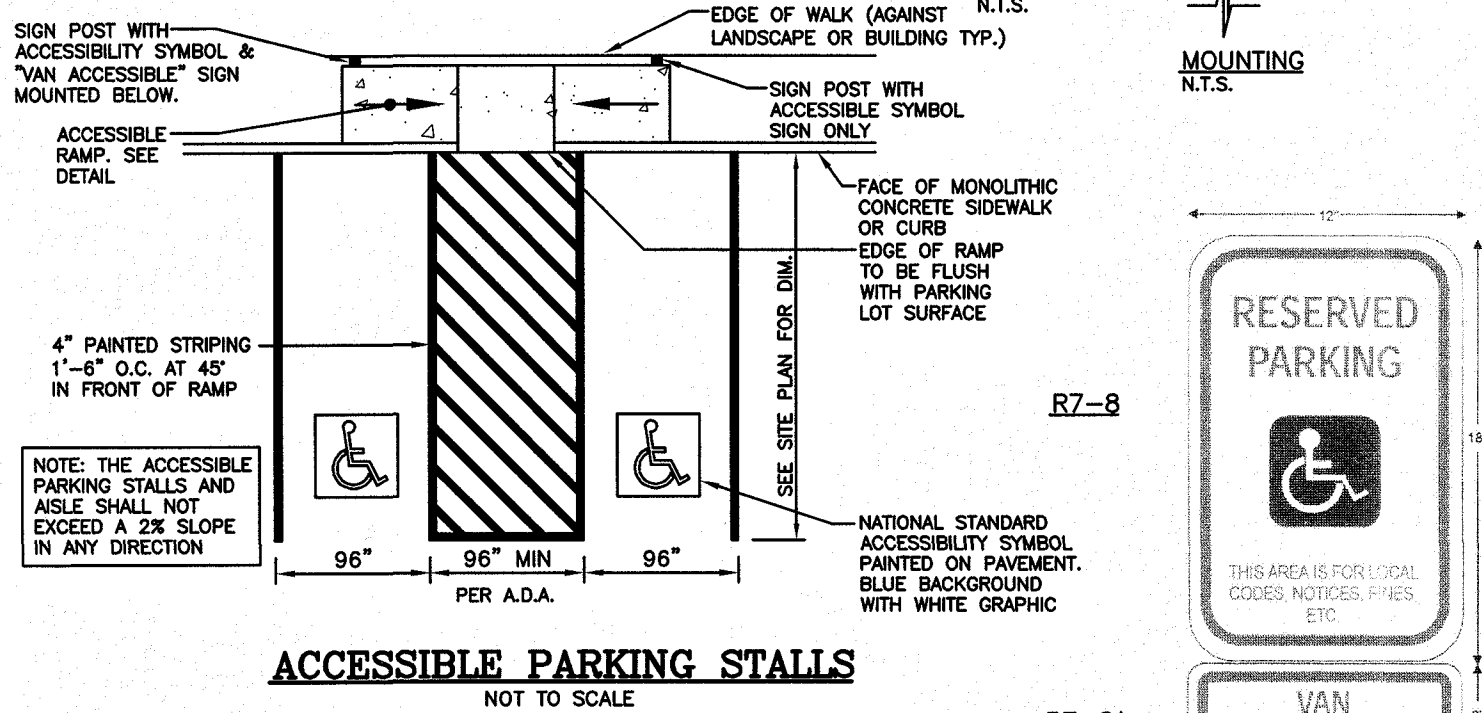
NOT TO SCALE

- NOTES:
1. TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
 2. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
 3. ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY ALIGNED.



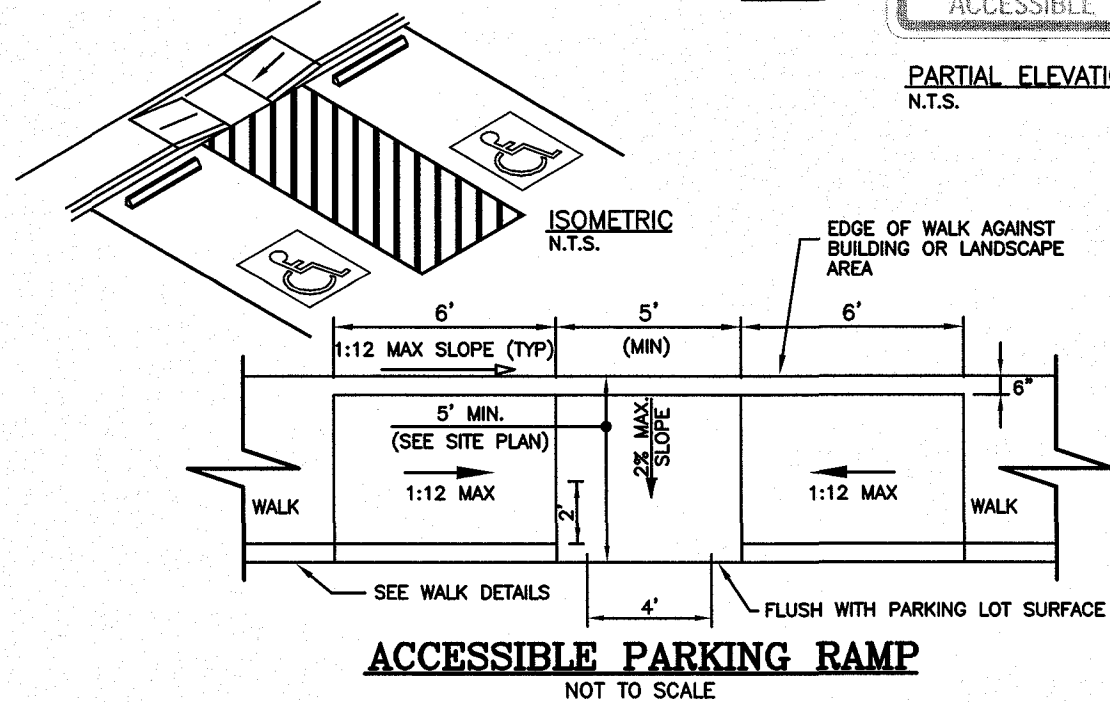
ON-SITE ACCESSIBLE RAMP

NOT TO SCALE



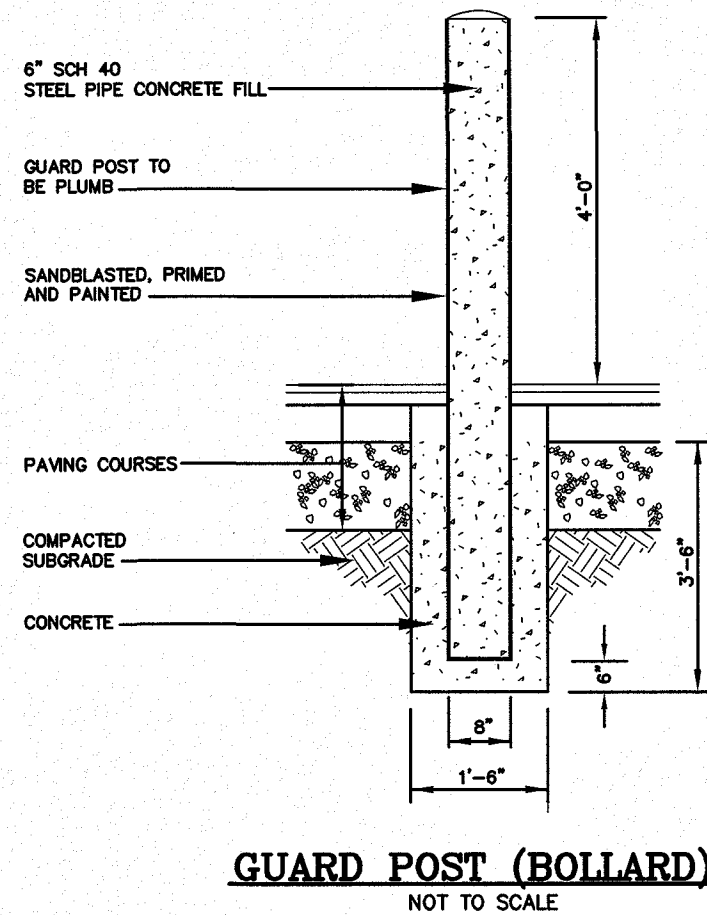
ACCESSIBLE PARKING STALLS

NOT TO SCALE



ACCESSIBLE PARKING RAMP

NOT TO SCALE



GUARD POST (BOLLARD)

NOT TO SCALE

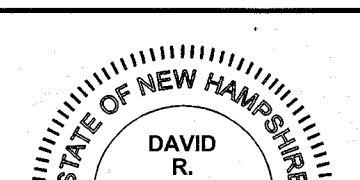
NO.	DESCRIPTION	BY	DATE
2	DELETE TRASH ENCLOSURE PAD DETAIL & ADD TIP-DOWN CURB DETAIL	DRJ	6/12/19
1	ADD TRASH ENCLOSURE CONCRETE PAD DETAIL	DRJ	6/3/19

CONSTRUCTION DETAILS

PRESSED CAFE
SALEM PROPERTY MAP 107 - LOT 12575
1 ARTISAN DRIVE
PREPARED FOR:
OMJ REALTY, LLC
63 MAIN STREET
SALEM, NH 03079

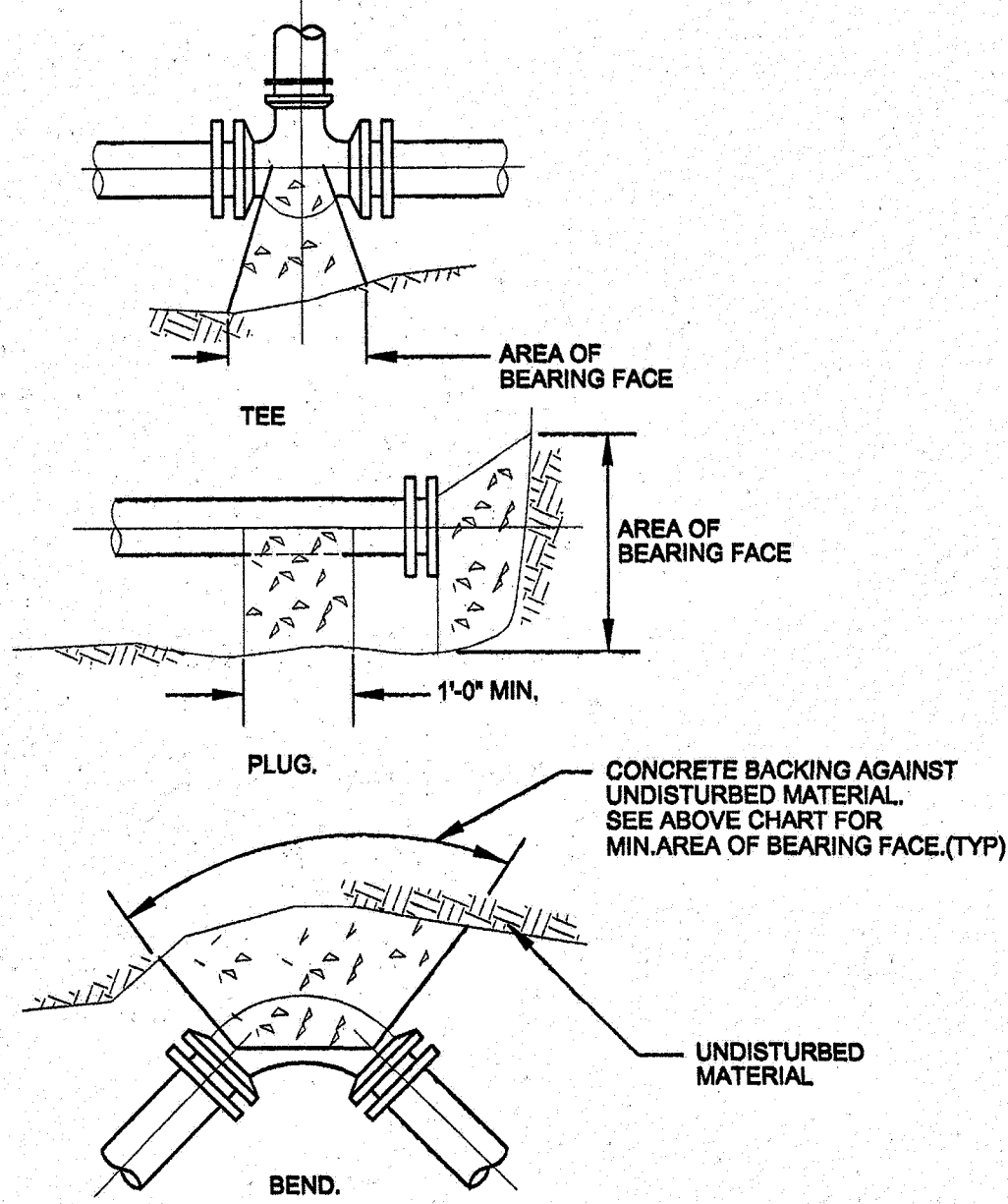
MHF Design Consultants, Inc.
44 Stiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

SCALE: N.T.S. DATE: APRIL 29, 2019

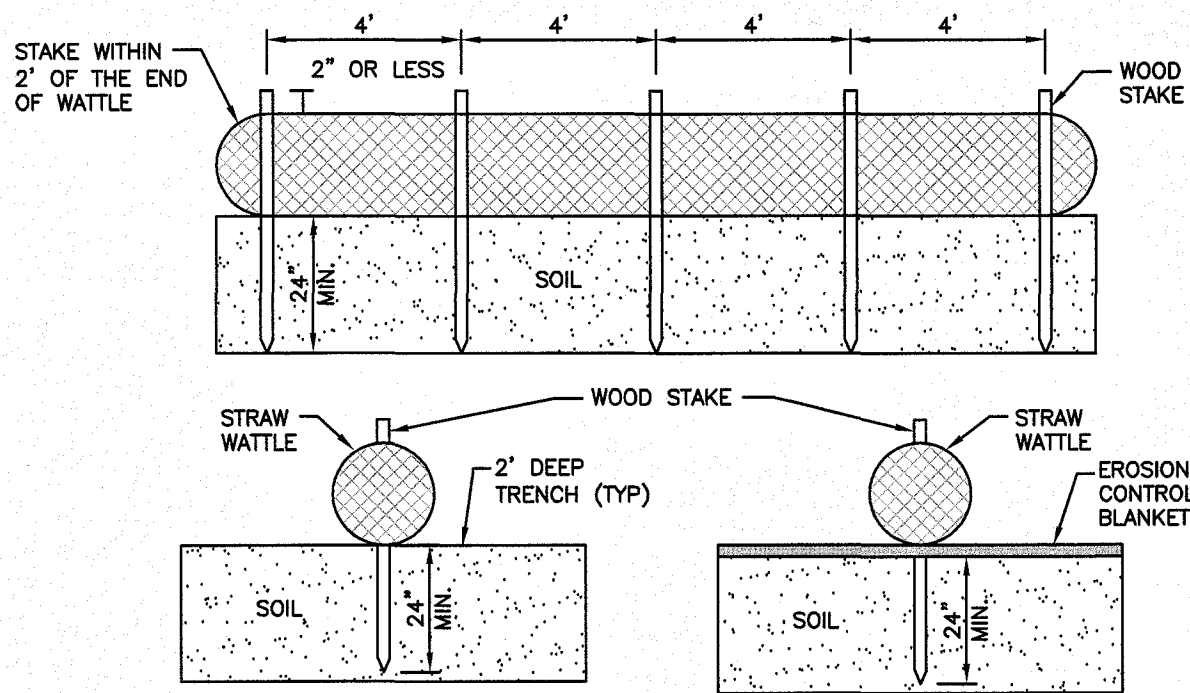
	<u>OWNER OF RECORD</u> ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079		<u>SALEM PLANNING BOARD</u> <u>APPROVAL</u>	
	ZONE: COMMERCIAL – INDUSTRIAL 'C'			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
DRJ	CPS/DRJ	4040CAFE-DET.DWG	404016	8 OF 12

\\MFS\Company Data\Projects\CAD\404016\PRESSED_CAFE\404016\DET2 4/26/19 12:40pm.cps

AREA OF BEARING FACE OF CONCRETE THRUST BLOCKS IN SQUARE FEET BASED ON 450 P.S.I. & TONS/S.F. ALLOWABLE SOIL BEARING CAPACITY				
PIPE SIZE IN.	1/4 BEND	1/8 BEND	PLUG & TEE	
8	8	4	6	
10	13	7	8	
12	18	10	13	
16	32	16	23	

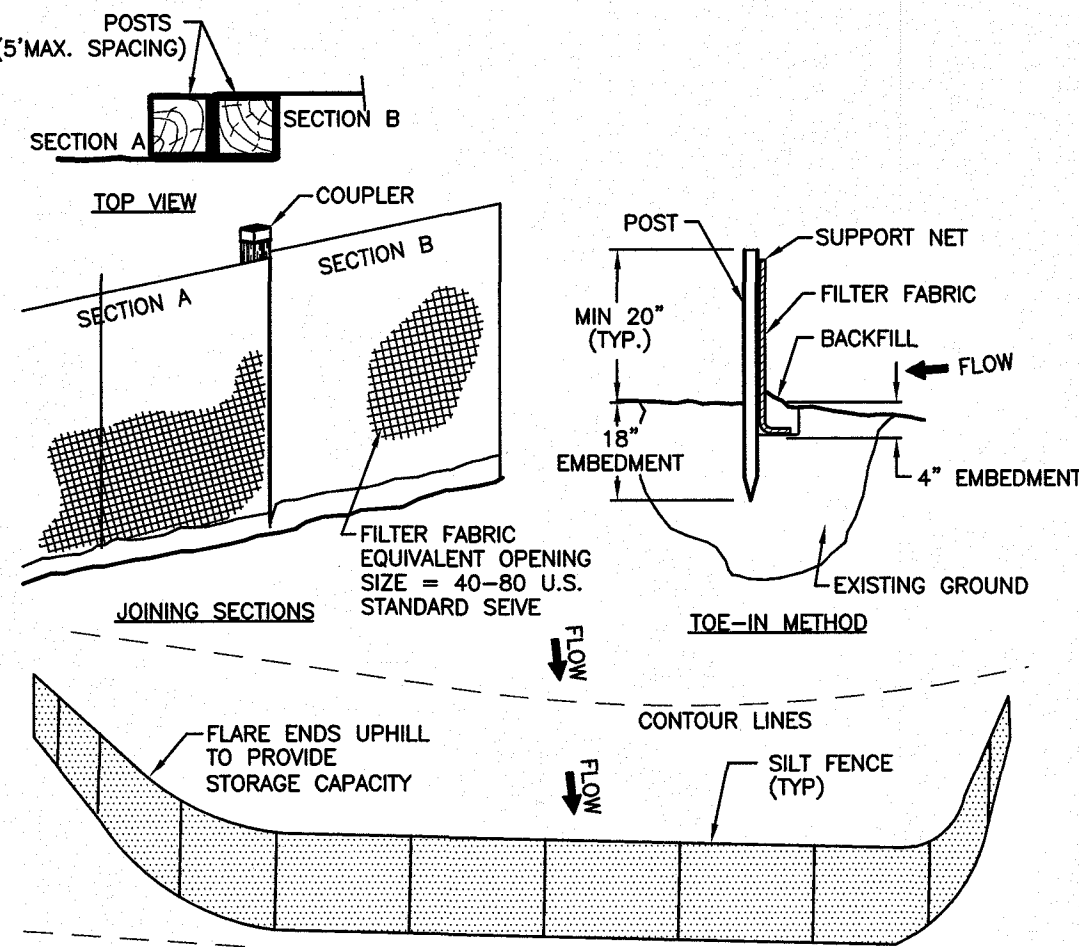


TYPICAL CONCRETE BACKING
NOT TO SCALE



- NOTES:
1. ENDS OF WATTLES SHALL BE TURNED SLIGHTLY UP.
2. RECOMMENDED STAKES ARE 1 1/8" WIDE x 1 1/8" THICK x 30" LONG.
STAKES SHALL NOT EXCEED ABOVE THE STRAW WATTLE MORE THAN 2".

STRAW WATTLE DETAIL
NOT TO SCALE



CRITERIA FOR SILT FENCES:

- 1) SILT FENCE FILTER CLOTH: THE FABRIC FOR THE SILT FENCE SHALL MEET THE FOLLOWING SPECIFICATIONS:

FABRIC PROPERTIES:	MINIMUM ACCEPTABLE VALUES	TEST METHOD
GRAB TENSILE STRENGTH (lbs)	90	ASTM D1682
ELONGATION AT FAILURE (%)	50	ASTM D1682
MULLEN BURST STRENGTH (PSI)	190	ASTM D3786
PUNCTURE STRENGTH (lbs)	40	ASTM D751
EQUIVALENT OPENING SIZE	40-80	US STD SIEVE

- 2) FENCE POSTS (FOR FABRICATED UNITS) - THE POSTS SHALL BE A MINIMUM OF 3/8 INCHES LONG. WOOD POSTS WILL BE OF SOUND QUALITY HARDWOOD WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES. STEEL POSTS WILL BE STANDARD T OR U SECTIONS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT. MAXIMUM SPACING SHALL BE 6 LINEAR FEET.
- 3) WIRE FENCE (FOR FABRICATED UNITS) - WIRE FENCING SHALL BE A MINIMUM 14.5 GAUGE WITH A MAXIMUM 6 INCH MESH OPENING.
- 4) PREFABRICATED UNITS - PREFABRICATED UNITS MAY BE USED IN LIEU OF THE ABOVE METHOD PROVIDING: (1) THE FILTER CLOTH AND FENCE POSTS MEET THE ABOVE CRITERIA; AND (2) THE UNIT IS INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

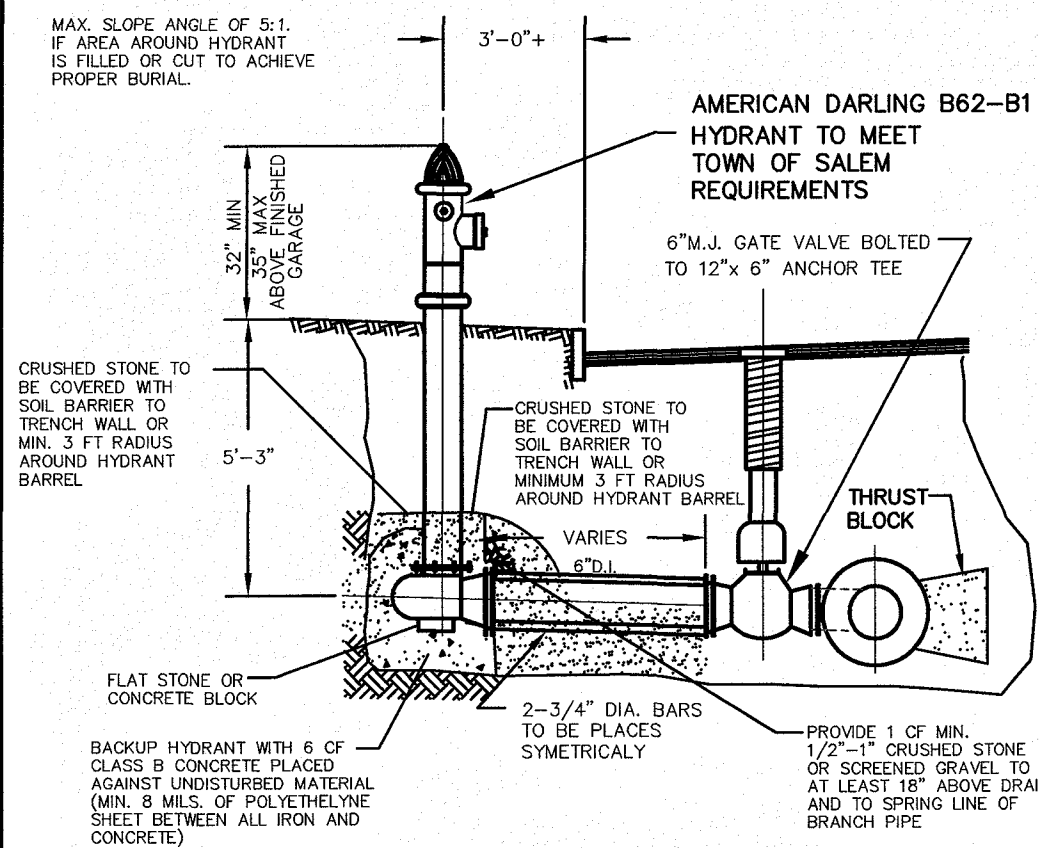
MAINTENANCE:

- 1) SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- 2) IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- 3) SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- 4) SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATION.

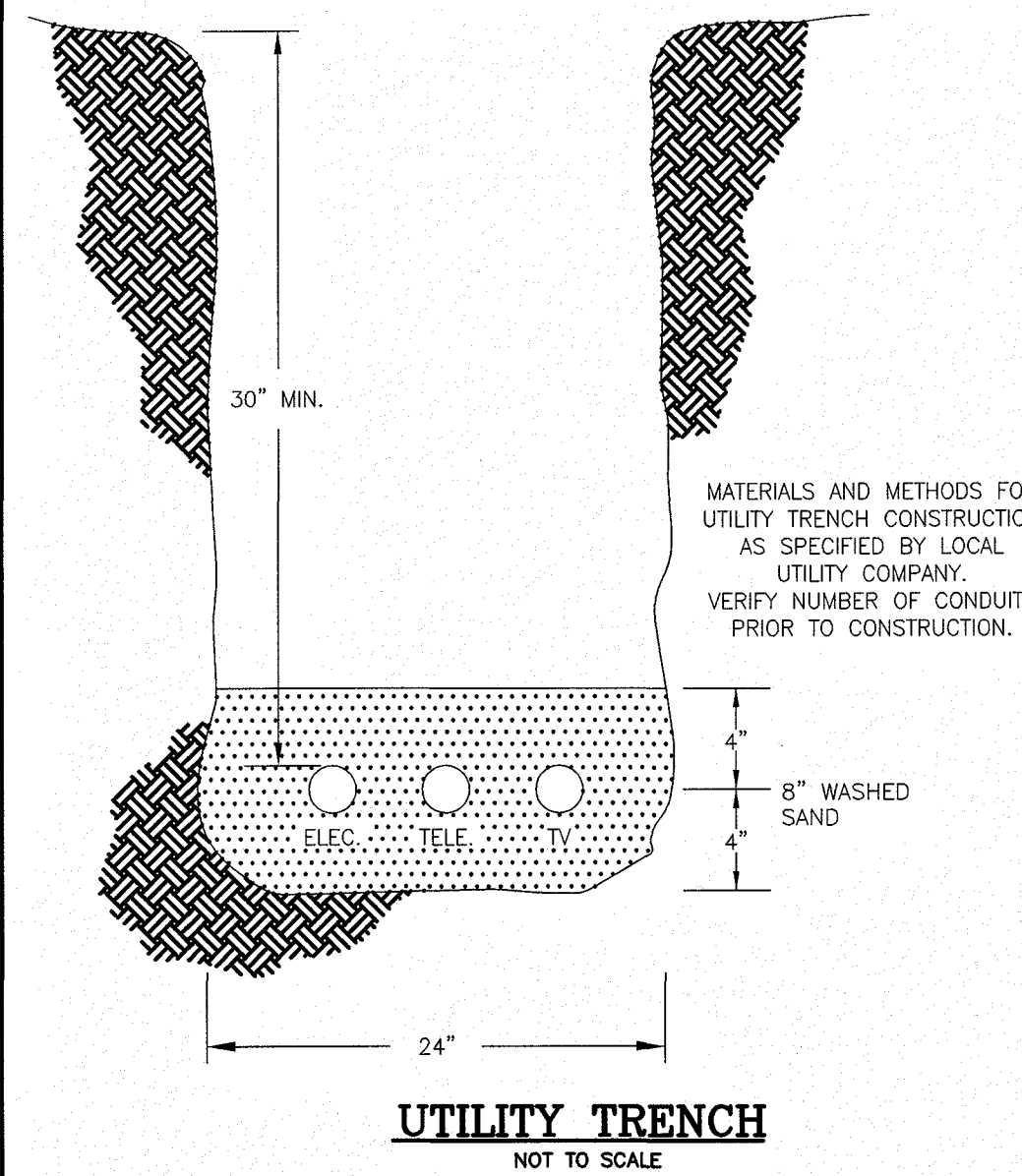
CONSTRUCTION SPECIFICATIONS:

- 1) THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- 2) THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND (4" DEEP & 4" WIDE) AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- 3) WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES OR STAPLES.
- 4) FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION AND BOTTOM.
- 5) WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES (24" IS PREFERRED), FOLDED, AND STAPLED.
- 6) POSTS TO BE SPACED AT A MAXIMUM OF 6' ON CENTER.

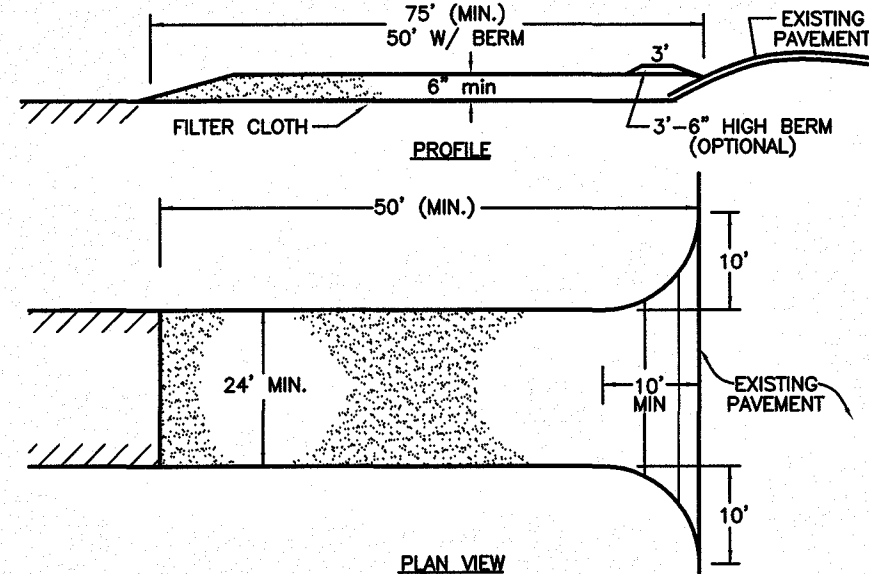
SEDIMENT CONTROL FENCE
NOT TO SCALE



HYDRANT CONNECTION (TYP.)
NOT TO SCALE

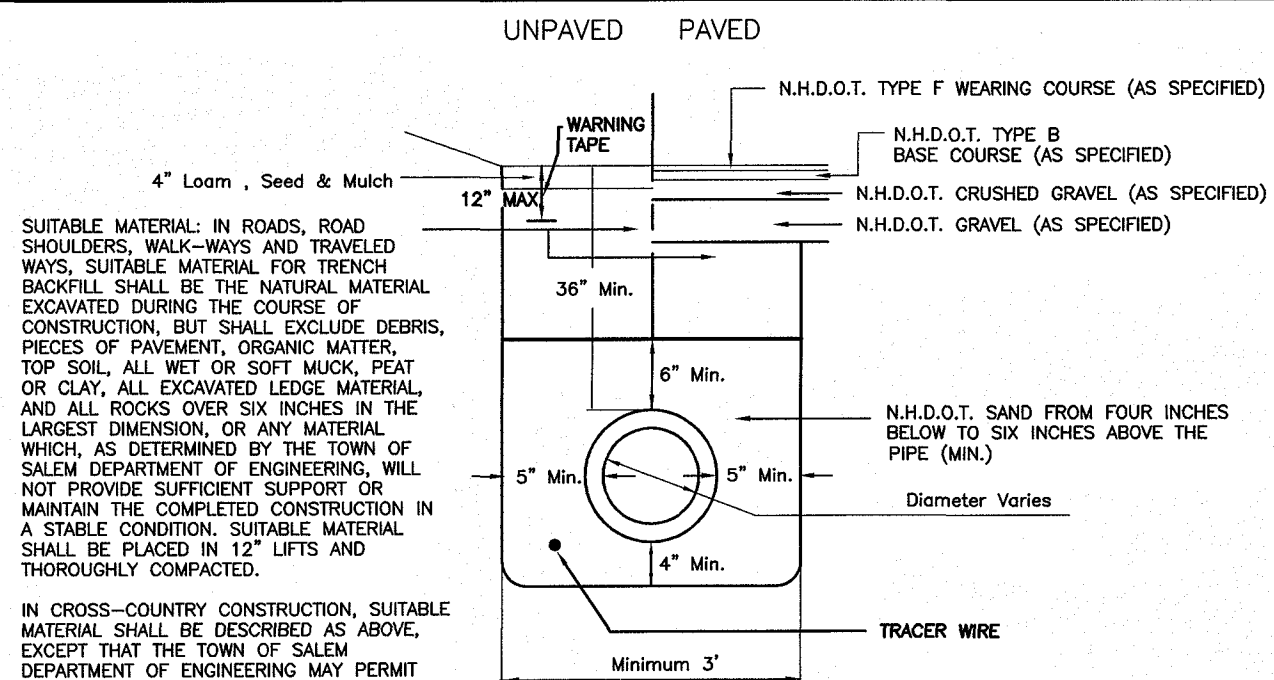


UTILITY TRENCH
NOT TO SCALE

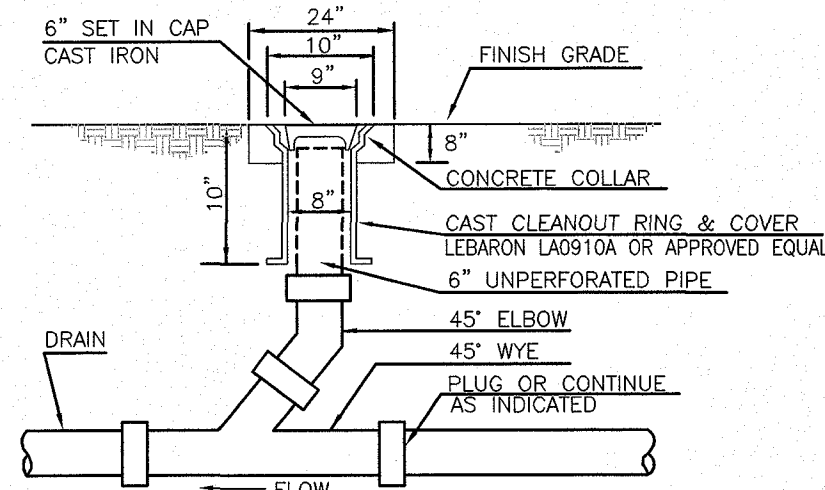


1. STONE FOR A STABILIZED CONSTRUCTION EXIT SHALL BE 3 INCH COARSE AGGREGATE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED EXIT SHALL NOT BE LESS THAN 50 FEET.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED EXIT SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE EXIT SHALL NOT BE LESS THAN 24' WHERE INGRESS OCCURS.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION EXIT SHALL BE PIPED BENEATH THE EXIT. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
8. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO EXIT ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

STABILIZED EXIT DETAIL
NOT TO SCALE



TYPICAL GAS TRENCH DETAIL
NOT TO SCALE



TYPICAL DRAIN CLEANOUT
NOT TO SCALE

NO.	DESCRIPTION	BY	DATE
	REVISIONS		
CONSTRUCTION DETAILS			
PRESSED CAFE			
SALEM PROPERTY MAP 107 - LOT 12575 1 ARTISAN DRIVE PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET SALEM, NH 03079			
MHF Design Consultants, Inc.		44 Shiles Road, Suite One Salem, New Hampshire 03079 (603) 893-0720 ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com	
SCALE: N.T.S.		DATE: APRIL 29, 2019	
OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079		SALEM PLANNING BOARD APPROVAL	
DESIGNED BY: DRJ		DRAWN/CHECKED: CPS/DRJ	
DWG. NAME: 404016-DET.DWG		PROJECT No.: 404016	
SHEET No.: 9 OF 12			

NOTES:

1. MINIMUM SIZE PIPE FOR HOUSE SERVICE SHALL BE 4 INCHES.
2. PIPE AND JOINT MATERIALS

A. VITRIFIED CLAY PIPE

1. PIPE AND FITTINGS SHALL BE EXTRA STRENGTH CLAY PIPE CONFORMING TO THE REQUIREMENTS OF ASTM C-700.
2. JOINTS SHALL BE MADE WITH OIL RESISTANT GASKET OR RUBBER GASKET IN ACCORDANCE WITH ASTM C-445 TYPE II MANUFACTURERS' INSTRUCTIONS FOR INSTALLATION SHALL BE FOLLOWED.

B. ASBESTOS CEMENT PIPE

1. PIPE AND FITTINGS SHALL CONFORM TO ASTM SPECIFICATIONS C-445 TYPE II.
2. JOINTS SHALL BE OF THE SLAVE-COUPING TYPE CONFORMING TO ASTM SPECIFICATIONS C-445 TYPE II.
3. JOINTS SHALL BE OF OIL RESISTANT RUBBER TYPE OR ELASTOMERIC MATERIAL AND SHALL CONFORM TO ASTM SPECIFICATIONS C-445 TYPE II.
4. INSTRUCTIONS SHALL BE FOLLOWED FOR INSTALLATIONS.

C. CAST IRON PIPE FITTINGS AND JOINTS

1. CAST IRON PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE:
2. JOINTS SHALL BE OF THE MECHANICAL OR PUSH ON TYPE JOINTS AND GASKETS SHALL CONFORM TO:
3. RUBBER GASKET JOINTS FOR CAST IRON PRESSURE PIPE AND FITTINGS

D. DUCTILE IRON PIPE FITTINGS AND JOINTS

1. DUCTILE IRON PIPE AND FITTINGS SHALL CONFORM TO THE STANDARDS OF THE UNITED STATES OF AMERICA:
2. JOINTS SHALL BE AS SPECIFIED IN C2 ABOVE, CAST IRON PIPE JOINTS.
3. DAMAGED PIPE SHALL BE REJECTED AND REMOVED FROM THE JOB SITE.
4. JOINTS SHALL BE DEPENDENT UPON A NEUTRINE OR ELASTOMERIC GASKET FOR WATER TIGHTNESS. ALL JOINTS SHALL BE PROPERLY MATED WITH THE PIPE MATERIALS USED. WHERE DIFFERENT MATERIALS ARE TO BE CONNECTED, AS AT THE STREET SEWER "Y" OR "T" AT THE FOUNDATION WALL, APPROPRIATE ADAPTERS SHALL BE USED.

E. PIPE INSTALLATION

1. THE PIPE SHALL BE HANDLED, PLACED AND JOINTED WITH CARE TO AVOID DAMAGE TO THE PIPE OR JOINTS.
2. THE PIPE SHALL BE BEDDED ON A 4 INCH LAYER OF CRUSHED STONE (FINE) FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33-67.
3. THE PIPE SHALL BE BEDDED ON A 4 INCH LAYER OF CRUSHED STONE (FINE) FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33-67.
4. THE PIPE SHALL BE BEDDED ON A 4 INCH LAYER OF CRUSHED STONE (FINE) FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33-67.

F. TRENCH CROSS-SECTION

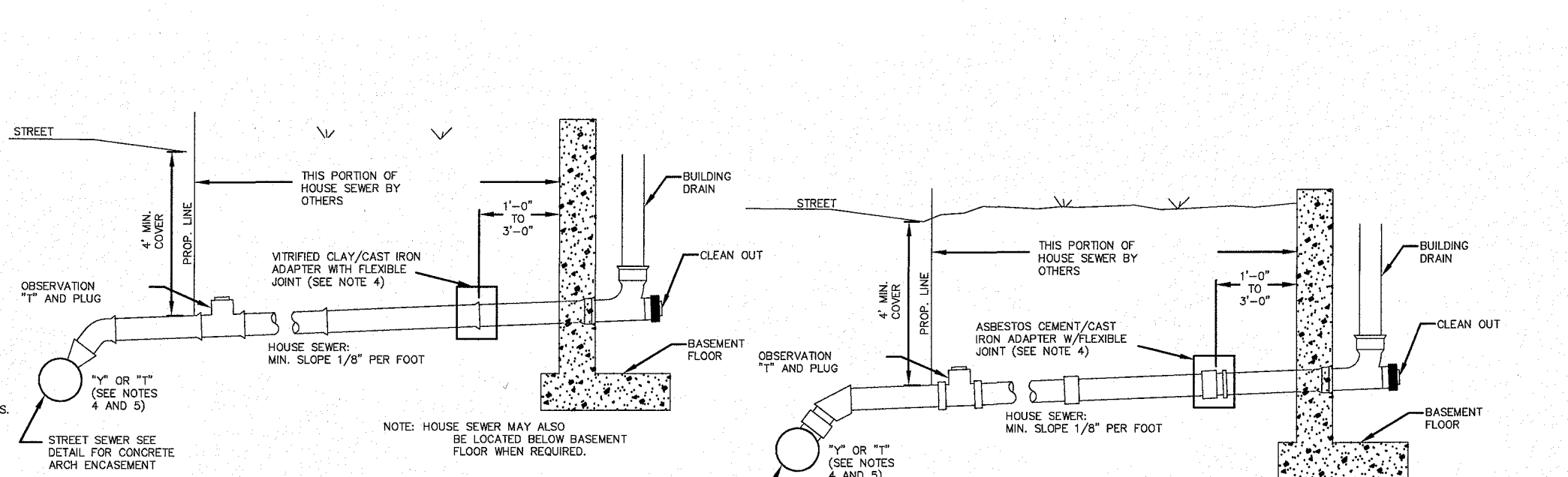
1. AN OBSERVATION "T" SHALL BE INSTALLED AS SHOWN. WHEN READY TESTING, AN INFLATABLE BLADDER OR PLUG SHALL BE INSERTED JUST UPSTREAM FROM THE OPENING IN THE "T". AFTER INFLATION, WATER SHALL BE INTRODUCED INTO THE SYSTEM ABOVE THE PLUG TO A HEIGHT OF 2 FEET ABOVE THE LEVEL OF THE PLUG.
2. THE PIPE SHALL BE LEFT EXPOSED AND LIBERALLY HOSED WITH WATER TO SIMULATE, AS NEARLY AS POSSIBLE, WET TRENCH CONDITIONS. IF THE TRENCH IS WET, THE GROUND WATER SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. INSPECTIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT WITH A FLASHLIGHT.
3. DOES NOT APPLY TO INSTALLATIONS WHERE "T" AND "Y" ARE USED.
4. FLUORESCENT DYE SHALL BE SPRINKLED INTO TRENCH OVER THE PIPE. IF THE TRENCH IS DRY, THE PIPE SHALL BE LIBERALLY HOSED WITH WATER TO SATURATE THE TRENCH. AFTER SATURATION, THE DYE SHALL BE PERMITTED TO RISE IN THE TRENCH OVER THE PIPE. OBSERVATIONS FOR LEAKS SHALL BE MADE THROUGH THE CLEANOUT DOWNSTREAM. LEAKAGE OBSERVED IN ANY OF THE ABOVE ALTERATION TESTS SHALL BE CAUSE FOR NON-ACCEPTANCE AND THE PIPE SHALL BE OIL UP, IF NECESSARY, AND RELOD SO AS TO ASSURE WATER TIGHTNESS.

G. HOUSE WATER SERVICE

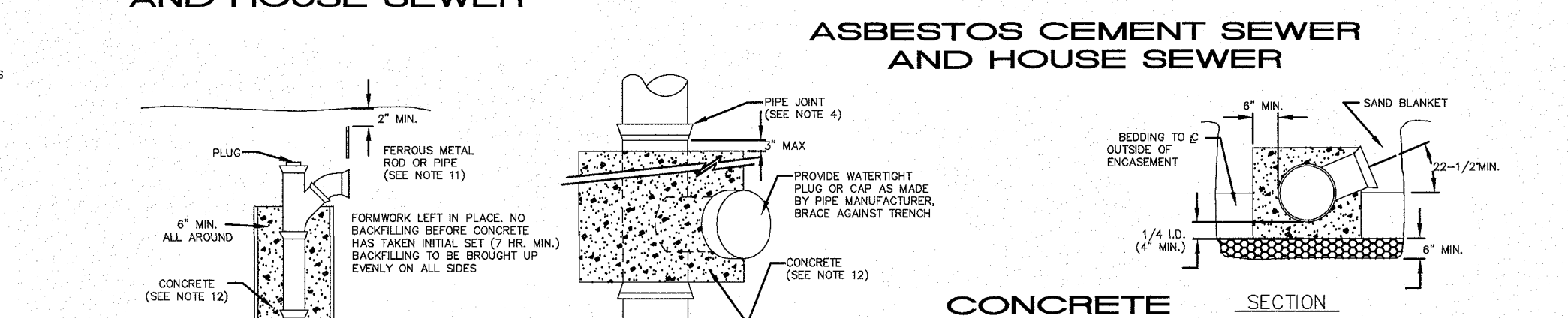
1. HOUSE WATER SERVICE SHOULD NOT BE LAD IN THE SAME TRENCH AS THE SEWER SERVICE, BUT WHEN NECESSARY, SHALL BE PLACED ABOVE AND TO ONE SIDE OF THE HOUSE SEWER AS SHOWN.
2. BEDDING, SORBED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33-67.
3. BEDDING, SORBED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33-67.
4. BEDDING, SORBED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C33-67.

H. LOCATION OF THE "T" OR "Y"

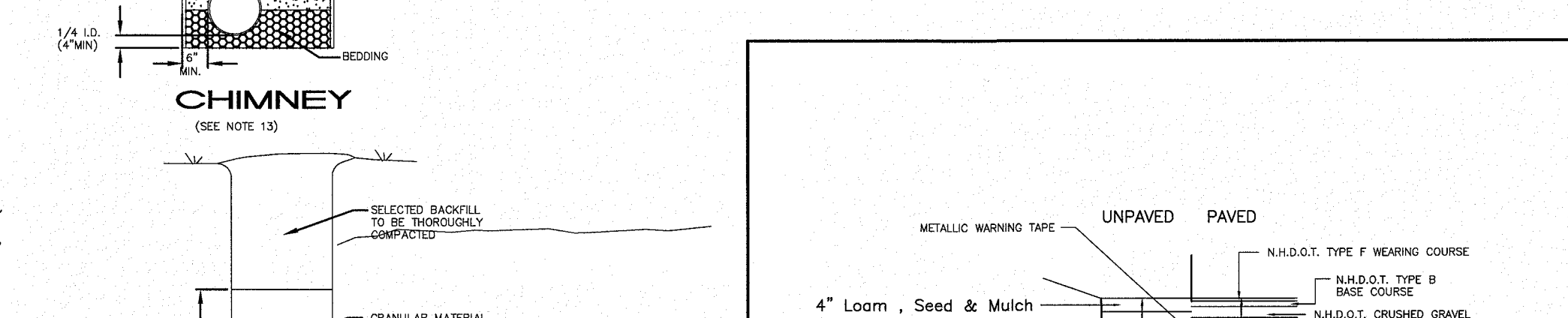
1. THE LOCATION OF THE "T" OR "Y" SHALL BE RECORDED AND FILED IN THE MUNICIPAL RECORDS. IF A PERMANENT METAL ROD OR PIPE SHALL BE PLACED OVER THE "T" OR "Y" AS DESCRIBED IN THE TYPICAL CHIMNEY DETAIL TO AID IN LOCATING THE BURIED PIPE WITH A PIPE LOCATOR OR PIPEFINDER.
2. CONCRETE SHALL CONFORM TO THE REQUIREMENTS FOR CLASS A (3000 PSI) CONCRETE OF THE N.H. DEPT. OF PUBLIC WORKS AND HIGHWAYS SPECIFICATIONS AS FOLLOWS:
3. CHIMNEYS IF VERTICAL INTO THE SEWER IS GREATER THAN 1 FEET, CHIMNEY SHALL BE CONSTRUCTED FOR THE HOUSE CONNECTION.



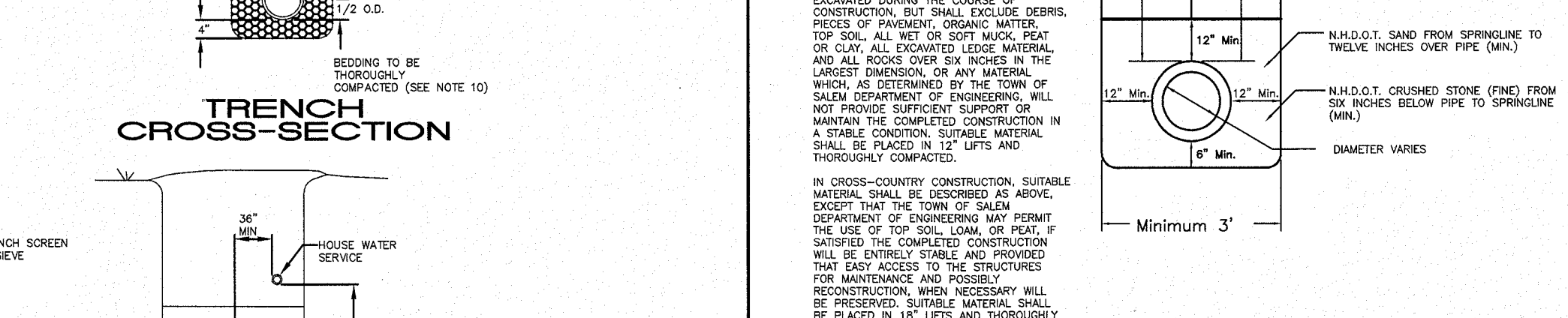
VITRIFIED CLAY SEWER AND HOUSE SEWER



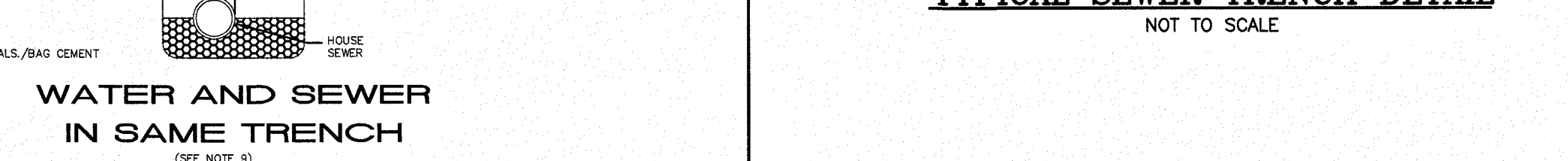
ASBESTOS CEMENT SEWER AND HOUSE SEWER



CONCRETE FULL ENCASEMENT



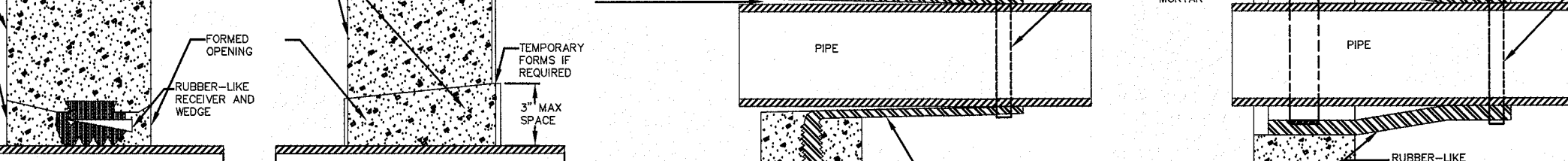
CHIMNEY



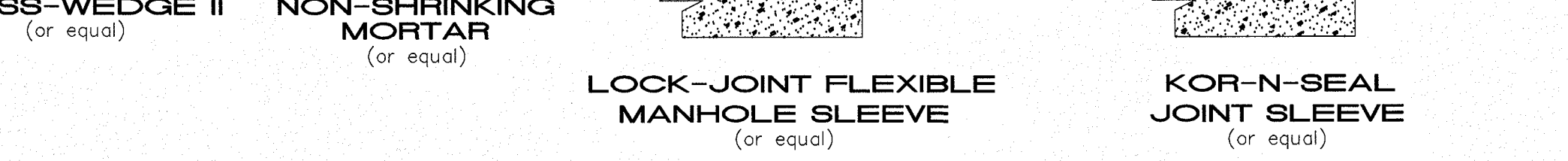
TRENCH CROSS-SECTION



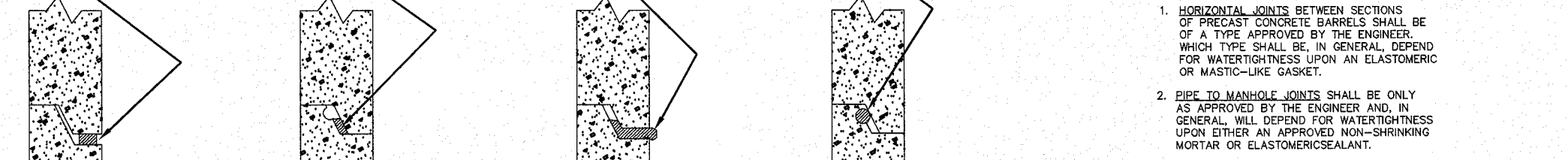
WATER AND SEWER IN SAME TRENCH



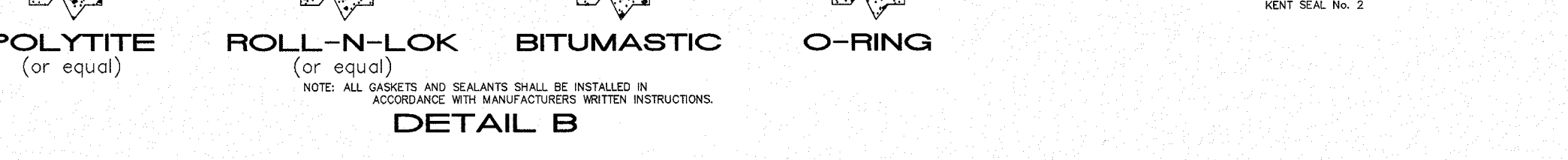
TYPICAL SEWER TRENCH DETAIL



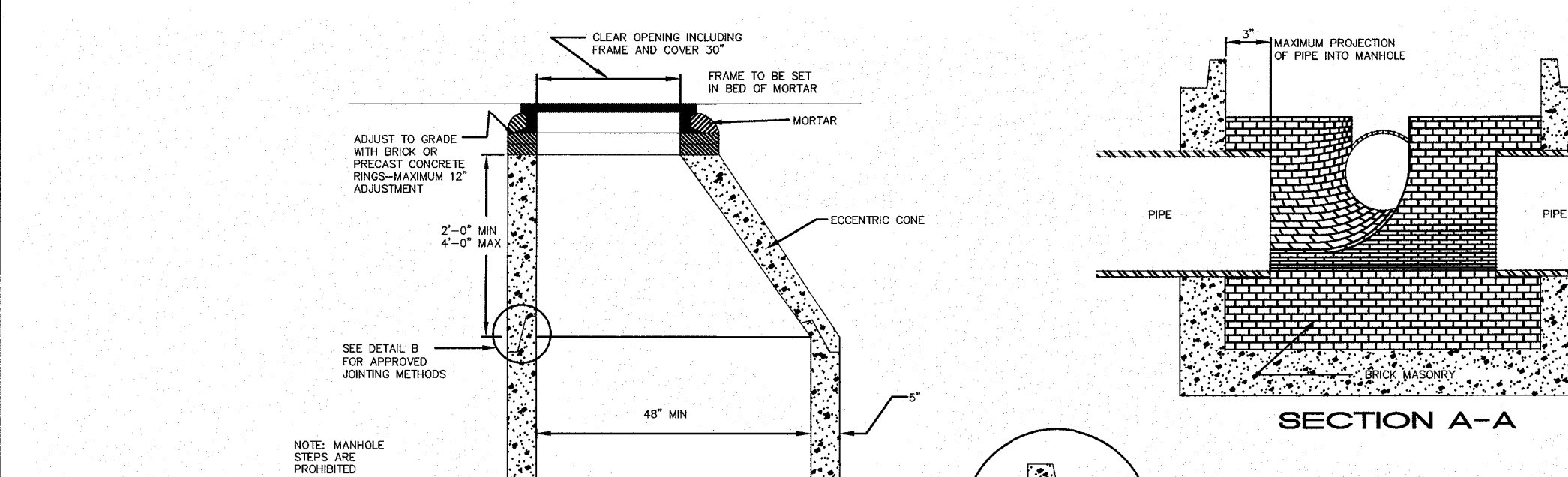
DROP MANHOLE



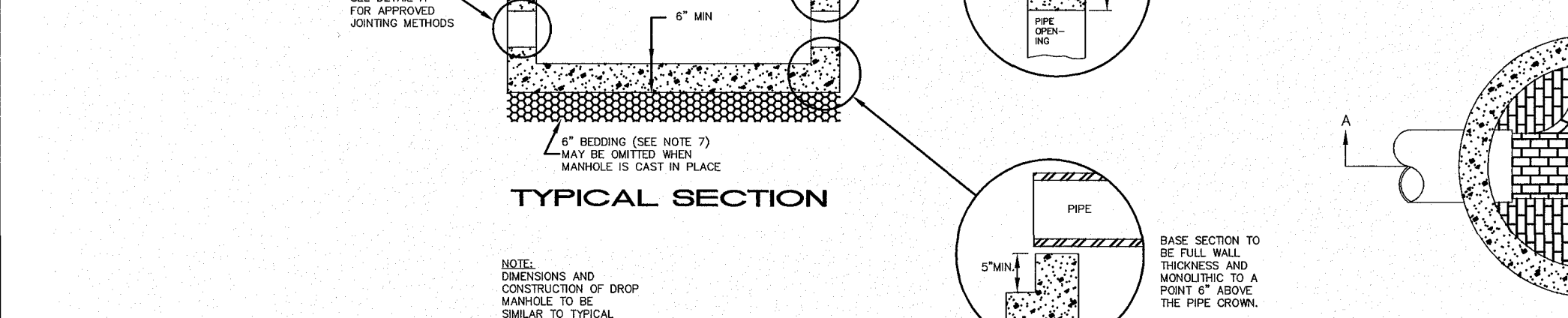
STANDARD MANHOLE PART A



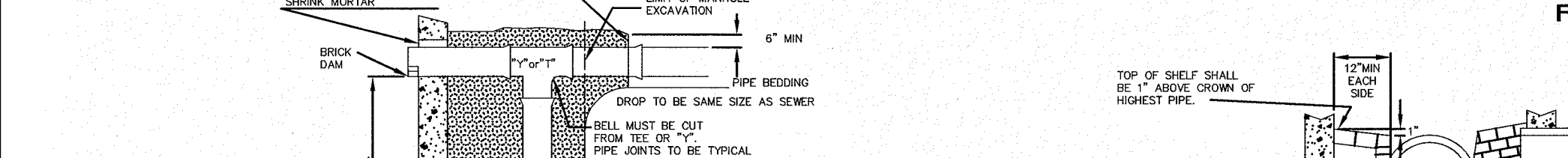
TYPICAL SEWER SERVICE CLEANOUT



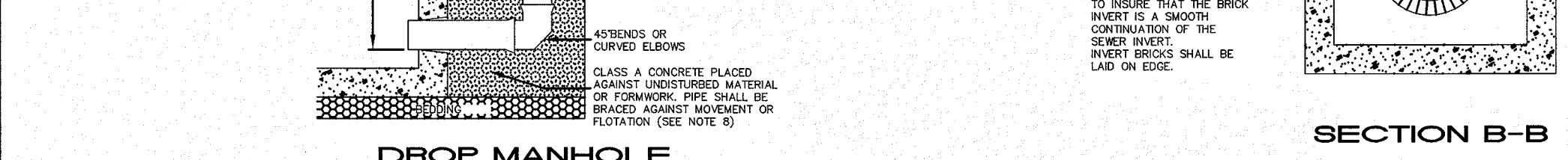
TYPICAL SECTION



PLAN



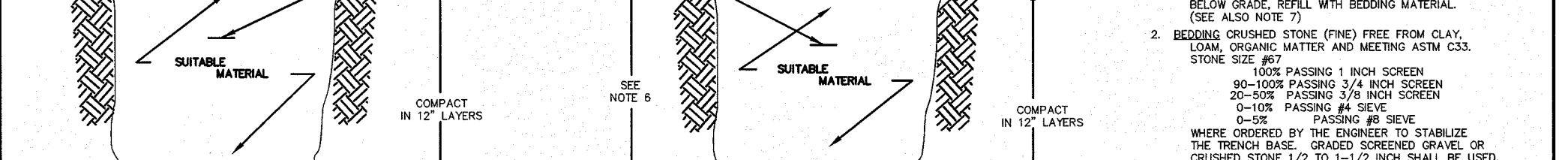
SECTION B-B



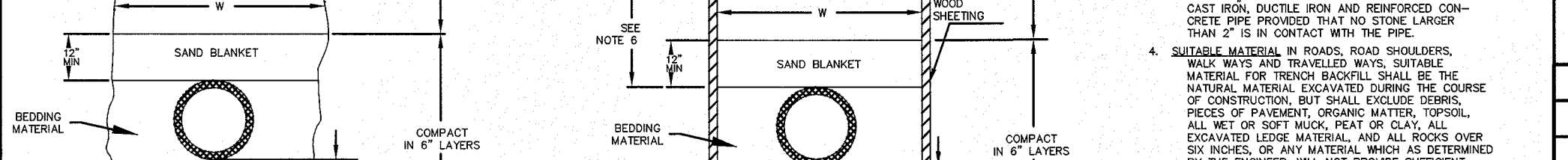
EARTH CONSTRUCTION



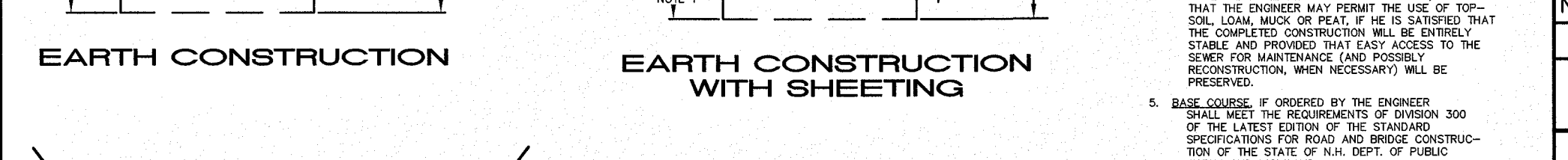
EARTH CONSTRUCTION WITH SHEETING



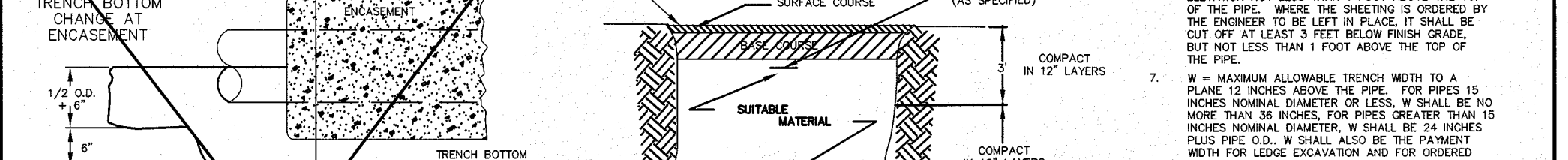
CONCRETE FULL ENCASEMENT



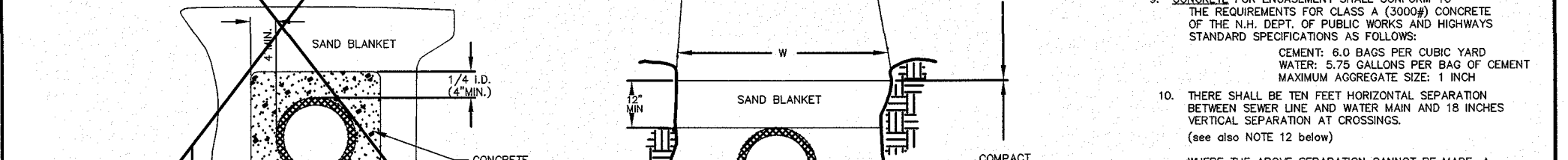
LEDGE CONSTRUCTION



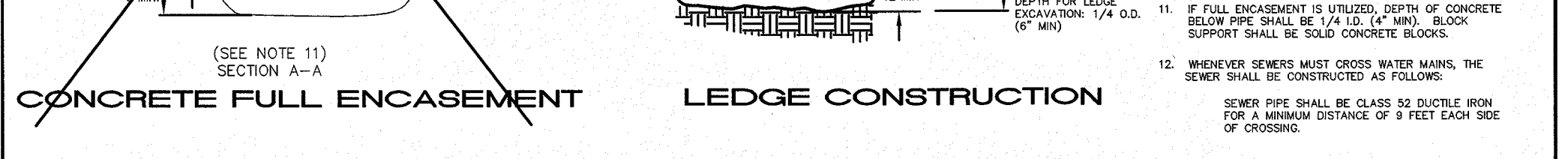
STANDARD TRENCH SECTION



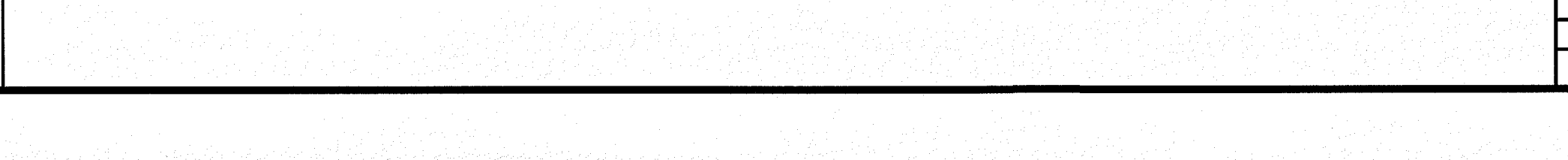
EARTH CONSTRUCTION



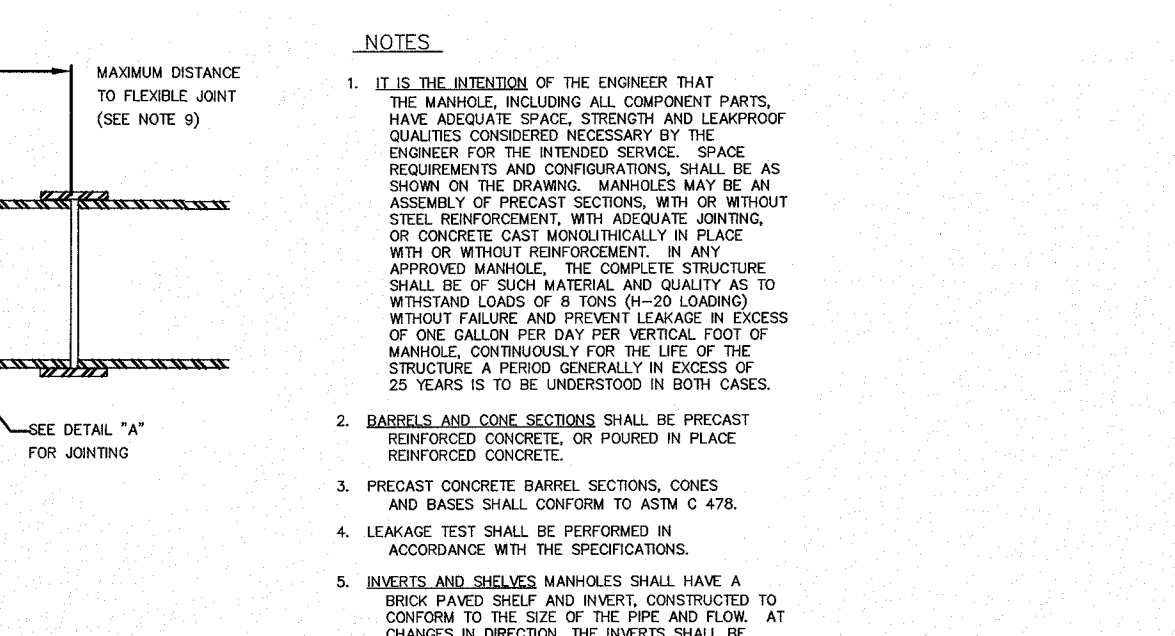
EARTH CONSTRUCTION WITH SHEETING



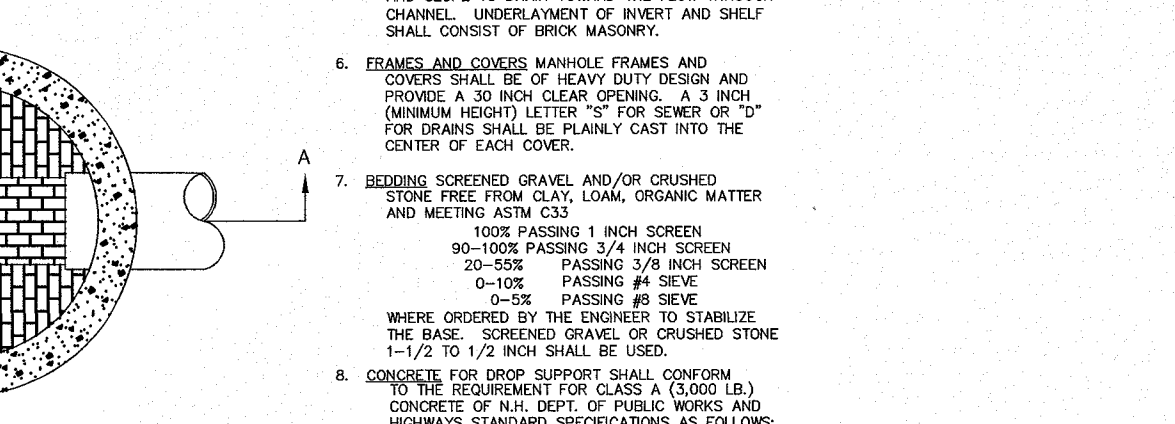
CONCRETE FULL ENCASEMENT



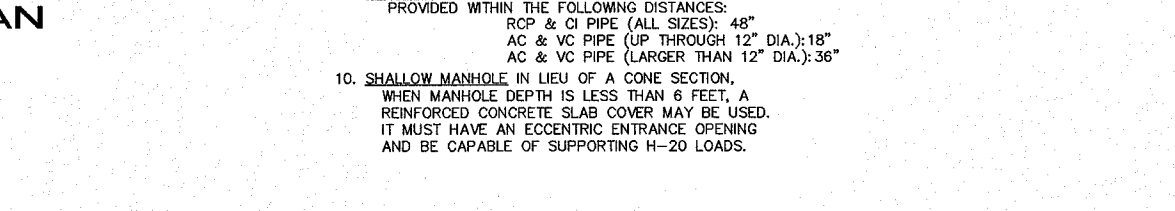
LEDGE CONSTRUCTION



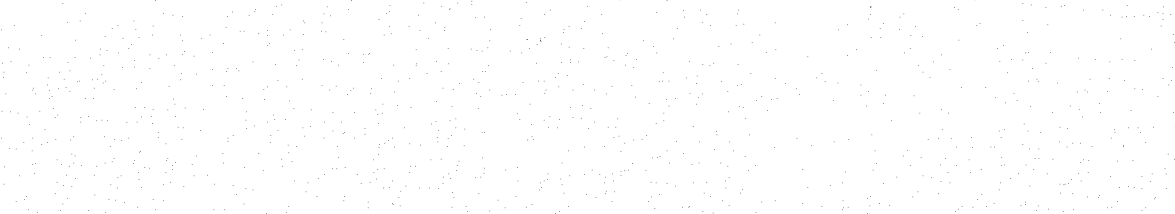
TYPICAL SECTION



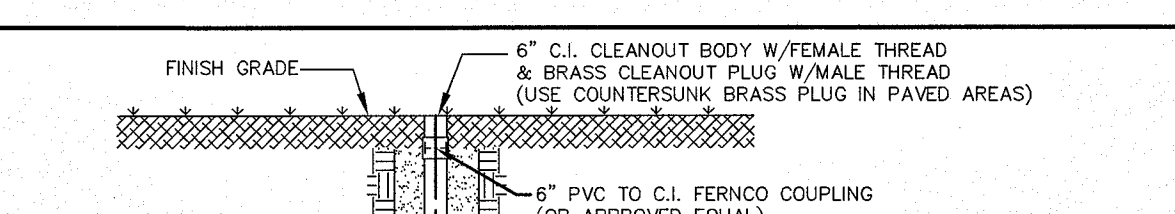
PLAN



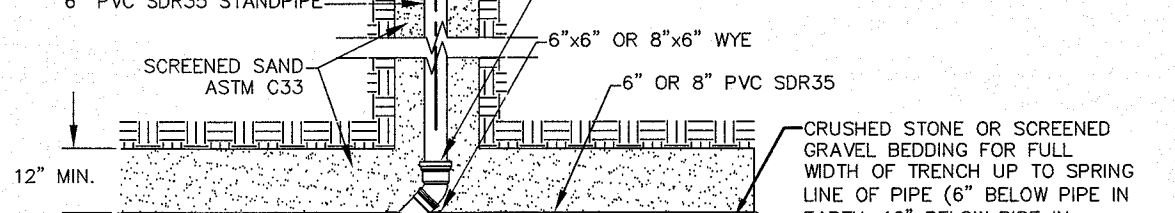
SECTION B-B



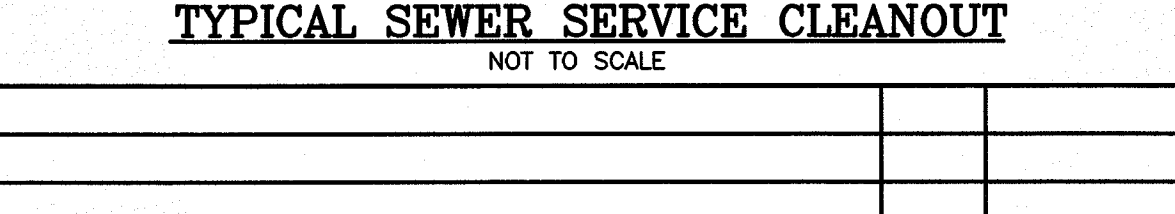
EARTH CONSTRUCTION



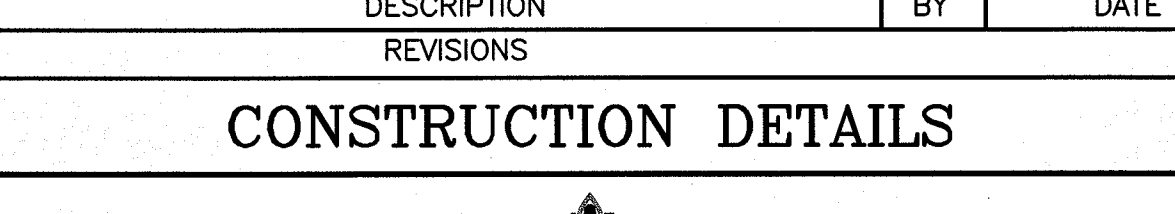
EARTH CONSTRUCTION WITH SHEETING



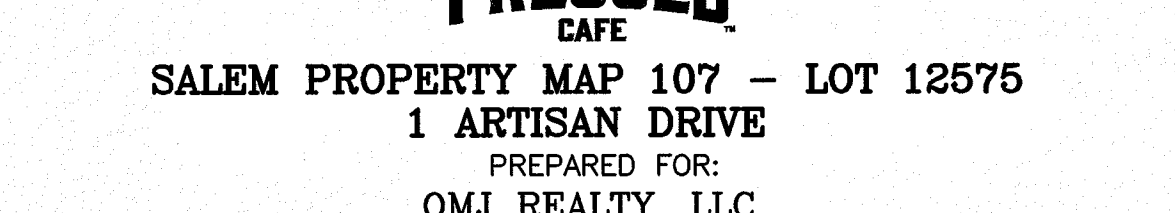
CONCRETE FULL ENCASEMENT



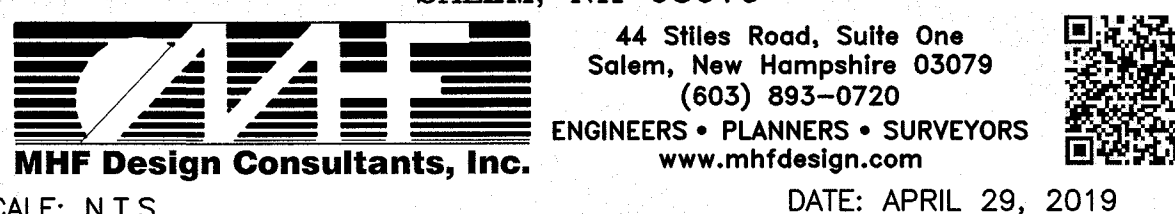
LEDGE CONSTRUCTION



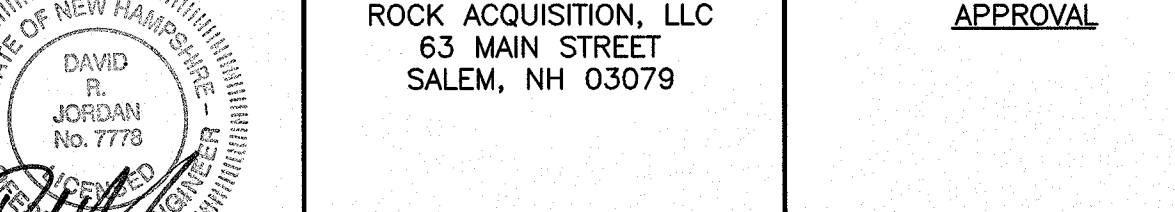
STANDARD TRENCH SECTION



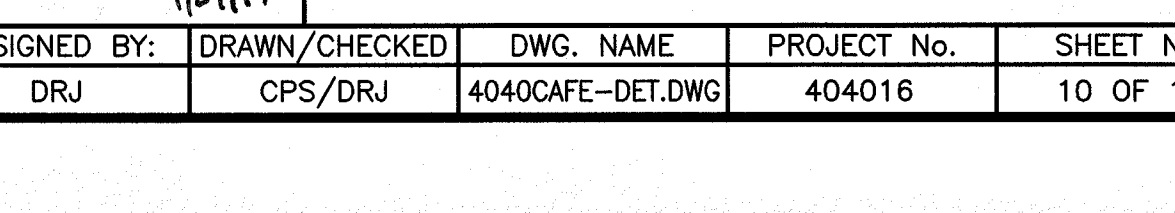
EARTH CONSTRUCTION



EARTH CONSTRUCTION WITH SHEETING

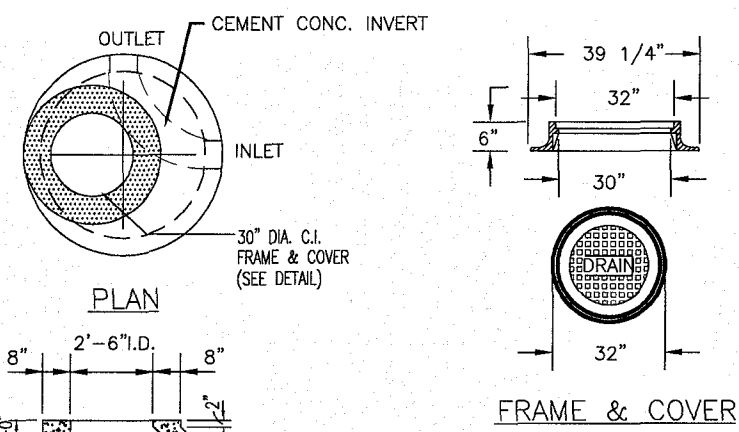


CONCRETE FULL ENCASEMENT



LEDGE CONSTRUCTION

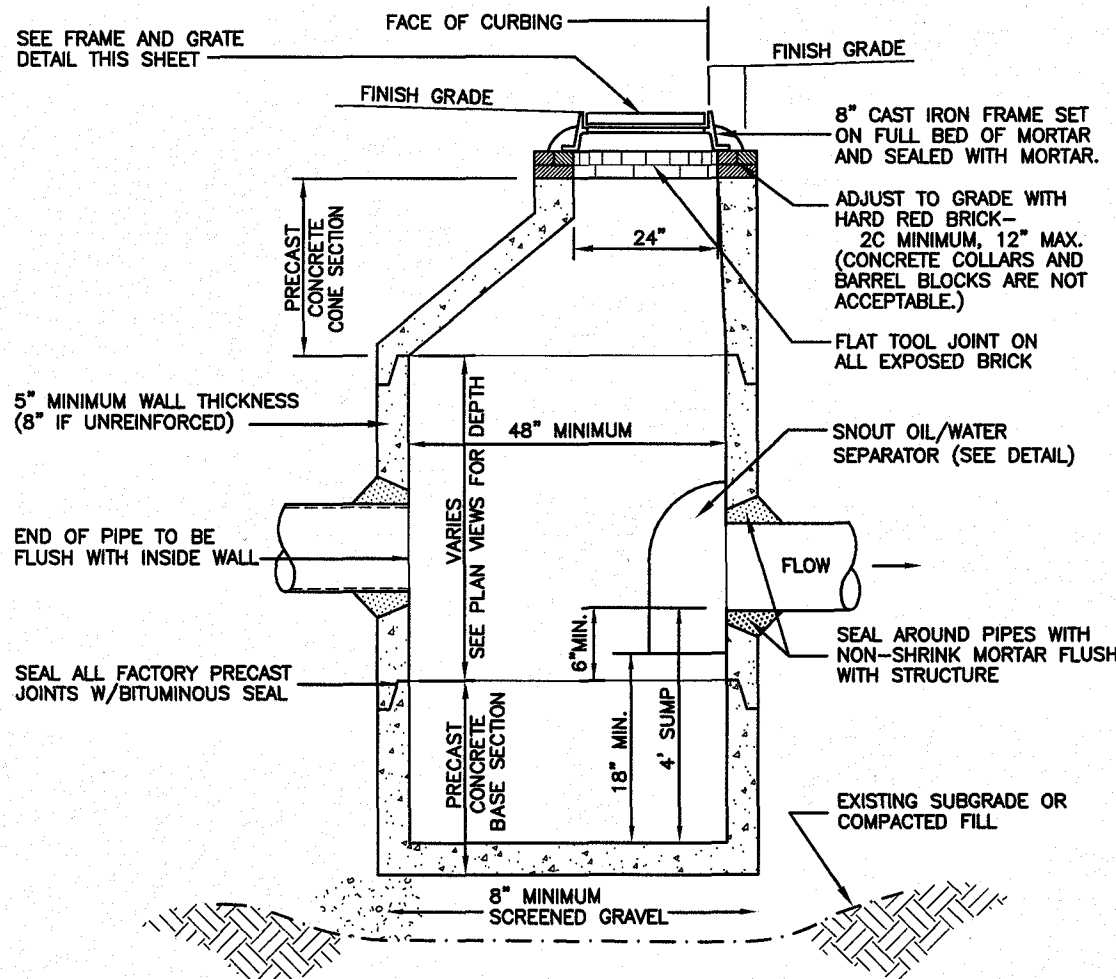
\\projects\CAD\404016\PREPRESSED_CAFE\4040CAFE-DET.dwg DET4 7/24/19 4:34pm gpiccirillo



- NOTES:
1. PRECAST CONCRETE MANHOLE AS MANUFACTURED BY SUPERIOR CONCRETE OR APPROVED EQUAL.
 2. CONCRETE: 4000 PSI AFTER 28 DAYS.
 3. REINFORCING: H-20 LOADING 4 X 4/4 X 4 W.W.M.
 4. SHIP LAP JOINTS SEALED WITH 1 STRIP OF 1" DIA. BUTYL RUBBER SEALANT.
 5. EACH CASTING TO HAVE LIFTING HOLES/CAST IN.
 6. EACH SECTION TO BE LABELED AS NOTED.
 7. PIPE OPENINGS CAST IN AS REQUIRED.
 8. 6" SLAB TOP AVAILABLE.
 9. ADJUST FRAME AND COVER TO GRADE WITH HARD RED BRICK, 2 COURSES MIN., 12" MAX.

PRECAST CONCRETE DRAIN MANHOLE

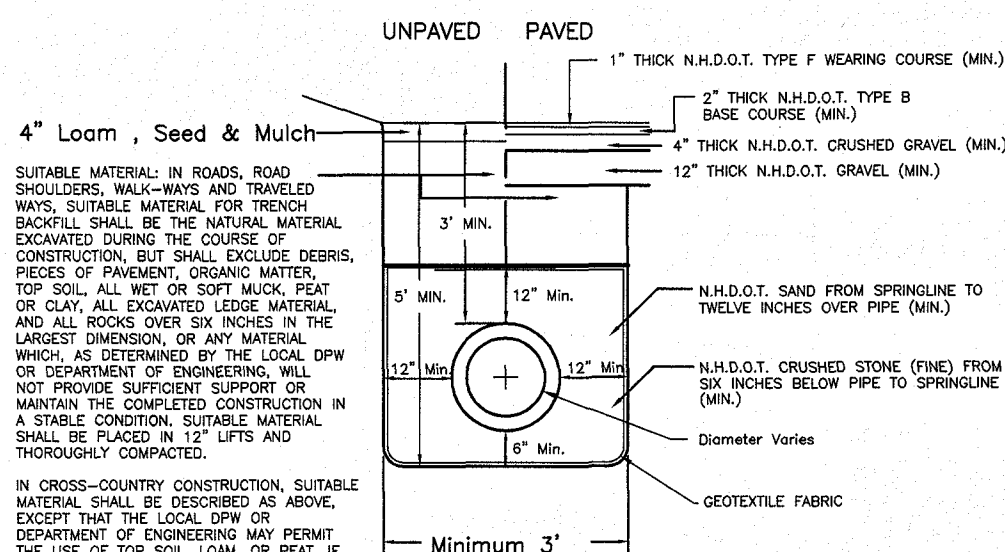
NOT TO SCALE



NOTE: ALL PRECAST SECTIONS SHALL CONFORM TO ASTM C-478

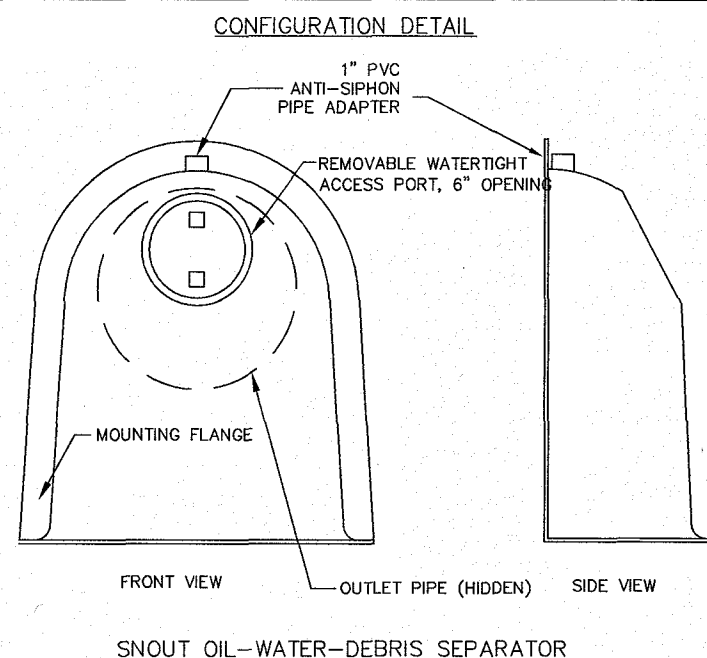
DEEP SUMP CATCH BASIN ECCENTRIC CONE

(FOR USE IN CURBED AREAS)
N.T.S.



DRAINAGE TRENCH WITH LESS THAN FOUR FEET COVER

NOT TO SCALE

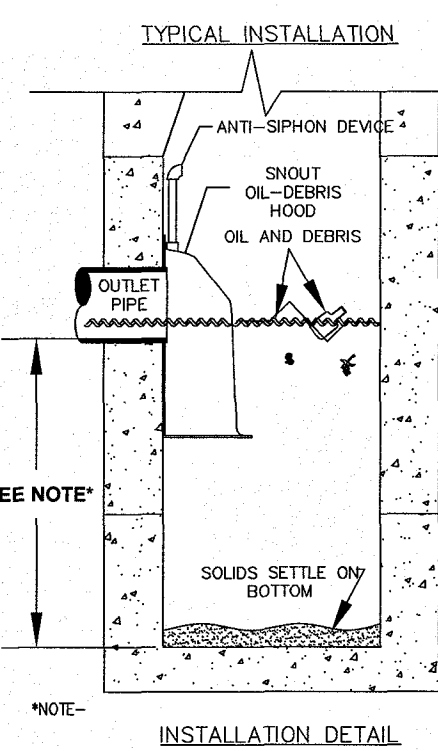


HOOD SPECIFICATION FOR CATCH BASINS AND WATER QUALITY STRUCTURES

DESCRIPTION	DATE	SCALE
OIL-DEBRIS HOOD SPECIFICATION AND INSTALLATION (TYPICAL)	9/8/00	NONE
DRAWING NUMBER	SP-SN	

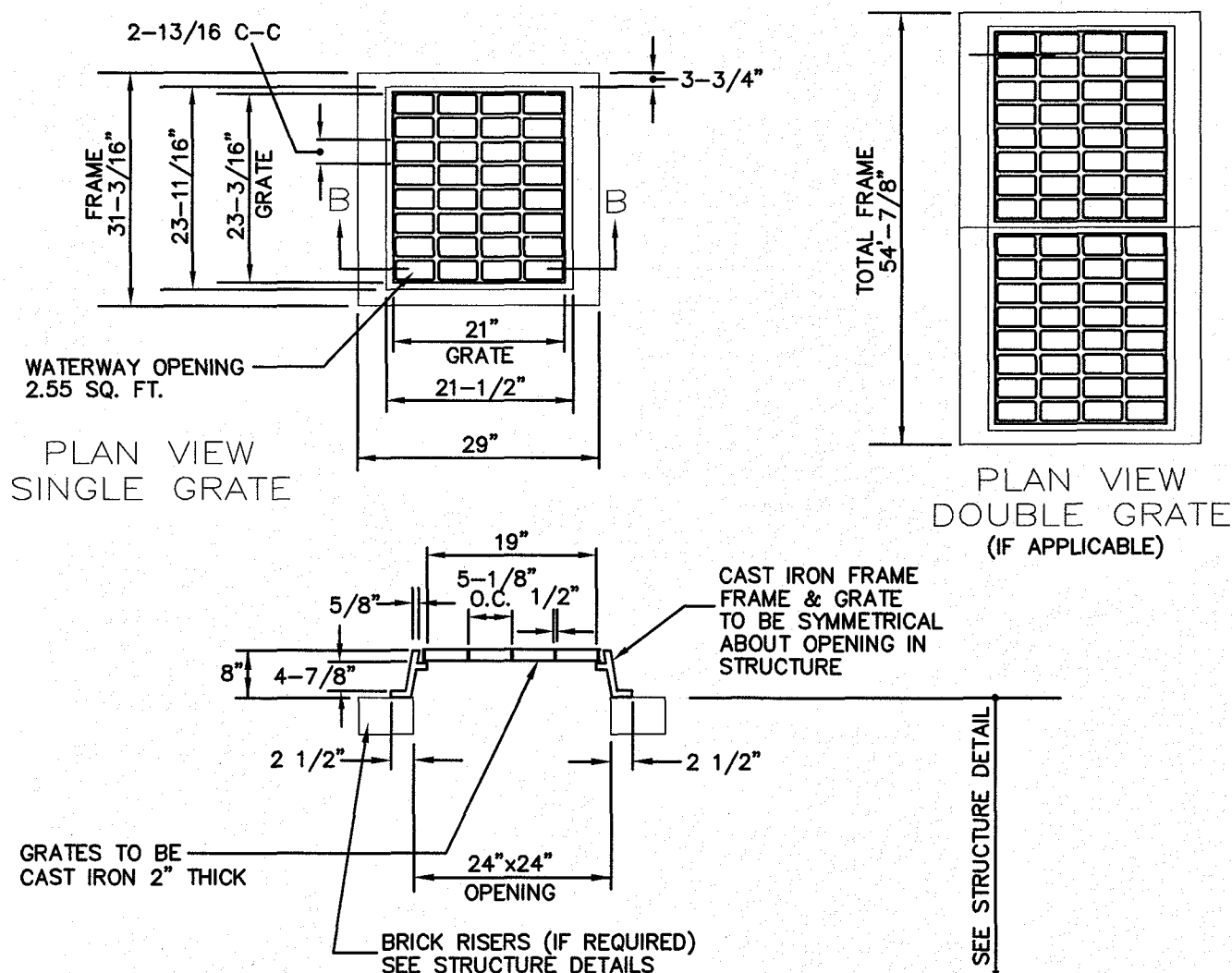
SNOUT OIL/WATER SEPARATOR

NOT TO SCALE



- NOTES:
1. ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY BEST MANAGEMENT PRODUCTS, INC. 53 MT. ARCHER RD. LYME, CT 06371 (860) 434-0277, (860) 434-3195 FAX TOLL FREE: (800) 504-8008 OR (800) 354-7585 WEB SITE: www.bestmtp.com OR PRE-APPROVED EQUAL.
 2. ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH 150 GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.125" LAMINATE THICKNESS.
 3. ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL).
 4. THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
 5. THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES 42" I.D.
 6. THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 24" ACCORDING TO STRUCTURE CONFIGURATION.
 7. THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL.
 8. THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL).
 9. INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT. INSTALLATION KIT SHALL INCLUDE:
 - A. INSTALLATION INSTRUCTIONS
 - B. PVC ANTI-SIPHON VENT PIPE AND ADAPTER
 - C. OIL-RESISTANT CRUSHED CELL FOAM GASKET WITH PSA BACKING
 - D. 3/8" STAINLESS STEEL BOLTS
 - E. ANCHOR SHIELDS

US Patent # 6126817



SECTION B-B

FRAME AND GRATE - TYPE 'B'

NOT TO SCALE

TYPICAL WATER AND DRAIN TRENCH

NOT TO SCALE

NO.	DESCRIPTION	BY	DATE
1	DELETE FIRST DEFENSE DETAIL	DRJ	7/24/19

CONSTRUCTION DETAILS



SALEM PROPERTY MAP 107 - LOT 12575
1 ARTISAN DRIVE
PREPARED FOR:
OMJ REALTY, LLC
63 MAIN STREET
SALEM, NH 03079



SCALE: N.T.S.

44 Shiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com



DATE: APRIL 29, 2019

OWNER OF RECORD

ROCK ACQUISITION, LLC
63 MAIN STREET
SALEM, NH 03079

SALEM PLANNING BOARD

APPROVAL

ZONE: COMMERCIAL - INDUSTRIAL 'C'

DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.
DRJ	CPS/DRJ	4040CAFE-DET.DWG	404016	11 OF 12

NOTES:

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6' ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

©2007 ACS, INC.

ADVANCED DRAINAGE SYSTEMS, INC. (ADS) HAS PREPARED THIS DETAIL BASED ON INFORMATION PROVIDED TO ADS. THIS DRAWING IS INTENDED TO SUPPORT THE CONSTRUCTION OF THE PROJECT. ADS HAS NOT PERFORMED ANY DESIGN REVIEW FOR THIS PROJECT. NOR HAS ADS INDEPENDENTLY VERIFIED THE INFORMATION PROVIDED. THE INSTALLATION DETAILS PROVIDED HEREIN ARE GENERAL RECOMMENDATIONS AND ARE NOT SPECIFIC FOR THIS PROJECT. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THE DETAILS PROVIDED HEREIN MEET OR EXCEED THE APPLICABLE NATIONAL, STATE, OR LOCAL REQUIREMENTS AND TO INSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THIS PROJECT.

RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	25"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	58"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD) *
12" - 48"	12"	48"
54" - 60"	24"	60"

* VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

MINIMUM RECOMMENDED COVER BASED ON RAILWAY LOADING CONDITIONS

PIPE DIAM.	COOPER E-80**
UP TO 24"	24"
30"-36"	36"
42"-60"	48"

** COVER IS MEASURED FROM TOP OF PIPE TO BOTTOM OF RAILWAY TIE.

*** E-80 COVER REQUIREMENTS, ARE ONLY APPLICABLE TO ASTM F 2506 PIPE

2	ADDED S&B INFORMATION	TUN	262007	CHND
REV.	DESCRIPTION	BY	DATE	
1	TYPICAL TRENCH DETAIL	ADS	4640 TRULMAN BLVD HILLAND, OHIO 43088	
DRAWING NUMBER	STD-101			

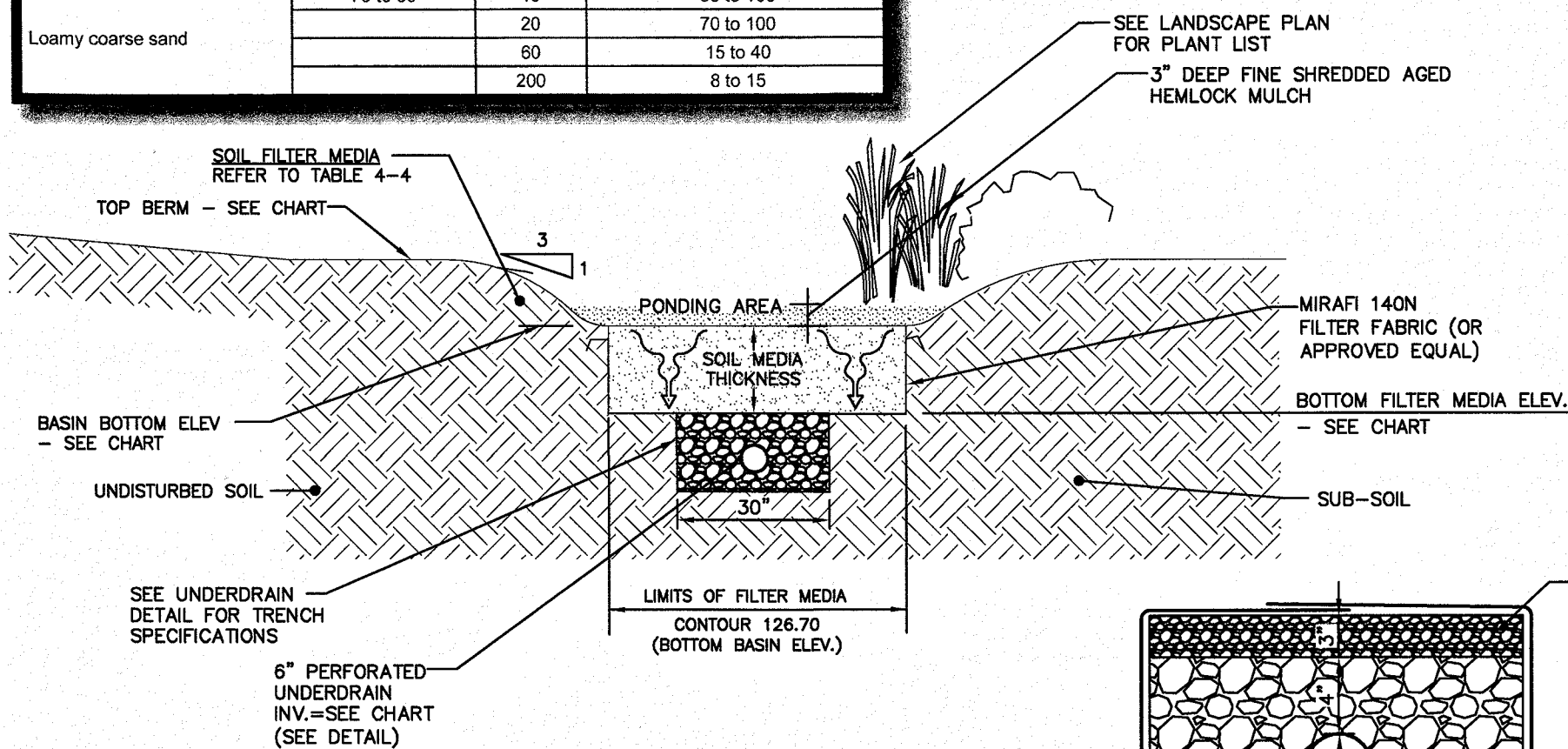
HDPE PIPE TRENCH

NOT TO SCALE

Table 4-4. Bioretention Filter Media			
Component Material	Percent of Mixture by Volume	Gradation of Material	Percent by Weight Passing Standard Sieve
Filter Media Option A			
ASTM C-33 concrete sand	50 to 55		
Loamy sand topsoil, with fines as indicated	20 to 30	200	15 to 25
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
Filter Media Option B			
Moderately fine shredded bark or wood fiber mulch, with fines as indicated	20 to 30	200	< 5
Loamy coarse sand	70 to 80	10	85 to 100
	20	70 to 100	
	60	15 to 40	
	200	8 to 15	

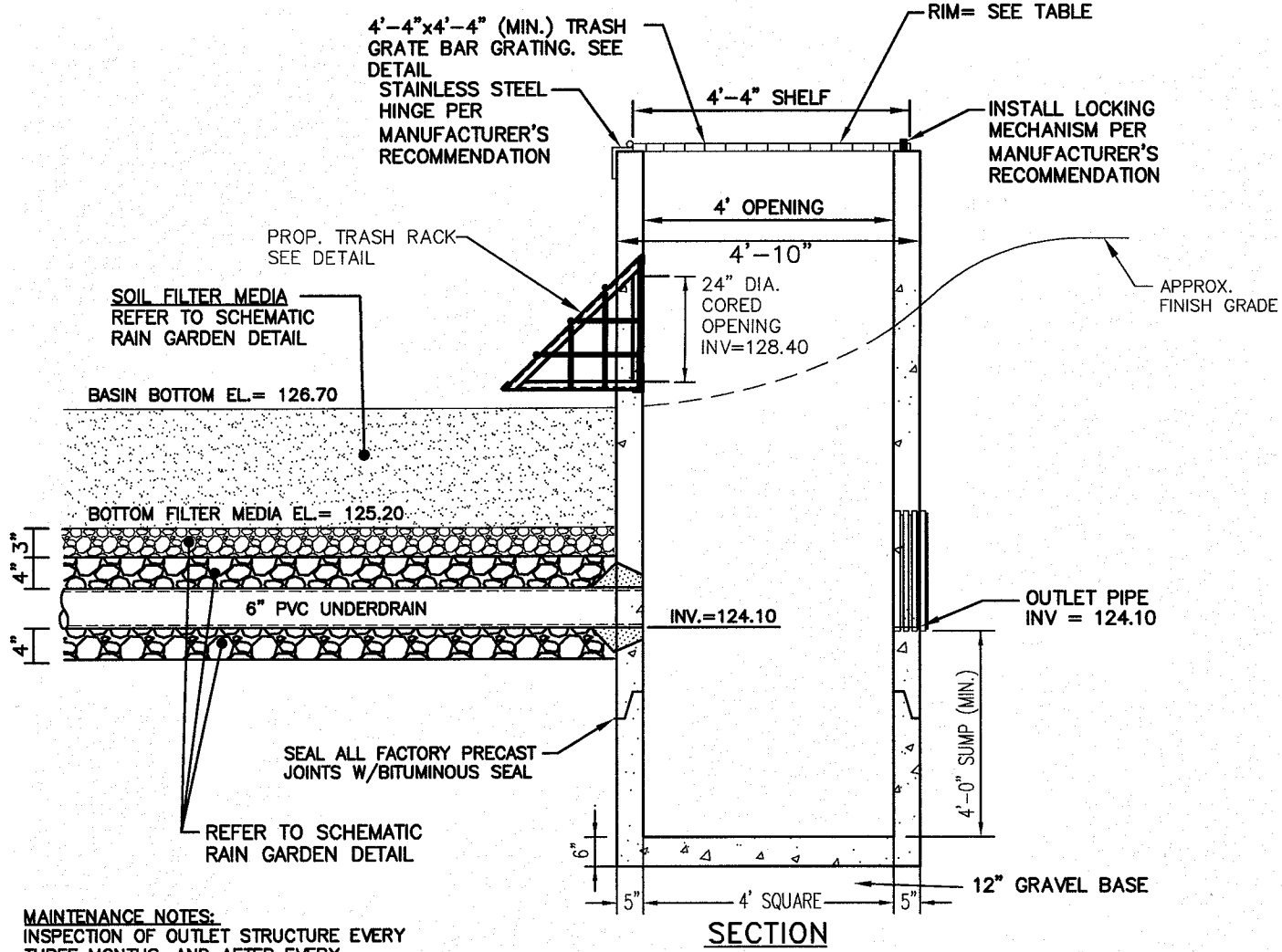
NOTES:

- FOR ADDITIONAL INFORMATION REFER TO THE NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 2, POST-CONSTRUCTION BEST MANAGEMENT PRACTICES, DECEMBER 2008.
- DO NOT PLACE THE BIO-RETENTION SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND IT'S CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE BIO-RETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.



RAIN GARDEN AREA	TOP BERM ELEVATION	BASIN BOTTOM ELEVATION	SOIL MEDIA THICKNESS	BOTTOM FILTER MEDIA ELEV.	UNDERDRAIN INV. ELEV.
R.G. #1	132.00	126.70	18"	125.20	124.10

SCHEMATIC RAIN GARDEN DETAIL
NOT TO SCALE



OCS	RIM	INV. IN (SIZE)	INV. IN (ELEV)	INV. OUT (SIZE)	INV. OUT (ELEV)
#1	131.40	6" PERF.	124.10	24"	124.10

NOTES:

- PRECAST CONCRETE MAN HOLE AS MANUFACTURED BY SUPERIOR CONCRETE OR APPROVED EQUAL.
- CONCRETE: 4,000 PSI AFTER 28 DAYS.
- REINFORCING: H-20 LOADING, 4 X 4/4 X 4 W.W.M. SLAB TOP -NO. 5'S @ 8" O.C.
- SHOULDER JOINTS SEALED WITH 1" STRIP OF 1" DIA BUTYL RUBBER SEALANT.
- EACH CASTING TO HAVE LIFTING HOLES CAST IN.
- LENGTH AND DIAMETER OF TEE VARIES WITH PIPE.

RAIN GARDEN PROFILE AND OUTLET CONTROL STRUCTURE DETAIL (OCS-1)
NOT TO SCALE

Project:		Client:		Date:		Water Depth:		Cave-in Depth:	
Proposed Mixed-Use Development		OMJ Realty, LLC		5/11/2018		1.0 (feet max)		1.0 (feet max)	
Location: 11 Central Street, Salem, Rockingham County, New Hampshire		Client: OMJ Realty, LLC		Date Started: 5/11/2018		Water Depth: 1.0 (feet max)		Cave-in Depth: 1.0 (feet max)	
Termination Depth: 10.5 (feet max)		Contractor: JM		Date Completed: 5/11/2018		Water Depth: 1.0 (feet max)		Cave-in Depth: 1.0 (feet max)	
Proposed Location: 11 Central Street, Salem, Rockingham County, New Hampshire		Contractor: JM		Date Started: 5/11/2018		Water Depth: 1.0 (feet max)		Cave-in Depth: 1.0 (feet max)	
Excavating Method: Test Pit Excavation		Contractor: JM		Date Completed: 5/11/2018		Water Depth: 1.0 (feet max)		Cave-in Depth: 1.0 (feet max)	
Test Method: Visual Observation		Contractor: JM		Date Started: 5/11/2018		Water Depth: 1.0 (feet max)		Cave-in Depth: 1.0 (feet max)	
SAMPLE INFORMATION		DEPTH		DESCRIPTION OF MATERIALS		REMARKS			
Depth (ft.)	Number	Type	Interval						
0.0		FILL	0.0 - 1.0	Brown, Coarse to Fine Sand and Gravel, Little Sil					
1.5		ALLUVIAL	1.0 - 1.5	Brown, Medium to Fine Sand, Some Sil, Little Gravel, Organic Debris, Manganese Oxide					
5.0			1.5 - 5.0	Light Brown, Medium to Fine Sand, Some Gravel and Sil					
10.0			5.0 - 10.0	Test Pit Log TP-215 Terminated at a Depth of 10.5 Feet BGS					
15.0			10.0 - 15.0						

NOTES: Top = Mean ground surface, not a mean sea level; NA = Not Applicable; NE = Not Encountered; NS = Not Sounded; P = Poured

Project:		Client:		Date:		Water Depth:		Cave-in Depth:	
Proposed Mixed-Use Development		OMJ Realty, LLC		5/11/2018		1.0 (feet max)		1.0 (feet max)	
Location: 11 Central Street, Salem, Rockingham County, New Hampshire		Client: OMJ Realty, LLC		Date Started: 5/11/2018		Water Depth: 1.0 (feet max)		Cave-in Depth: 1.0 (feet max)	
Termination Depth: 10.5 (feet max)		Contractor: JM		Date Completed: 5/11/2018		Water Depth: 1.0 (feet max)		Cave-in Depth: 1.0 (feet max)	
Proposed Location: 11 Central Street, Salem, Rockingham County, New Hampshire		Contractor: JM		Date Started: 5/11/2018		Water Depth: 1.0 (feet max)		Cave-in Depth: 1.0 (feet max)	
Excavating Method: Test Pit Excavation		Contractor: JM		Date Completed: 5/11/2018		Water Depth: 1.0 (feet max)		Cave-in Depth: 1.0 (feet max)	
Test Method: Visual Observation		Contractor: JM		Date Started: 5/11/2018		Water Depth: 1.0 (feet max)		Cave-in Depth: 1.0 (feet max)	
SAMPLE INFORMATION		DEPTH		DESCRIPTION OF MATERIALS		REMARKS			
Depth (ft.)	Number	Type	Interval						
0.0		TS	0.0 - 0.5	12" Gravel Topsoil					
1.5		FILL	0.5 - 1.5	Brown, Coarse to Fine Sand, Little Gravel, Trace Sil					
2.25		FTS	1.5 - 2.25	12" Former Topsoil					
5.0		ALLUVIAL	2.25 - 5.0	Light Brown, Medium to Fine Sand, Some Sil and Gravel, Cobble					
10.0			5.0 - 10.0	Test Pit Log TP-216 Terminated at a Depth of 10.5 Feet BGS					
15.0			10.0 - 15.0						

NOTES: Top = Mean ground surface, not a mean sea level; NA = Not Applicable; NE = Not Encountered; NS = Not Sounded; P = Poured

TEST PIT LOGS

TEST PIT DATA

Project: Tuscan Village
Client: OMJ Realty
GES Project No. 2016157D
04/10/19 - Jim Gove

NOTE:
TEST PITS 1-3 CONDUCTED BY JIM GOVE, CWS, OCS, GOVE ENVIRONMENTAL SERVICES, INC.

Test Pit No.	ESHWIT	Termination @	Refusal	Obs. Water	Depth	Color	Texture	Structure	Consistency	Redox %	Horizon
1-PRESSED	33"	15"	NA	NA	0-33"	2.5Y 5/4	FSL	OM	FR	NATURAL	20% (red)

Test Pit No.	ESHWIT	Termination @	Refusal	Obs. Water	Depth	Color	Texture	Structure	Consistency	Redox %	Horizon
2-PRESSED	38"	48"	NA	NA	0-12"	10YR 5/2	FSL	OM	FR	FILL w/ ORGANICS	NATURAL

Test Pit No.	ESHWIT	Termination @	Refusal	Obs. Water	Depth	Color	Texture	Structure	Consistency	Redox %	Horizon
3-PRESSED	41"	72"	NA	NA	0-10"	10YR 5/2	FSL	OM	FR	FILL w/ ORGANICS	NATURAL

Test Pit No.	ESHWIT	Termination @	Refusal	Obs. Water	Depth	Color	Texture	Structure	Consistency	Redox %	Horizon
4-PRESSED	41"	72"	NA	NA	0-10"	10YR 5/2	FSL	OM	FR	FILL w/ ORGANICS	NATURAL

NO.	DESCRIPTION	BY	DATE
4	REVISE R.G., OCS, OUTLET PROT. & SED. FOREBAY DETAILS PER RCDD COMMENTS	DRJ	8/21/19
3	REVISE RAIN GARDEN & OCS DETAIL; ADD TRASH RACK DETAILS	DRJ	7/24/19
2	REMOVE UNDERGROUND DRAINAGE SYSTEM/JELLYFISH DETAILS; ADD RAIN GARDEN DETAILS	DRJ	7/15/19
1	MISC. REVISIONS PER RCDD COMMENTS	DRJ	6/3/19

CONSTRUCTION DETAILS



SALEM PROPERTY MAP 107 - LOT 12575

1 ARTISAN DRIVE

PREPARED FOR:

OMJ REALTY, LLC

63 MAIN STREET

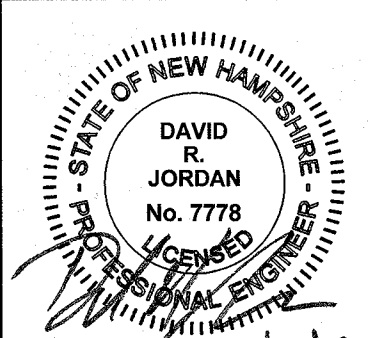
SALEM, NH 03079

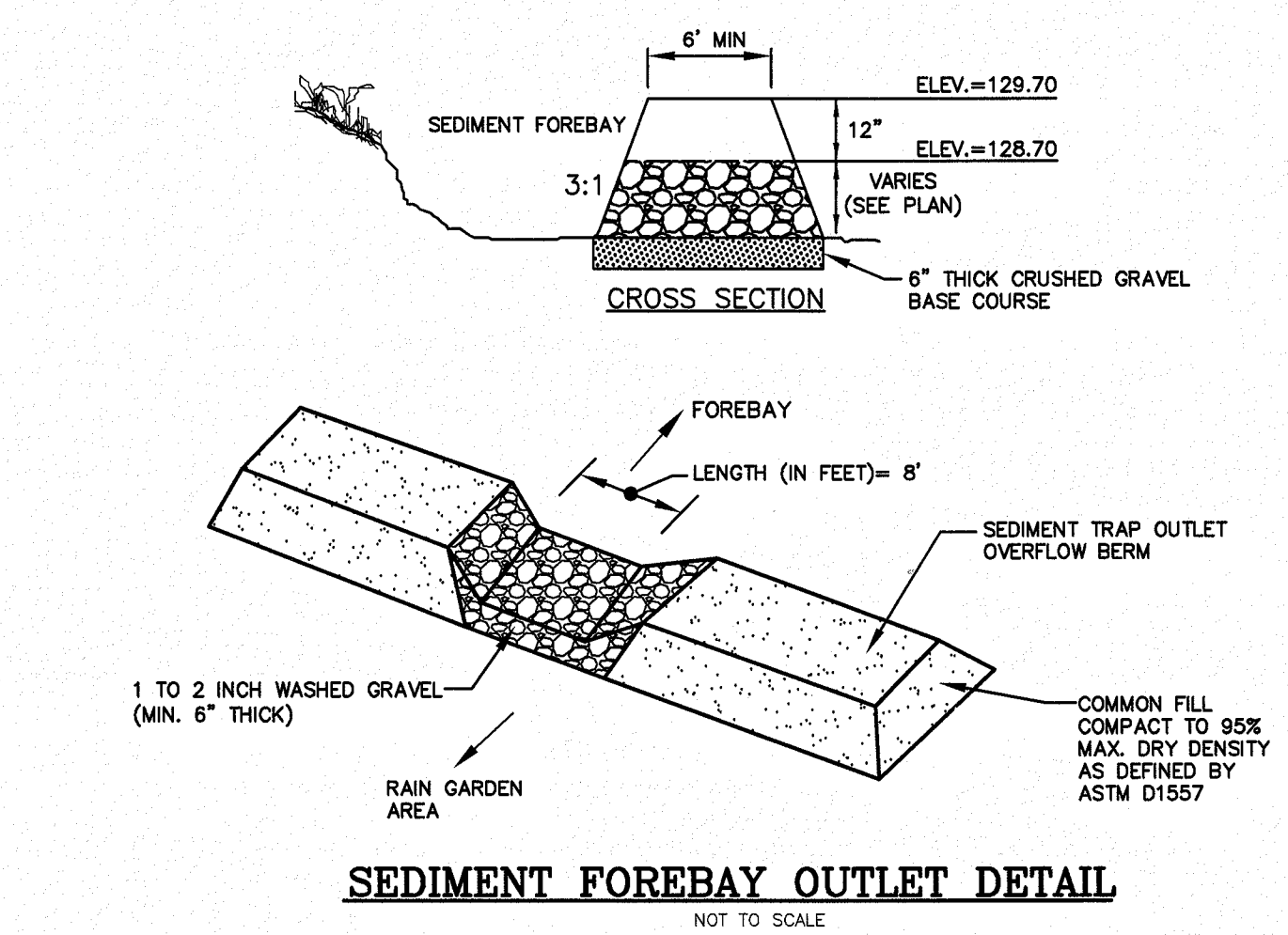


44 Shiles Road, Suite One
Salem, New Hampshire 03079
(603) 893-0720
ENGINEERS • PLANNERS • SURVEYORS
www.mhfdesign.com

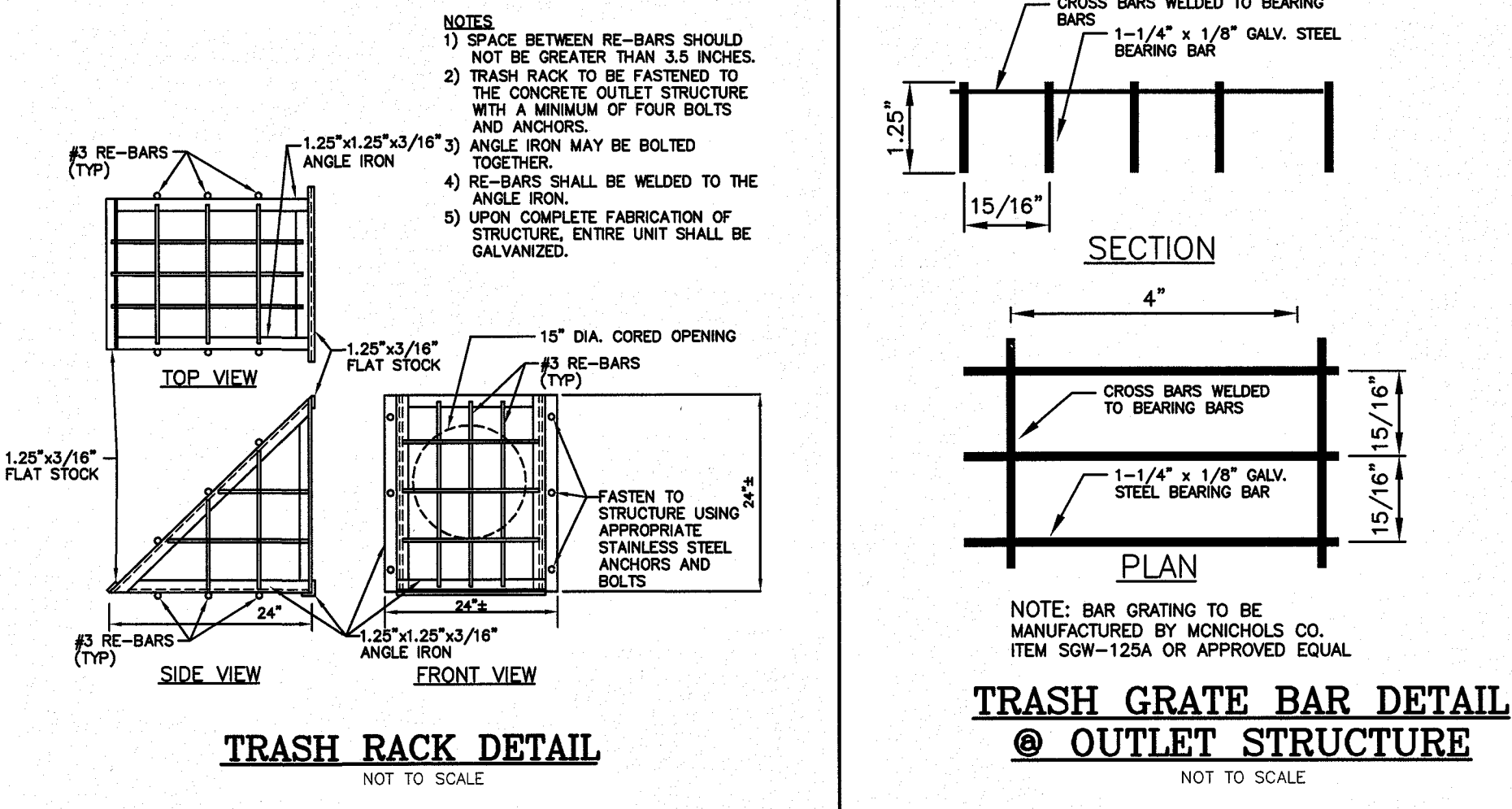
SCALE: N.T.S.

DATE: APRIL 29, 2019

		OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079		SALEM PLANNING BOARD <u>APPROVAL</u>	
		ZONE: COMMERCIAL – INDUSTRIAL 'C'			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.	SHEET No.	
DRJ	CPS/DRJ	4040CAFE-DET.DWG	404016	12 OF 12	

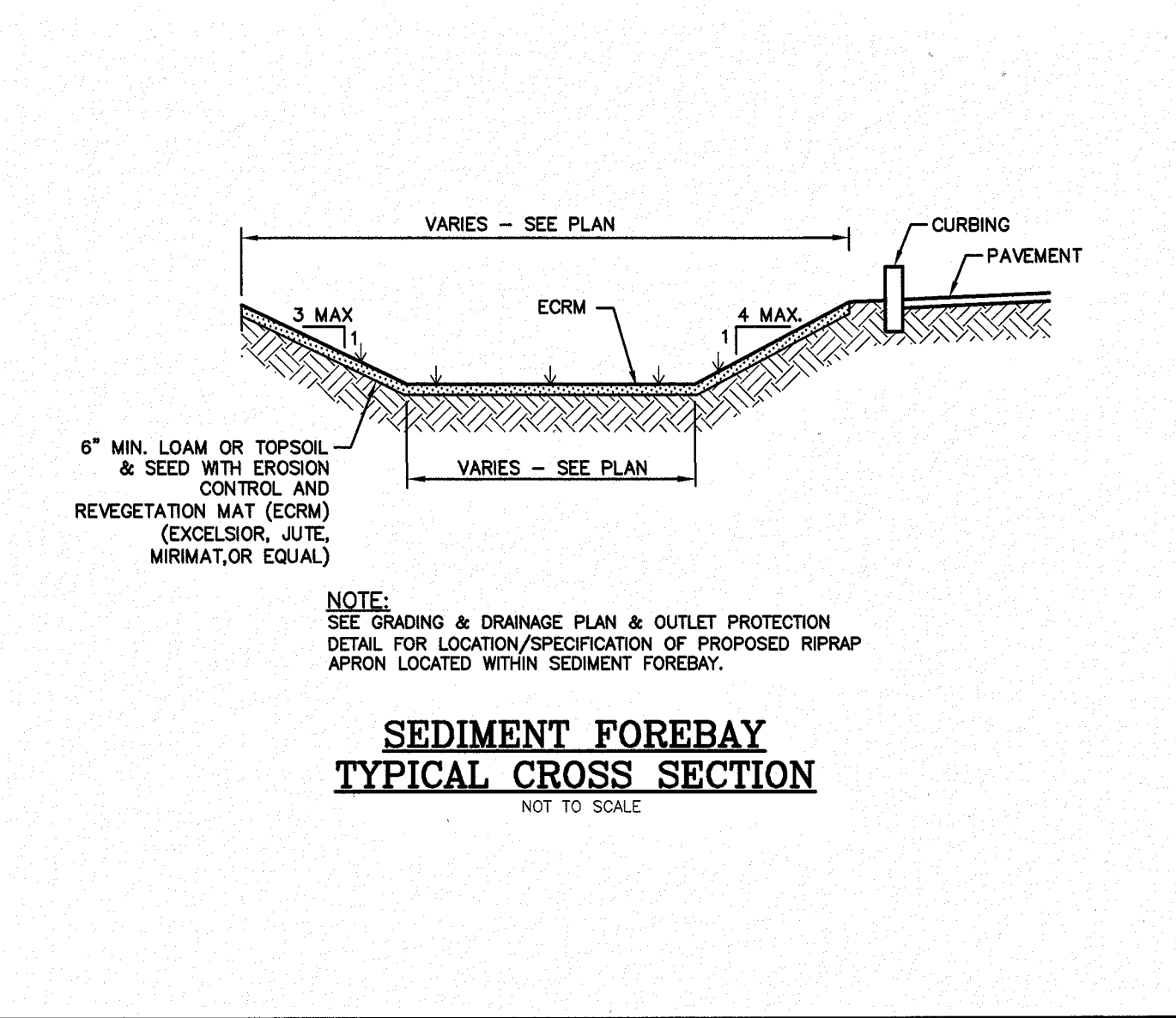


SEDIMENT FOREBAY OUTLET DETAIL
NOT TO SCALE

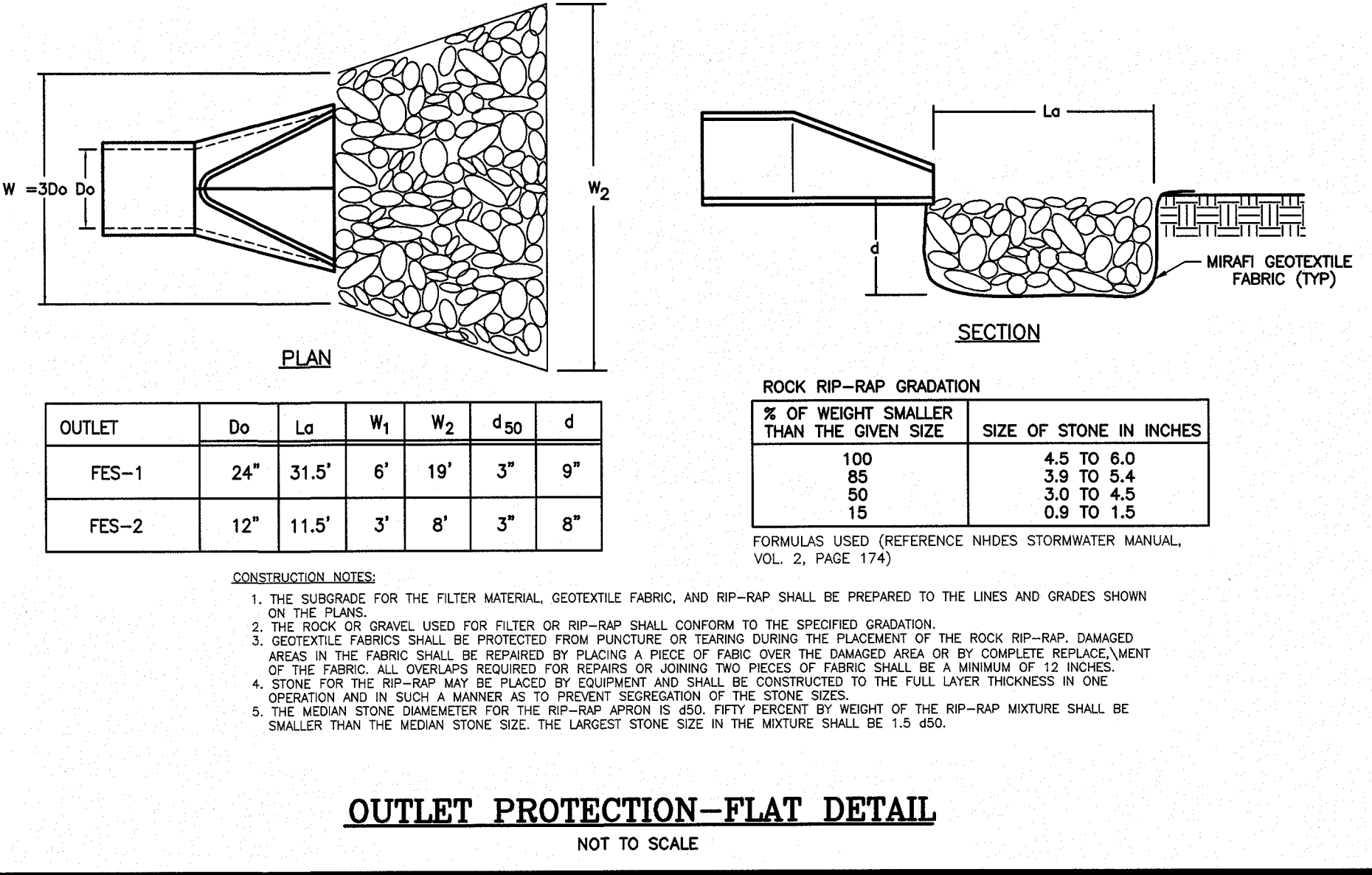


TRASH RACK DETAIL
NOT TO SCALE

TRASH GRATE BAR DETAIL @ OUTLET STRUCTURE
NOT TO SCALE



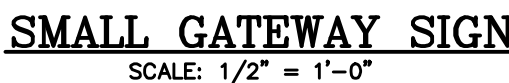
SEDIMENT FOREBAY TYPICAL CROSS SECTION
NOT TO SCALE



OUTLET PROTECTION-FLAT DETAIL
NOT TO SCALE

SIGNAGE TABLE

1. REFER TO TUSCAN VILLAGE SIGN STANDARDS FOR ALLOWABLE SIGN CRITERIA.

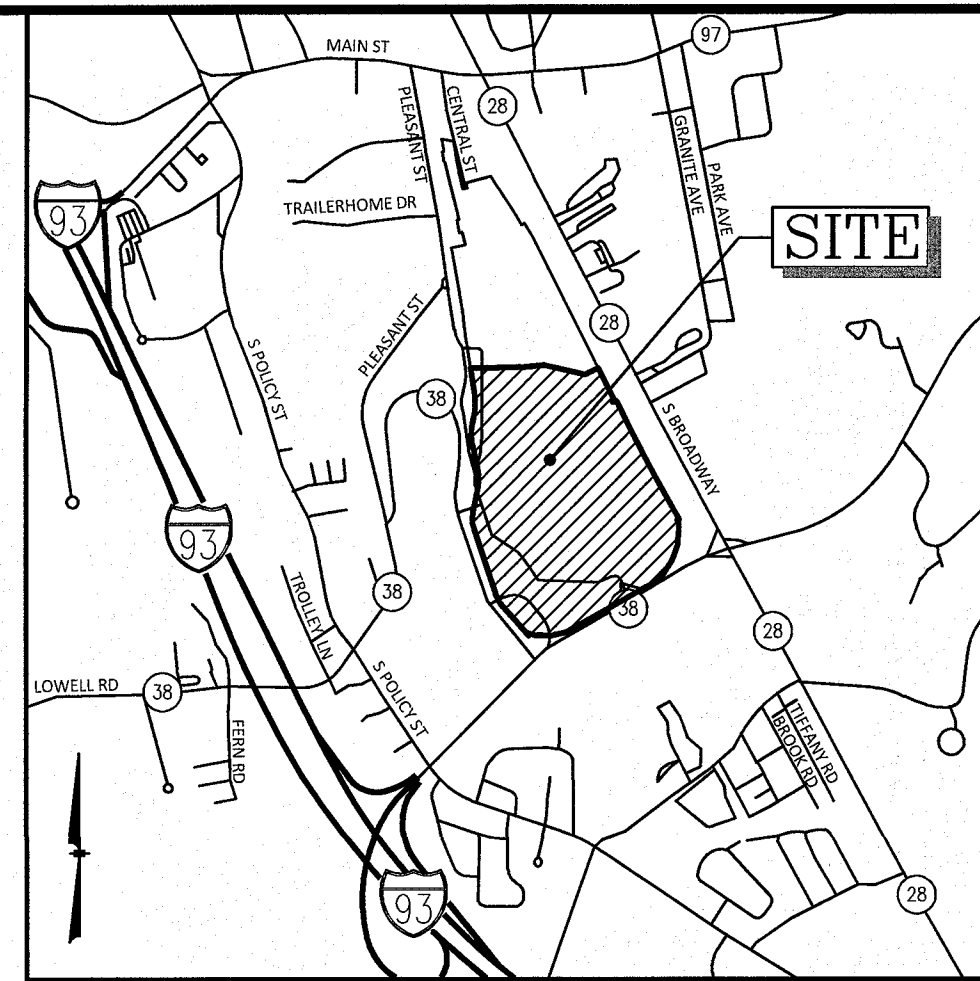
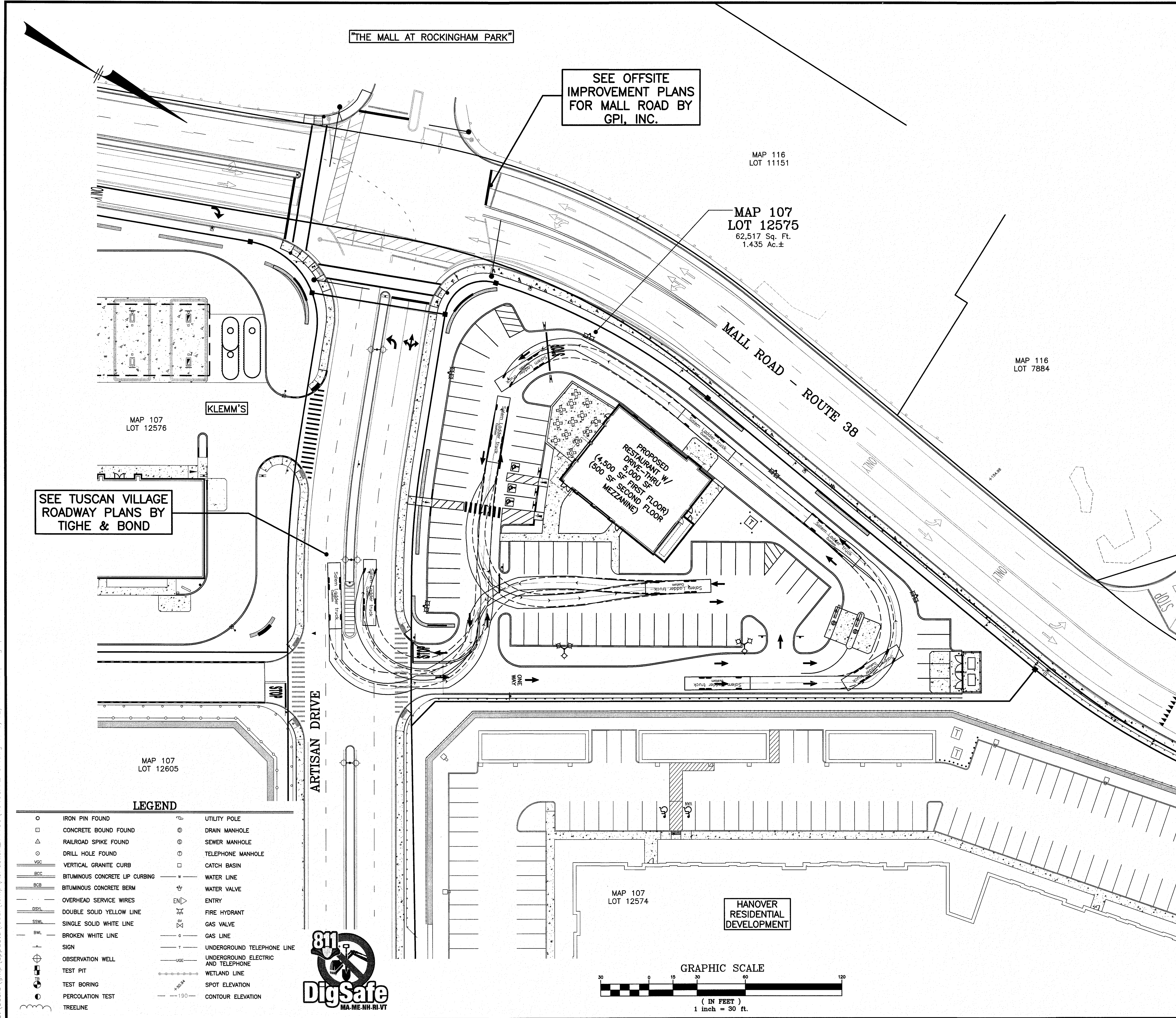


SIGN DETAILS

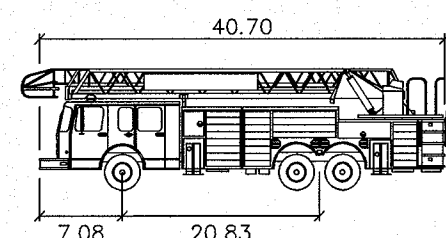
DATE: APRIL 29, 2019

		<u>OWNER OF RECORD</u> ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079		<u>SALEM PLANNING BOARD</u> <u>APPROVAL</u>	
		ZONE: COMMERCIAL – INDUSTRIAL 'C'			
		DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
DRJ		CPS/DRJ	4040CAFE–DET.DWG	404016	1 OF 1

C:\Users\gmp\appdata\local\temp\AcPublish_11136\4040CAFE-SP.dwg TT 6/12/19 12:31pm gmp



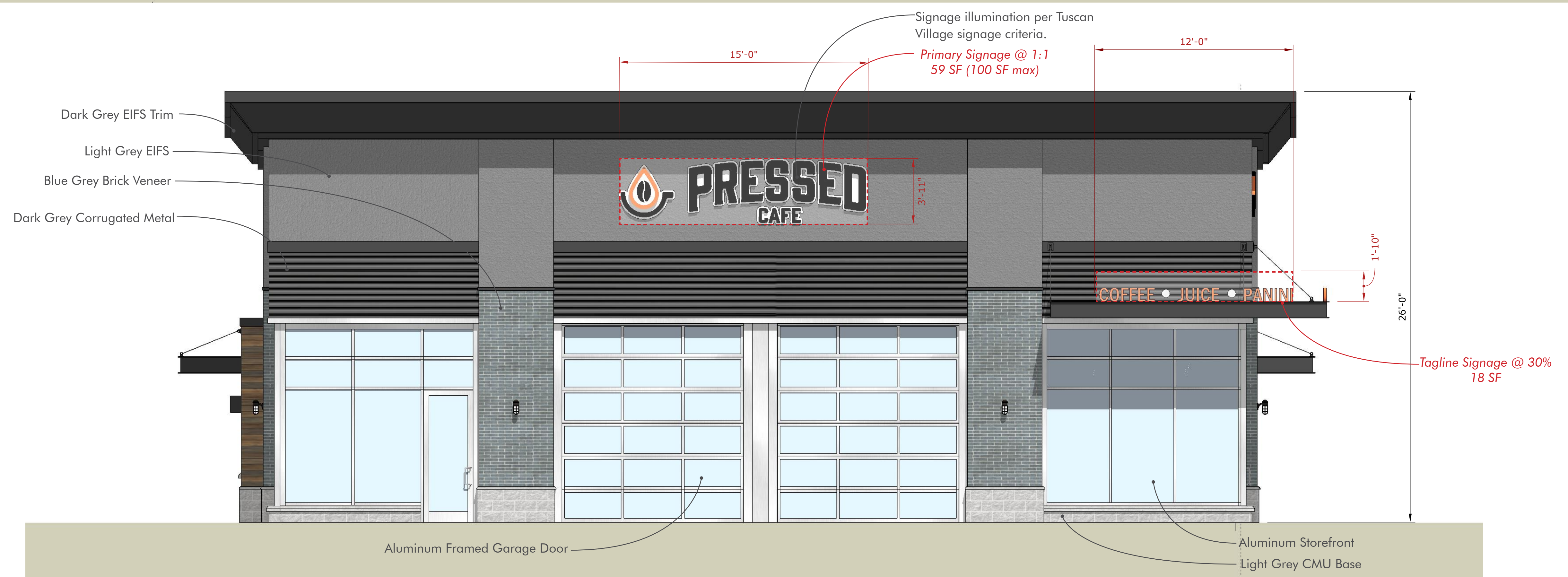
LOCATION MAP
(NOT TO SCALE)



Salem Ladder truck

Width	: 8.00
Track	: 7.83
Look to Lock Time	: 6.0
Steering Angle	: 32.6

2	MISC. REVISIONS	DRJ	6/12/19
1	MISC. REVISIONS	DRJ	6/3/19
NO.	DESCRIPTION	BY	DATE
REVISIONS			
TRUCK TURN PLAN			
PRESSED CAFE SALEM PROPERTY MAP 107 - LOT 12575 1 ARTISAN DRIVE PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET SALEM, NH 03079			
MHF Design Consultants, Inc. 44 Stiles Road, Suite One Salem, New Hampshire 03079 (603) 893-0720 ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com		DATE: APRIL 29, 2019	
SCALE: 1"=30'		OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079	
SALEMAN PLANNING BOARD APPROVAL		ZONE: COMMERCIAL - INDUSTRIAL 'C'	
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
DRJ	CPS/DRJ	4040CAFE-SP.DWG	404016
SHEET No.		1 OF 1	



GENERAL NOTES

All signage will have to meet Town Signage Criteria for the development. Sizes and locations are for illustrative purposes only.

All mechanical equipment will be screened from view.

All buildings are "in progress" and are subject to future design changes.

MATERIAL DEFINITIONS

FRC Fiber Reinforced Concrete	CMU Concrete Masonry Unit
CM Composite Metal	EIFS Exterior Insulation & Finish System

BUILDING 6200



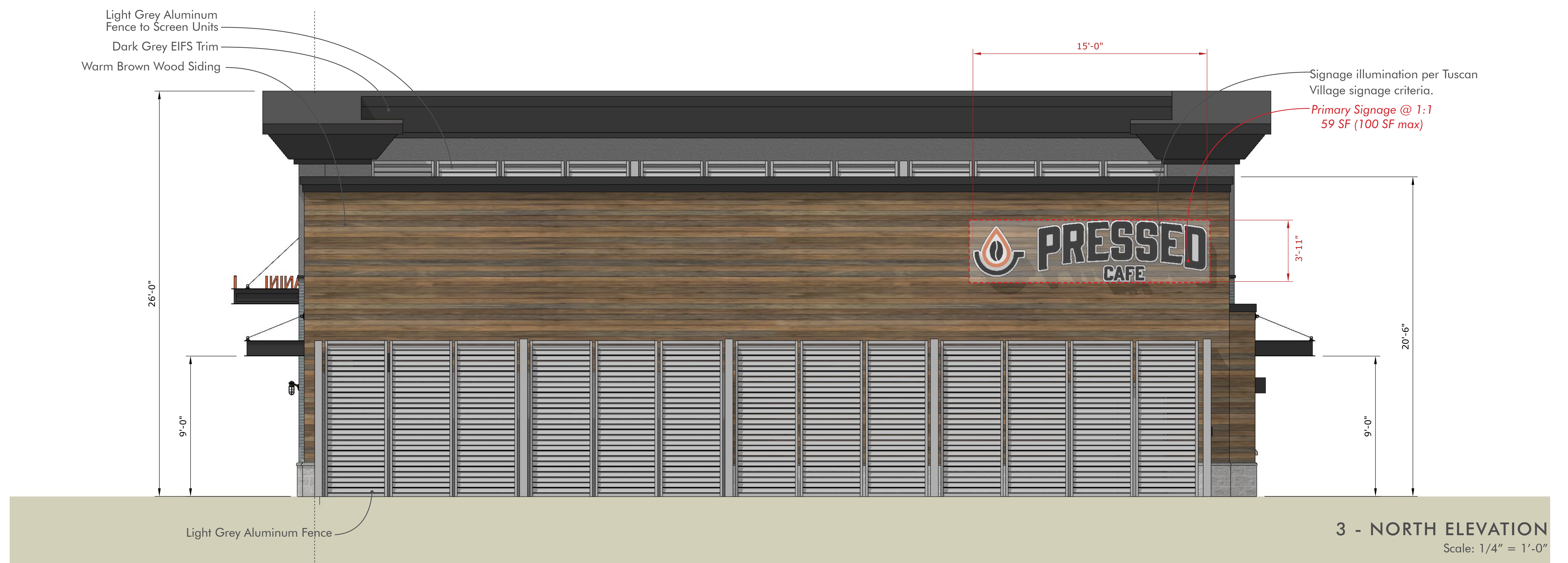
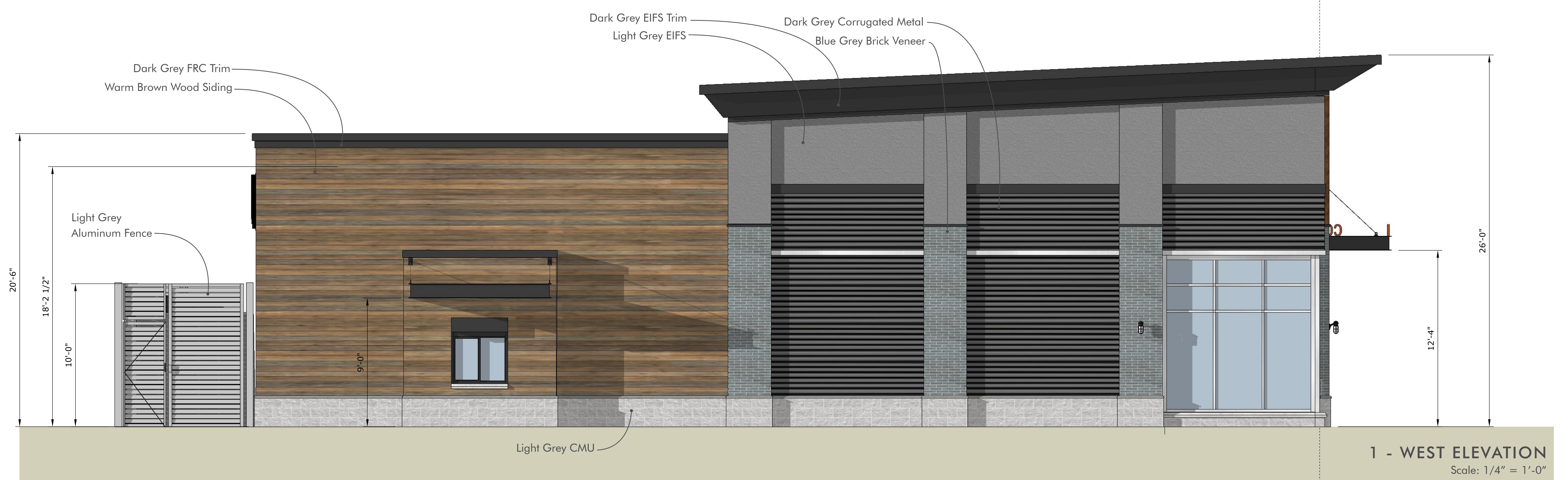
TUSCAN VILLAGE
SALEM, NEW HAMPSHIRE
06/03/2019



HALVORSON DESIGN
PARTNERSHIP

Tighe&Bond





GENERAL NOTES

All signage will have to meet Town Signage Criteria for the development. Sizes and locations are for illustrative purposes only.

All mechanical equipment will be screened from view.

All buildings are "in progress" and are subject to future design changes.

MATERIAL DEFINITIONS

FRC

Fiber Reinforced Concrete

CM

Composite Metal

CMU

Concrete Masonry Unit

EIFS

Exterior Insulation & Finish System

BUILDING 6200



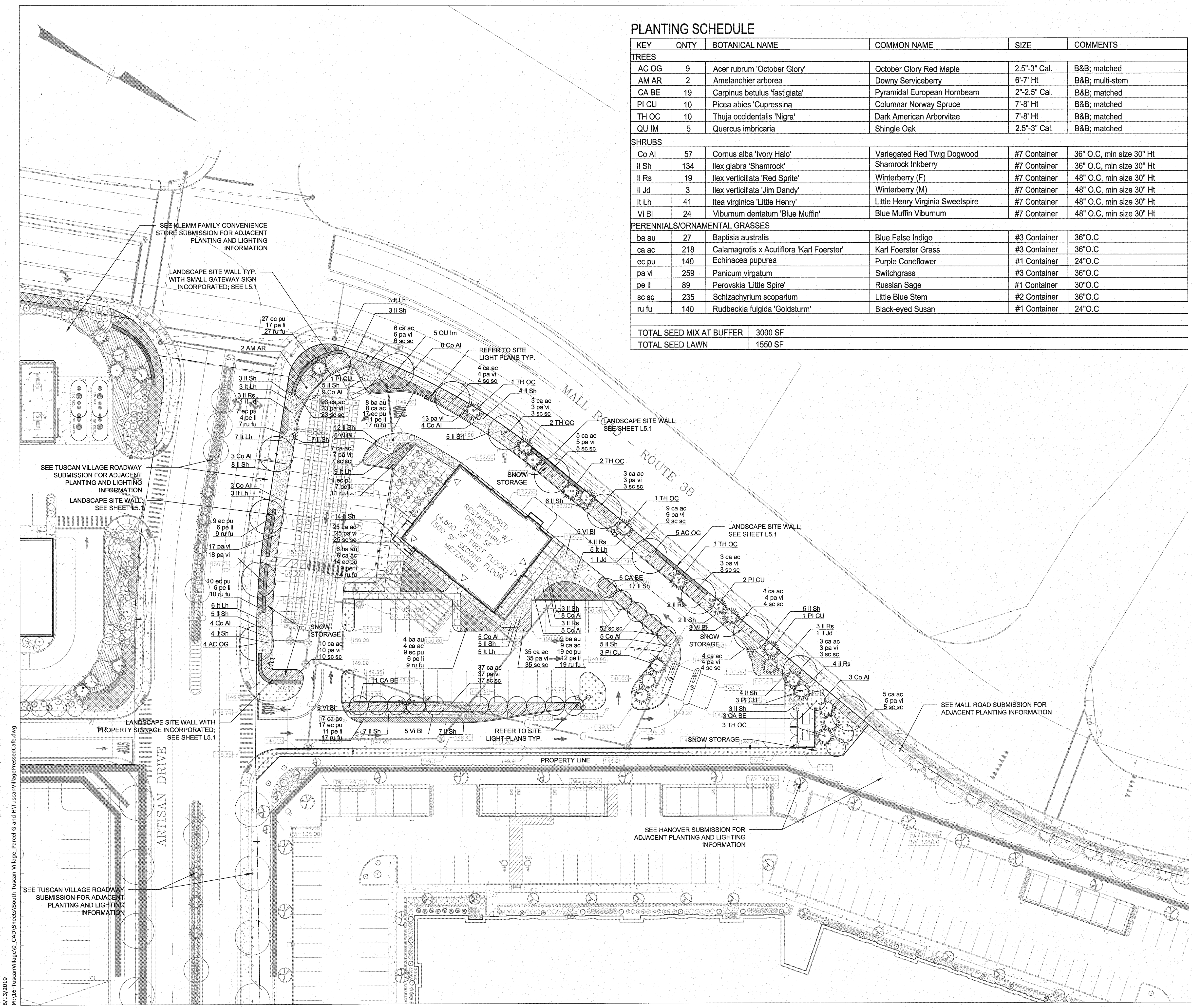
TUSCAN VILLAGE
SALEM, NEW HAMPSHIRE
06/03/2019



HALVORSON DESIGN
PARTNERSHIP

Tighe&Bond





PLANTING SCHEDULE

KEY	QNTY	BOTANICAL NAME	COMMON NAME	SIZE	COMMENTS
TREES					
AC OG	9	Acer rubrum 'October Glory'	October Glory Red Maple	2.5"-3" Cal.	B&B; matched
AM AR	2	Amelanchier arborea	Downy Serviceberry	6'-7' Ht	B&B; multi-stem
CA BE	19	Carpinus betulus 'fastigiata'	Pyramidal European Hornbeam	2"-2.5" Cal.	B&B; matched
PI CU	10	Picea abies 'Cupressina'	Columnar Norway Spruce	7'-8' Ht	B&B; matched
TH OC	10	Thuja occidentalis 'Nigra'	Dark American Arborvitae	7'-8' Ht	B&B; matched
QU IM	5	Quercus imbricaria	Shingle Oak	2.5"-3" Cal.	B&B; matched
SHRUBS					
Co Al	57	Cornus alba 'Ivory Halo'	Variegated Red Twig Dogwood	#7 Container	36" O.C, min size 30" Ht
Il Sh	134	Ilex glabra 'Shamrock'	Shamrock Inkberry	#7 Container	36" O.C, min size 30" Ht
Il Rs	19	Ilex verticillata 'Red Sprite'	Winterberry (F)	#7 Container	48" O.C, min size 30" Ht
Il Jd	3	Ilex verticillata 'Jim Dandy'	Winterberry (M)	#7 Container	48" O.C, min size 30" Ht
It Lh	41	Itea virginica 'Little Henry'	Little Henry Virginia Sweetspire	#7 Container	48" O.C, min size 30" Ht
Vi Bi	24	Viburnum dentatum 'Blue Muffin'	Blue Muffin Viburnum	#7 Container	48" O.C, min size 30" Ht
PERENNIALS/ORNAMENTAL GRASSES					
ba au	27	Baptisia australis	Blue False Indigo	#3 Container	36" O.C
ca ac	218	Calamagrotis x Acutiflora 'Karl Foerster'	Karl Foerster Grass	#3 Container	36" O.C
ec pu	140	Echinacea pupurea	Purple Coneflower	#1 Container	24" O.C
pa vi	259	Panicum virgatum	Switchgrass	#3 Container	36" O.C
pe li	89	Perovskia 'Little Spire'	Russian Sage	#1 Container	30" O.C
sc sc	235	Schizachyrium scoparium	Little Blue Stem	#2 Container	36" O.C
ru fu	140	Rudbeckia fulgida 'Goldsturm'	Black-eyed Susan	#1 Container	24" O.C
TOTAL SEED MIX AT BUFFER 3000 SF					
TOTAL SEED LAWN 1550 SF					

PLANTING NOTES

1. PLANT MATERIAL SHALL CONFORM TO "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN HORT (FORMERLY AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
2. NO SUBSTITUTIONS OF PLANT SPECIES WITHOUT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
3. SUBSTITUTIONS OF PLANT SPECIES SHALL BE A PLANT OF EQUIVALENT OVERALL FORM, HEIGHT AND BRANCHING HABIT, FLOWER, LEAF AND FRUIT, COLOR AND TIME OF BLOOM, AS APPROVED OF BY LANDSCAPE ARCHITECT.
4. LOCATE AND VERIFY UTILITY LINE LOCATIONS PRIOR TO STAKING AND REPORT CONFLICT TO LANDSCAPE ARCHITECT.
5. PLANTING DEMOLITION DEBRIS, GARBAGE, LUMPS OF CONCRETE, STEEL AND OTHER MATERIALS DELETERIOUS TO PLANT'S HEALTH AS DETERMINED BY LANDSCAPE ARCHITECT SHALL BE REMOVED FROM ALL PLANTING AREAS.
6. NO PLANTING TO BE INSTALLED BEFORE ACCEPTANCE OF ROUGH GRADING.
7. ALL PROPOSED TREE LOCATIONS SHALL BE STAKED OR LAID OUT IN THEIR APPROXIMATE LOCATION BY THE CONTRACTOR. REFER TO LAYOUT AND PLANTING SHEETS FOR LAYOUT INFORMATION. THE CONTRACTOR SHALL ADJUST THE LOCATIONS AS REQUESTED BY THE LANDSCAPE ARCHITECT TO ACCOUNT FOR SUBSURFACE UTILITIES AND OTHER FIELD CONDITIONS. FINAL LOCATIONS OF ALL PLANTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
8. INSTALL PLANTS WITH ROOT FLARES FLUSH WITH FINISHED GRADE. IMMEDIATELY REPLANT PLANTS THAT SETTLE OUT OF PLUMB OR BELOW FINISHED GRADE.
9. PLANT UNDER FULL TIME SUPERVISION OF CERTIFIED ARBORIST, NURSERYMAN, OR LICENSED LANDSCAPE ARCHITECT. PROVIDE WRITTEN VERIFICATION OF CERTIFICATION AND/OR LICENSE FOR LANDSCAPE ARCHITECT'S APPROVAL.
10. WATER PLANTS THOROUGHLY AFTER INSTALLATION, A MINIMUM OF TWICE WITHIN THE FIRST 24 HOURS. IRRIGATION WELL IS PROVIDED REFER TO CIVIL DRAWINGS.
11. REPAIR DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF LIMIT OF WORK

PLANTING LEGEND

SEEDED LAWN

ORNAMENTAL GRASS ONLY

ORNAMENTAL GRASS, PERENNIALS, AND GROUNDCOVER

STONE MULCH

SEED MIX AT BUFFER

STONE AT GUARDRAIL

DECIDUOUS TREE

CONIFEROUS TREE

ORNAMENTAL TREE

EVERGREEN SHRUB

DECIDUOUS SHRUB



PROPERTY LINE

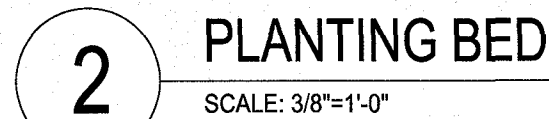
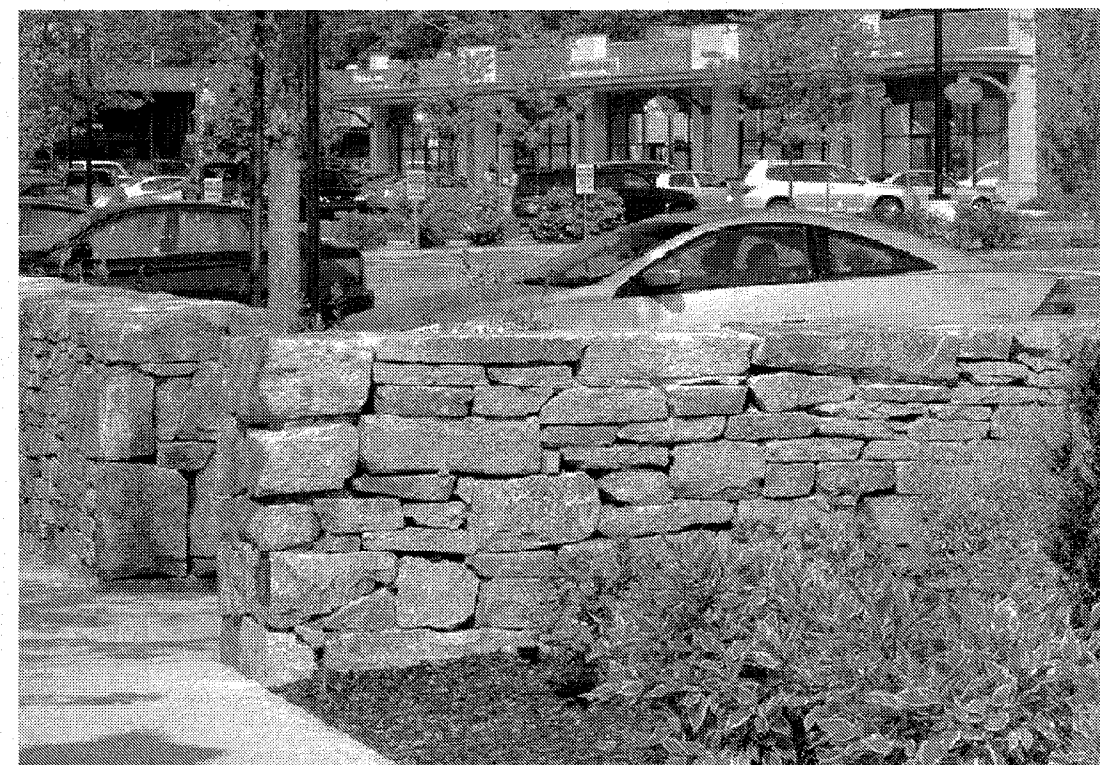
SCALE IN FEET

0 30' 60'

GRAPHIC SCALE

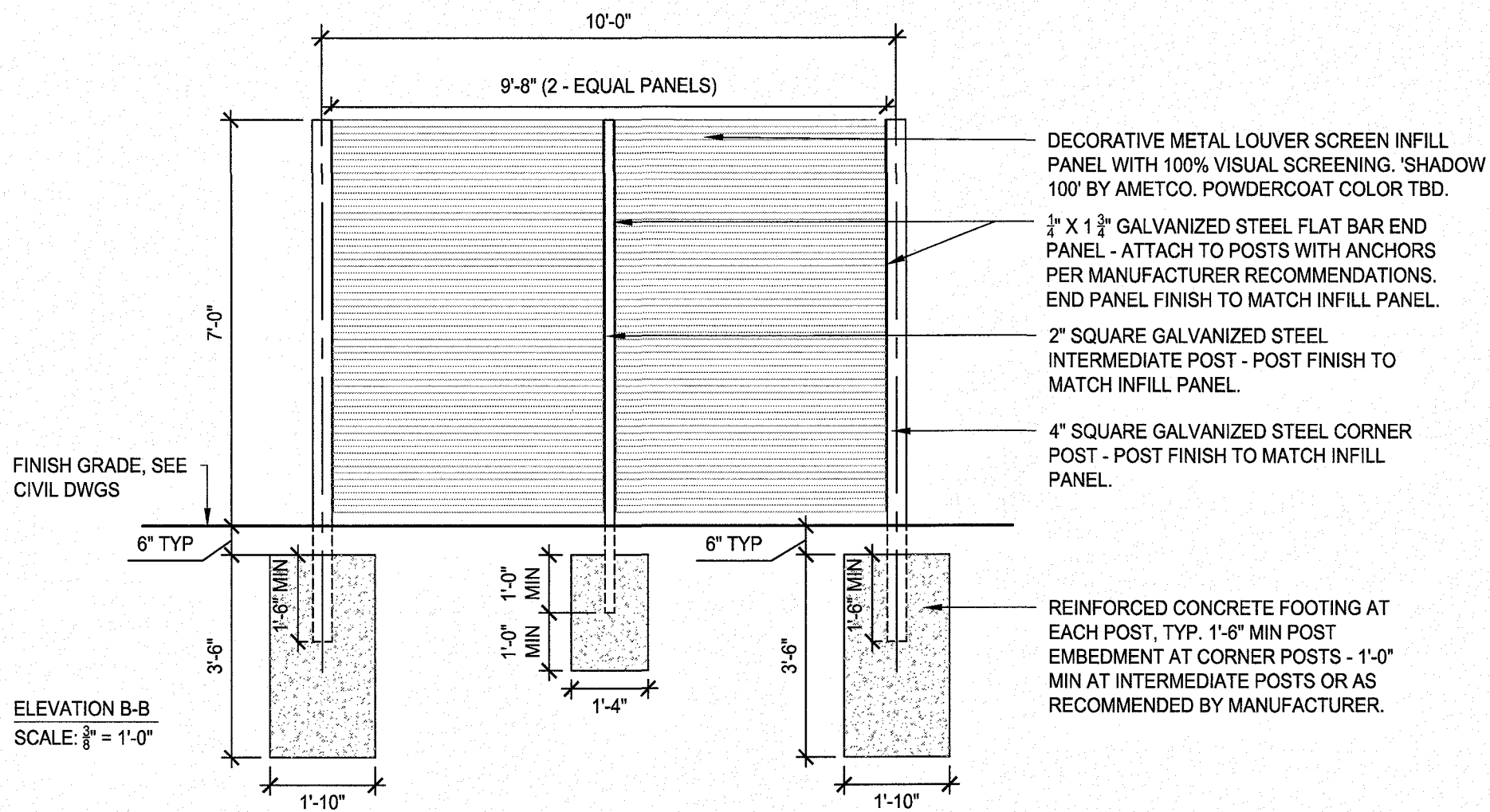
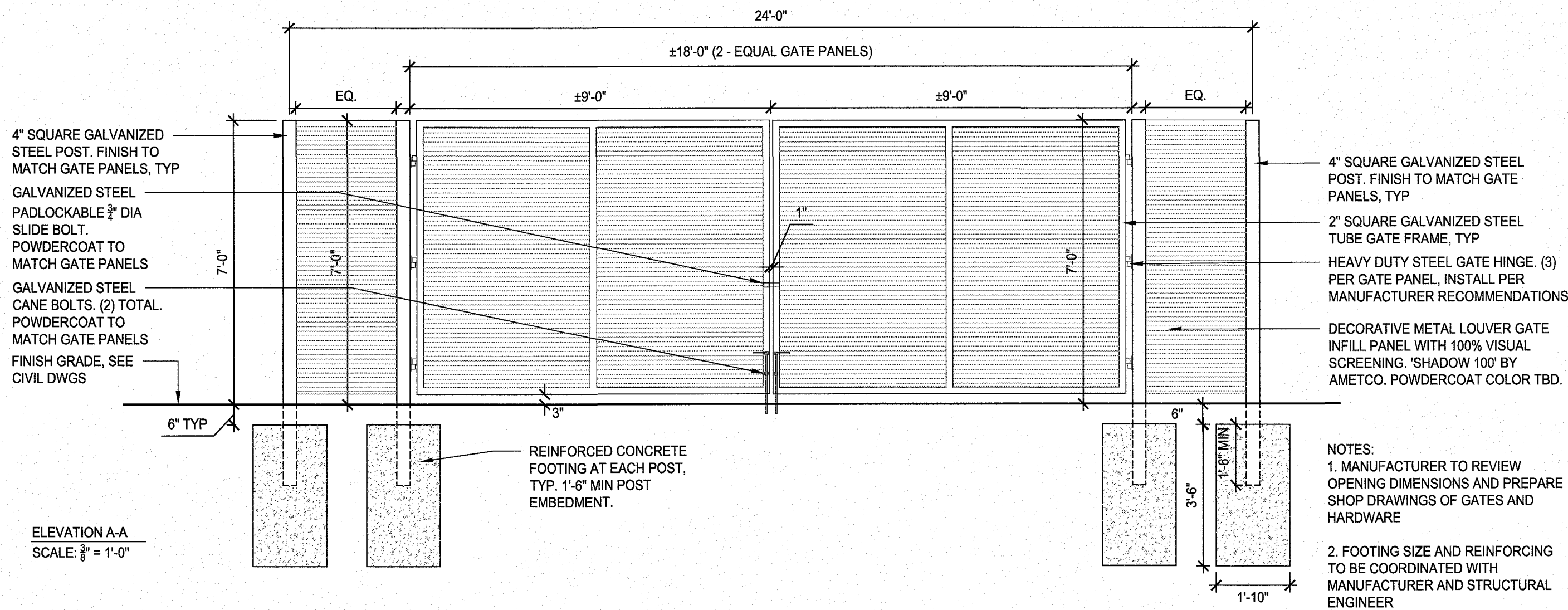
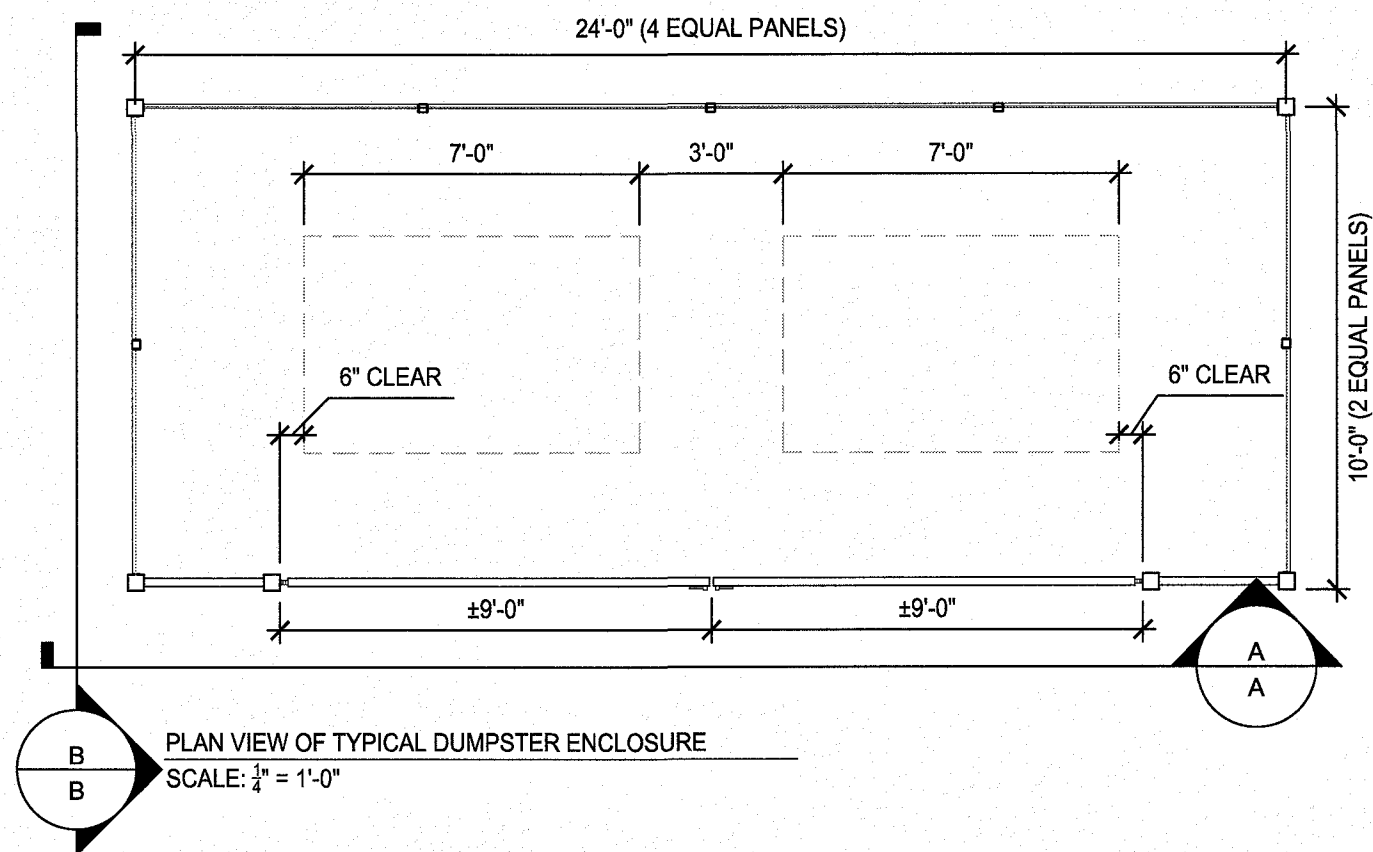
NOT FOR CONSTRUCTION

1	REVISIONS PER REVIEW COMMENTS	OS	6/12/19
NO.	DESCRIPTION	BY	DATE
REVISIONS			
LANDSCAPE PLAN L4.1			
<div><div><div><div><div></div><div><p>SALEM PROPERTY MAP 98 – LOT 7887 PROPERTY ADDRESS – 71 ROCKINGHAM PARK BOULEVARD PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET SALEM, NH 03079</p></div><div><div><p>MHF Design Consultants, Inc.</p></div><div><p>HALVORSON DESIGN PARTNERSHIP LANDSCAPE ARCHITECTURE</p></div><div><p>SCALE: 1"=30'</p><p>DATE: APRIL 29, 2019</p></div></div></div></div></div></div>			
<div><div><div><div><div><u>OWNER OF RECORD</u> ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079</div></div><div><div><div><u>SALEM PLANNING BOARD</u> <u>APPROVAL</u></div></div></div></div></div></div>			
		ZONE: COMMERCIAL – INDUSTRIAL 'C'	
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
BU	OS/BU	TV PRESSED CAFE	
			SHEET No.
			1 OF 3

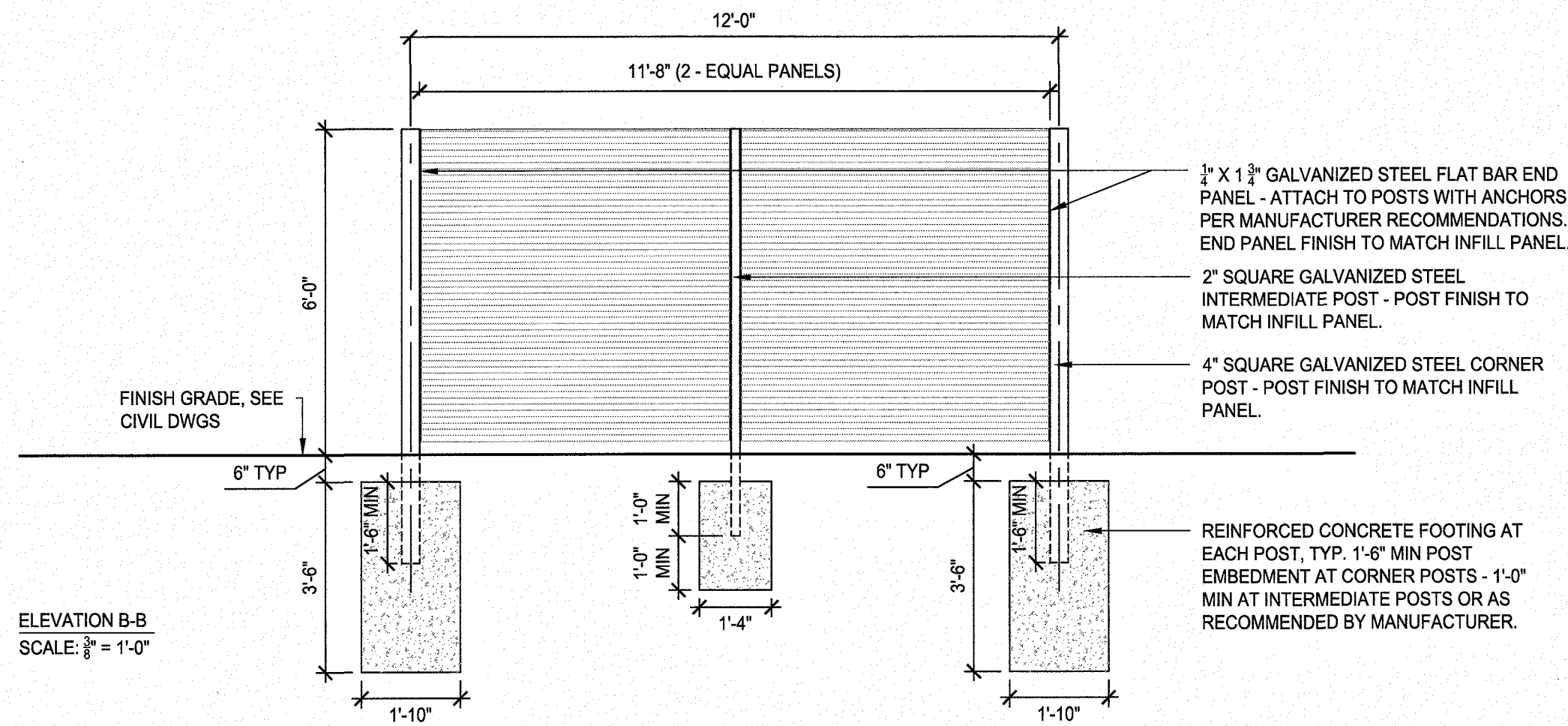
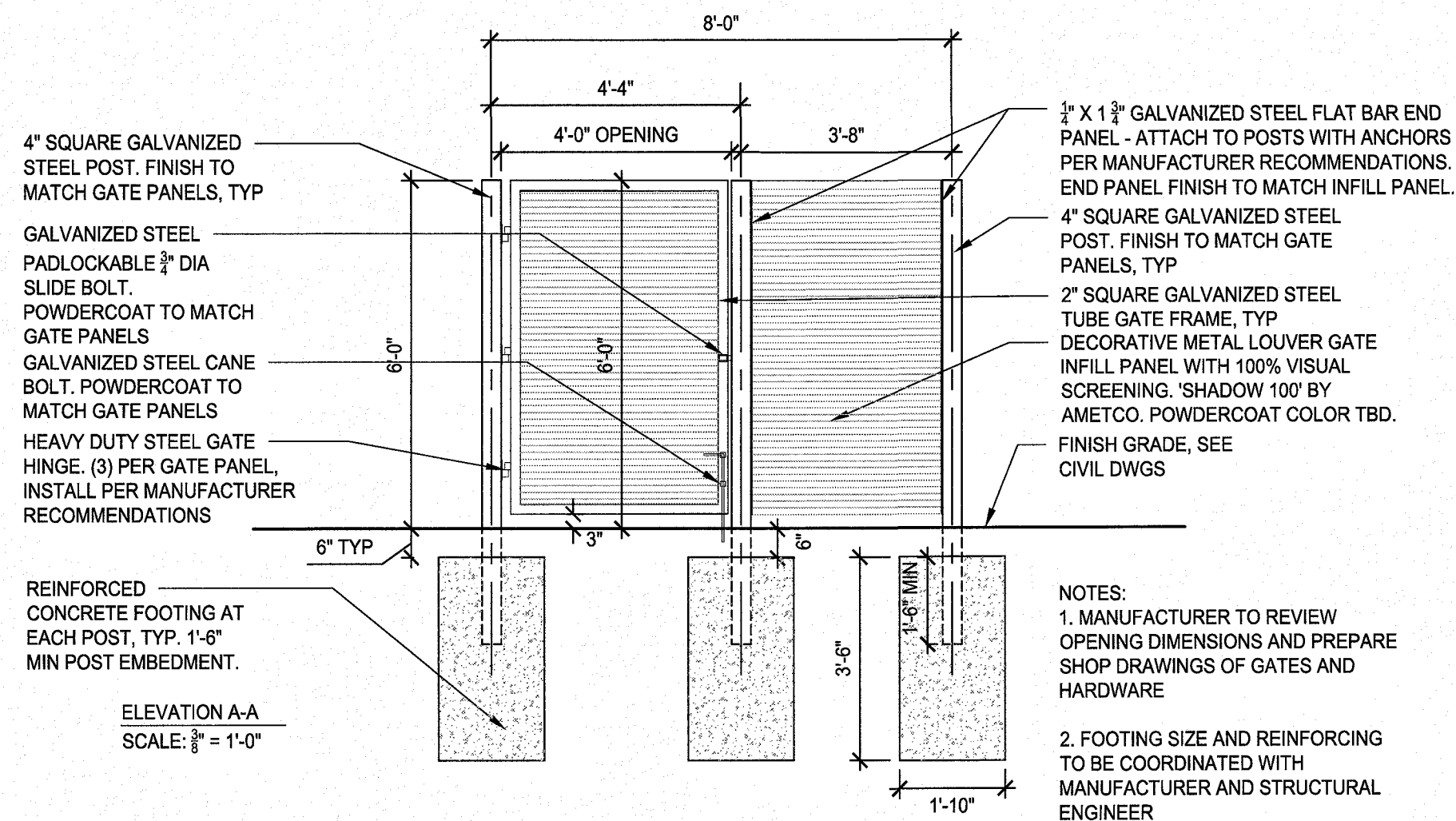


NOT FOR CONSTRUCTION

NO.		DESCRIPTION				BY		DATE	
REVISIONS									
<p align="center">LANDSCAPE DETAIL L5.1</p>									
<div align="center">  <p>SALEM PROPERTY MAP 98 - LOT 7887 PROPERTY ADDRESS - 71 ROCKINGHAM PARK BOULEVARD</p> <p>PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET SALEM, NH 03079</p> </div> <div align="center">  <p>HALVORSON DESIGN PARTNERSHIP LANDSCAPE ARCHITECTURE</p> </div> <p>SCALE: AS SHOWN DATE: APRIL 29, 2019</p>									
			<u>OWNER OF RECORD</u> ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079			<u>SALEM PLANNING BOARD</u> <u>APPROVAL</u>			
			ZONE: COMMERCIAL - INDUSTRIAL 'C'						
DESIGNED BY:		DRAWN/CHECKED		DWG. NAME		PROJECT No.		SHEET No.	
BU		OS/BU		TV		PRESSED CAFE DETAILS		2 OF 3	



1 TYPICAL DUMPSTER ENCLOSURE: METAL LOUVER SCREEN / GATE
SCALE: AS NOTED



2 TYPICAL VACUUM EQUIPMENT ENCLOSURE: METAL LOUVER SCREEN / GATE
SCALE: AS NOTED

NOT FOR CONSTRUCTION

NO.	DESCRIPTION	BY	DATE
REVISIONS			
LANDSCAPE DETAIL L5.2			
<div><div></div><div>SALEM PROPERTY MAP 98 - LOT 7887 PROPERTY ADDRESS - 71 ROCKINGHAM PARK BOULEVARD PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET SALEM, NH 03079</div></div>			
<div><div></div><div>HALVORSON DESIGN PARTNERSHIP LANDSCAPE ARCHITECTURE</div></div>		DATE: APRIL 29, 2019	
SCALE: AS SHOWN		OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079	
		SALEM PLANNING BOARD APPROVAL	
ZONE: COMMERCIAL - INDUSTRIAL 'C'			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
BU	OS/BU TV	PRESSED CAFE DETAILS	3 OF 3




LIGHTING NOTES

1. SUBMITTAL DRAWINGS ARE REQUIRED FOR ALL FIXTURES, PRIOR TO ORDERING. ANY FIXTURES ORDERED WITHOUT SUBMITTAL REVIEW BY LUMEN STUDIO, INC. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
2. ANY SUBSTITUTIONS NOT APPROVED BY LUMEN STUDIO, INC. PRIOR TO ORDERING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
3. CONTRACTOR SHALL VERIFY RUN LENGTHS AND MOUNTING DETAILS OF ALL FIXTURES WITH ARCHITECTURAL DRAWINGS.
4. CONTRACTOR SHALL VERIFY AND COORDINATE FIXTURE MOUNTING WITH DETAILS, HOUSING TYPE, AND FIELD CONDITIONS.
5. FOR LED, TRACK, AND REMOTE TRANSFORMER FIXTURES, ALL FIXTURES SHALL BE ORDERED WITH NECESSARY POWER SUPPLIES, DRIVERS, AND POWER FEEDS FOR INSTALLATION OF A COMPLETE SYSTEM.
6. PROVIDE ALL PARTS AND COMPONENTS NECESSARY FOR INSTALLATION FOR ALL FIXTURES.
7. ELECTRICAL CONTRACTOR SHALL VERIFY VOLTAGE WITH THE ELECTRICAL ENGINEER, AND COORDINATE, PRIOR TO ORDERING ANY LIGHTING EQUIPMENT.

LEGEND

- PT-12B DOUBLE PARKING LOT LUMINAIRE
- PT-12G TRIPLE PARKING LOT LUMINAIRE

NO.	DESCRIPTION	BY	DATE
REVISIONS			
SITE LIGHTING PLAN			
SALEM PROPERTY MAP 98 - LOT 7887			
PROPERTY ADDRESS - 71 ROCKINGHAM PARK BOULEVARD			
PREPARED FOR:			
OMJ REALTY, LLC			
63 MAIN STREET			
SALEM, NH 03079			
		HALVORSON DESIGN	
MHF Design Consultants, Inc.		PARTNERSHIP	
		LANDSCAPE ARCHITECTURE	
SCALE: 1"=30'		DATE: APRIL 29, 2019	
	OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079		SALEM PLANNING BOARD <u>APPROVAL</u>
	ZONE: COMMERCIAL - INDUSTRIAL 'C'		
DESIGNED BY:	DRAWN/CHECKED:	DWG. NAME	PROJECT No.
LJS	KVM/LJS	LS101	SHEET No.
			1 OF 4



LIGHTING NOTES

- 1. SUBMITTAL DRAWINGS ARE REQUIRED FOR ALL FIXTURES, PRIOR TO ORDERING. ANY FIXTURES ORDERED WITHOUT SUBMITTAL REVIEW BY LUMEN STUDIO, INC. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
- 2. ANY SUBSTITUTIONS NOT APPROVED BY LUMEN STUDIO, INC. PRIOR TO ORDERING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
- 3. CONTRACTOR SHALL VERIFY RUN LENGTHS AND MOUNTING DETAILS OF ALL FIXTURES WITH ARCHITECTURAL DRAWINGS.
- 4. CONTRACTOR SHALL VERIFY AND COORDINATE FIXTURE MOUNTING WITH DETAILS, HOUSING TYPE, AND FIELD CONDITIONS.
- 5. FOR LED, TRACK, AND REMOTE TRANSFORMER FIXTURES, ALL FIXTURES SHALL BE ORDERED WITH NECESSARY POWER SUPPLIES, DRIVERS, AND POWER FEEDS FOR INSTALLATION OF A COMPLETE SYSTEM.
- 6. PROVIDE ALL PARTS AND COMPONENTS NECESSARY FOR INSTALLATION FOR ALL FIXTURES.
- 7. ELECTRICAL CONTRACTOR SHALL VERIFY VOLTAGE WITH THE ELECTRICAL ENGINEER, AND COORDINATE, PRIOR TO ORDERING ANY LIGHTING EQUIPMENT.

LEGEND

- PT-12B DOUBLE PARKING LOT LUMINAIRE
- PT-12G TRIPLE PARKING LOT LUMINAIRE

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Drive Thru Road Top	Illuminance	Fc	3.42	5.8	0.5	6.84	11.60
Entrance Road Top	Illuminance	Fc	3.73	6.8	0.7	5.33	9.71
Entrance Road Top 1	Illuminance	Fc	3.73	6.8	0.7	5.33	9.71
Parking Lot Top	Illuminance	Fc	3.40	7.3	0.4	8.50	18.25
Sidewalk Pressed Cafe Top	Illuminance	Fc	1.71	5.2	0.3	5.70	17.33

NO.

DESCRIPTION
REVISIONS

BY

DATE

SITE LIGHTING PHOTOMETRICS

SALEM PROPERTY MAP 98 – LOT 7887
PROPERTY ADDRESS – 71 ROCKINGHAM PARK BOULEVARD
PREPARED FOR:
OMJ REALTY, LLC
63 MAIN STREET
SALEM, NH 03079

HALVORSON DESIGN
PARTNERSHIP
LANDSCAPE ARCHITECTURE

SCALE: 1"=30'
DATE: APRIL 29, 2019

OWNER OF RECORD
ROCK ACQUISITION, LLC
63 MAIN STREET
SALEM, NH 03079

SALEM PLANNING BOARD
APPROVAL

ZONE: COMMERCIAL – INDUSTRIAL 'C'



DESIGNED BY:
LJS

DRAWN/CHECKED
KVM/LJS

DWG. NAME
LS102

PROJECT No.

SHEET No.
2 OF 4

Code/Tag	Image	Product / Manufacturer	Attributes	Notes
PT-12B		Leotek "Arieta 18" Description: 28" Double Headed (90 Degree Apart) Parking Lot Luminaire	Fixture Specification : #AR18/30M2-MV-WW-3-BK/DB(Verify)-S30-PCR7-CR Pole Adapter Specification : #RPA Fixture Qty (per Pole) : 2 Fixture Orientation : 90 Degrees Apart Pole Specification : RTA8MD28A-F/Y (Verify)-B5XGV Lamping : LED (Included) Wattage (W) : 404W Output (lm) : 40,800lm CCT (K) : 3,000K CRI : 70+ Control : 7 Wire / Control Ready Voltage (V) : 120/277 (Verify) Distribution : Type III Label/IP : IP66 Finish : Black/Dark Bronze (Verify) Material (Pole/Arm/Fixture) : Aluminum Height (ft) : 28' Location : Parking Areas /Secondary Roadways R&L Qty : 0 S&CV Qty : 22 MGH Qty : 10 PC Qty : 5	1. EC to verify voltage (prior to ordering).
PT-12G		Leotek "Arieta 18" Description: 28" Triple Headed (120 Degree Apart) Parking Lot Luminaire	Fixture Specification : #AR18/30M2-MV-WW-3-BK/DB(Verify)-S30-PCR7-CR Pole Adapter Specification : #RPA Fixture Qty (per Pole) : 3 Fixture Orientation : 90 Degrees Apart Pole Specification : RTA8XD28A-F/Y (Verify)-B6XGV Lamping : LED (Included) Wattage (W) : 606W Output (lm) : 61,200lm CCT (K) : 3,000K CRI : 70+ Control : 7 Wire / Control Ready Voltage (V) : 120/277 (Verify) Distribution : Type III Label/IP : IP66 Finish : Black/Dark Bronze (Verify) Material (Pole/Arm/Fixture) : Aluminum Height (ft) : 28' Location : Pressed Cafe Parking MGH Qty : 2 PC Qty : 2	1. EC to verify voltage (prior to ordering).

Lumen Studio, Inc.

175 Cabot Street, Suite 310, Lowell, Massachusetts, 01854

Lighting Schedule Notes:
1. Lighting submittals are required for all lighting fixtures, prior to ordering. Any lighting ordered without prior review and approval by Lumen Studio, Inc. is the sole responsibility of the contractor.
2. Any substitutions not approved by Lumen Studio, Inc., prior to ordering, are the sole responsibility of the contractor.
3. All additional costs associated with the integration, and use of substitute products are the sole responsibility of the contractor and lighting distributor. These include, but are not limited to:
a. Revision of details and construction drawings (by Architect and/or Lumen Studio, Inc.)
b. Labor costs associated with the modifications required, in the field, for previously coordinated lighting equipment.
c. Cost of running additional photometric and/or energy studies by Lumen Studio, Inc.
d. Delay of project, due to unexpected lead-time issues associated with substitute lighting equipment or because submitted lighting equipment, as determined by the Lumen Studio, Inc., is "Not Equal".
4. The management of lead-times, for all lighting equipment, is the sole responsibility of the contractor, and not acceptable as a reason for substitution requests.
5. Quantities, lengths, and installation details for all lighting products, are to be verified, by contractor, prior ordering.
6. Contractor responsible for coordinating all lighting installation details, with site conditions, and informing Lumen Studio, Inc., of any conflicts prior to proceeding with installation.
7. All fixtures shall be ordered with all necessary power supplies, drivers, power feeds, and components, as required, for installation.
8. For all continuous run fixtures, including track, manufacturer shall submit a layout drawing for run lengths specified, per Contract Documents, during shop drawing review for Lumen Studio, Inc. approval, prior to fabrication.
9. Contractor shall verify voltage and coordinate, prior to ordering any lighting equipment.


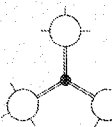
Lumen Studio, Inc.


175 Cabot Street, Suite 310, Lowell, Massachusetts, 01854

LIGHTING NOTES

- SUBMITTAL DRAWINGS ARE REQUIRED FOR ALL FIXTURES, PRIOR TO ORDERING. ANY FIXTURES ORDERED WITHOUT SUBMITTAL REVIEW BY LUMEN STUDIO, INC. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
- ANY SUBSTITUTIONS NOT APPROVED BY LUMEN STUDIO, INC. PRIOR TO ORDERING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
- CONTRACTOR SHALL VERIFY RUN LENGTHS AND MOUNTING DETAILS OF ALL FIXTURES WITH ARCHITECTURAL DRAWINGS.
- CONTRACTOR SHALL VERIFY AND COORDINATE FIXTURE MOUNTING WITH DETAILS, HOUSING TYPE, AND FIELD CONDITIONS.
- FOR LED, TRACK, AND REMOTE TRANSFORMER FIXTURES, ALL FIXTURES SHALL BE ORDERED WITH NECESSARY POWER SUPPLIES, DRIVERS, AND POWER FEEDS FOR INSTALLATION OF A COMPLETE SYSTEM.
- PROVIDE ALL PARTS AND COMPONENTS NECESSARY FOR INSTALLATION FOR ALL FIXTURES.
- ELECTRICAL CONTRACTOR SHALL VERIFY VOLTAGE WITH THE ELECTRICAL ENGINEER, AND COORDINATE, PRIOR TO ORDERING ANY LIGHTING EQUIPMENT.

LEGEND

- PT-12B DOUBLE PARKING LOT LUMINAIRE
- PT-12G TRIPLE PARKING LOT LUMINAIRE

NO.	DESCRIPTION	BY	DATE	
REVISIONS				
SITE LIGHTING FIXTURE SCHEDULE				
<div>SALEM PROPERTY MAP 98 – LOT 7887 PROPERTY ADDRESS – 71 ROCKINGHAM PARK BOULEVARD PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET SALEM, NH 03079</div> <div>HALVORSON DESIGN PARTNERSHIP LANDSCAPE ARCHITECTURE</div> <div>SCALE: 1"=30'<div>DATE: APRIL 29, 2019</div></div>				
	OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079		SALEM PLANNING BOARD APPROVAL	
	ZONE: COMMERCIAL – INDUSTRIAL 'C'			
DESIGNED BY:	DRAWN/CHECKED:	DWG. NAME	PROJECT No.	SHEET No.
LJS	KVM/LJS	LS103		3 OF 4

PT-12B

LUMINAIRE SPECIFICATIONS

MANUFACTURER: LECOTEK
STYLE: AR18
LIGHT SOURCE: LED
IES CLASSIFICATION: TYPE III
WATTAGE: 40W (NOMINAL)
AMPS: 0.4
VOLTAGE: 120-277V
CCT: 3000K
FINISH: BLACK
QTY: 28 90 DEG

CATALOG NO.: AR18/3000K-MV-WW-3-BK0DB-530-PC07-CR
POLE ADAPTER: RPA

POLE SPECIFICATIONS

MANUFACTURER: PRK TUBULAR PRODUCTS
STYLE: RTA
HEIGHT: 28'
BASE: ALUMINUM
SHAFT: ALUMINUM
FINISH: BLACK

ACCESS DOOR: 3" X 9"
ANCHOR BOLTS: 1 X 3/8 X 4
BOLT CIRCLE: 11 1/2"
BOLT PROJECTION: 2 3/4"

CATALOG NO.: RTA18MD28A-FY-BSXGV

PT-12G

LUMINAIRE SPECIFICATIONS

MANUFACTURER: LECOTEK
STYLE: AR18
LIGHT SOURCE: LED
IES CLASSIFICATION: TYPE III
WATTAGE: 80W (NOMINAL)
AMPS: 0.8
VOLTAGE: 120-277V
CCT: 3000K
FINISH: BLACK
QTY: 56 120 DEG

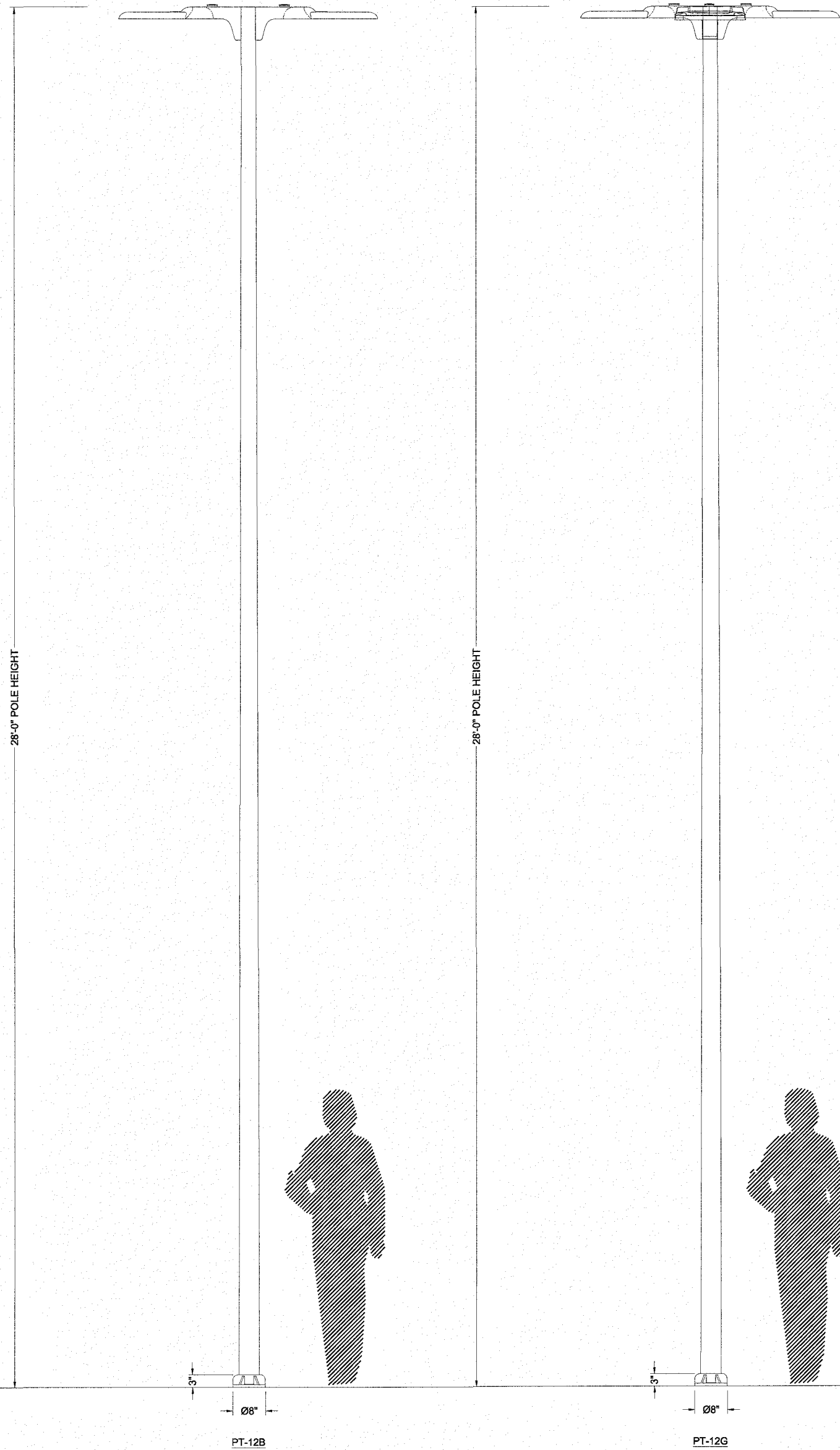
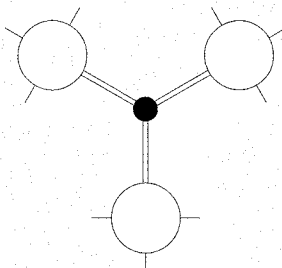
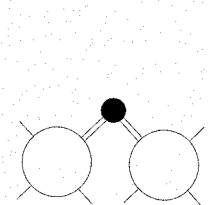
CATALOG NO.: AR18/3000K-MV-WW-3-BK0DB-530-PC07-CR
POLE ADAPTER: RPA

POLE SPECIFICATIONS

MANUFACTURER: PRK TUBULAR PRODUCTS
STYLE: RTA
HEIGHT: 28'
BASE: ALUMINUM
SHAFT: ALUMINUM
FINISH: BLACK

ACCESS DOOR: 3" X 9"
ANCHOR BOLTS: 1 X 3/8 X 4
BOLT CIRCLE: 11 1/2"
BOLT PROJECTION: 2 3/4"


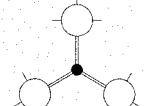
CATALOG NO.: RTA18MD28A-FY-BSXGV




LIGHTING NOTES

- SUBMITTAL DRAWINGS ARE REQUIRED FOR ALL FIXTURES, PRIOR TO ORDERING. ANY FIXTURES ORDERED WITHOUT SUBMITTAL REVIEW BY LUMEN STUDIO, INC. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
- ANY SUBSTITUTIONS NOT APPROVED BY LUMEN STUDIO, INC. PRIOR TO ORDERING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
- CONTRACTOR SHALL VERIFY RUN LENGTHS AND MOUNTING DETAILS OF ALL FIXTURES WITH ARCHITECTURAL DRAWINGS.
- CONTRACTOR SHALL VERIFY AND COORDINATE FIXTURE MOUNTING WITH DETAILS, HOUSING TYPE, AND FIELD CONDITIONS.
- FOR LED, TRACK, AND REMOTE TRANSFORMER FIXTURES, ALL FIXTURES SHALL BE ORDERED WITH NECESSARY POWER SUPPLIES, DRIVERS, AND POWER FEEDS FOR INSTALLATION OF A COMPLETE SYSTEM.
- PROVIDE ALL PARTS AND COMPONENTS NECESSARY FOR INSTALLATION FOR ALL FIXTURES.
- ELECTRICAL CONTRACTOR SHALL VERIFY VOLTAGE WITH THE ELECTRICAL ENGINEER, AND COORDINATE, PRIOR TO ORDERING ANY LIGHTING EQUIPMENT.

LEGEND

-  PT-12B DOUBLE PARKING LOT LUMINAIRE
-  PT-12G TRIPLE PARKING LOT LUMINAIRE

NO.	DESCRIPTION	BY	DATE
REVISIONS			
SITE LIGHTING FIXTURE LINEUP			
SALEM PROPERTY MAP 98 – LOT 7887 PROPERTY ADDRESS – 71 ROCKINGHAM PARK BOULEVARD PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET SALEM, NH 03079			
 HALVORSON DESIGN PARTNERSHIP LANDSCAPE ARCHITECTURE		DATE: APRIL 29, 2019	
SCALE: 1"=30'			
	<u>OWNER OF RECORD</u> ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079		<u>SALEM PLANNING BOARD</u> <u>APPROVAL</u>
	ZONE: COMMERCIAL – INDUSTRIAL 'C'		
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
LJS	KVM/LJS	LS104	
		SHEET No.	4 OF 4