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#### ABUTTERS

MAP/LOT #	NAME & ADDRESS
107/12574	ROCK ACQUISITION LLC
107/12576	C/O TUSCAN MARKET
107/12605	63 MAIN STREET SALEM, NH 03079

MAP/LOT #	NAME & ADDRESS
116/7884	ROCKSAL MALL LLC C/O SIMON PROPERTY GROUP P.O. BOX 6120 INDIANAPOLIS, IN 46207
107/11153	SERITACE SRC FINANCE LLC C/O SERITACE GROWTH PROPERTIES 500 FIFTH AVENUE, SUITE 1530 NEW YORK, NY 10110

#### PERMITS & APPROVALS

TYPE	PERMIT NUMBER	APPROVED
NHDES ALTERATION OF TERRAIN	AOT-1681	10/1/2019
NHDES SEWER CONNECTION	D2019-0801	8/23/2019

#### SALEM PLANNING BOARD

- 1) ON JUNE 18, 2019 THE SALEM PLANNING BOARD VOTED TO APPROVE THE FOLLOWING CONDITIONAL USE PERMITS:  
490-710E NUMBER OF PARKING SPACES: 63 PROPOSED WHERE 89 REQUIRED.  
490-501C LOT COVERAGE: 76% PROPOSED WHERE A MAXIMUM OF 70% IS PERMITTED.
- 2) ON JUNE 18, 2019 THE SALEM PLANNING BOARD VOTED TO APPROVE THIS PLAN SUBJECT TO THE FOLLOWING CONDITIONS:  
PRIOR TO BUILDING PERMIT:
  1. SUBMIT APPROVAL FROM ENGINEERING DIVISION;
  2. NOTE CONDITIONAL USE PERMITS ON PLAN;
  3. PAY FOR OUTSIDE INSPECTIONS PER DIRECTION OF ENGINEERING DIVISION;
  4. SUBMIT STATE PERMITS (AOT, SEWER EXTENSION);
  5. SUBMIT APPROVAL FROM TOWN'S DESIGN CONSULTANT;PRIOR TO OCCUPANCY:
  6. PAY ROAD (\$34,950) AND PUBLIC SAFETY (\$2,800) IMPACT FEES;
  7. CONSTRUCT ALL SITE IMPROVEMENTS (BUILDING LOCATION, DIMENSIONS, AND SETBACKS, SITE GRADING, UTILITIES, ROAD WORK, DRAINAGE, LANDSCAPING, LIGHTING, PARKING SPACES, SIGNAGE, WETLAND/FLOODPLAIN MITIGATION AREAS) IN ACCORDANCE WITH APPROVED PLAN;
  8. PROVIDE CERTIFIED AS-BUILT SITE PLAN;
  9. SUBMIT DRIVEWAY PERMIT FROM NHODOT;OTHER:
  10. APPLICANT MUST OPERATE BUSINESS SO THAT PARKING LOT CAPACITY IS NOT EXCEEDED;
  11. MANAGE SNOW REMOVAL TO MINIMIZE LOSS OF PARKING SPACES;
  12. ALL REPRESENTATIONS MADE BY APPLICANT OR AGENTS AND ALL NOTES ON PLANS ARE INCORPORATED AS PART OF APPROVAL

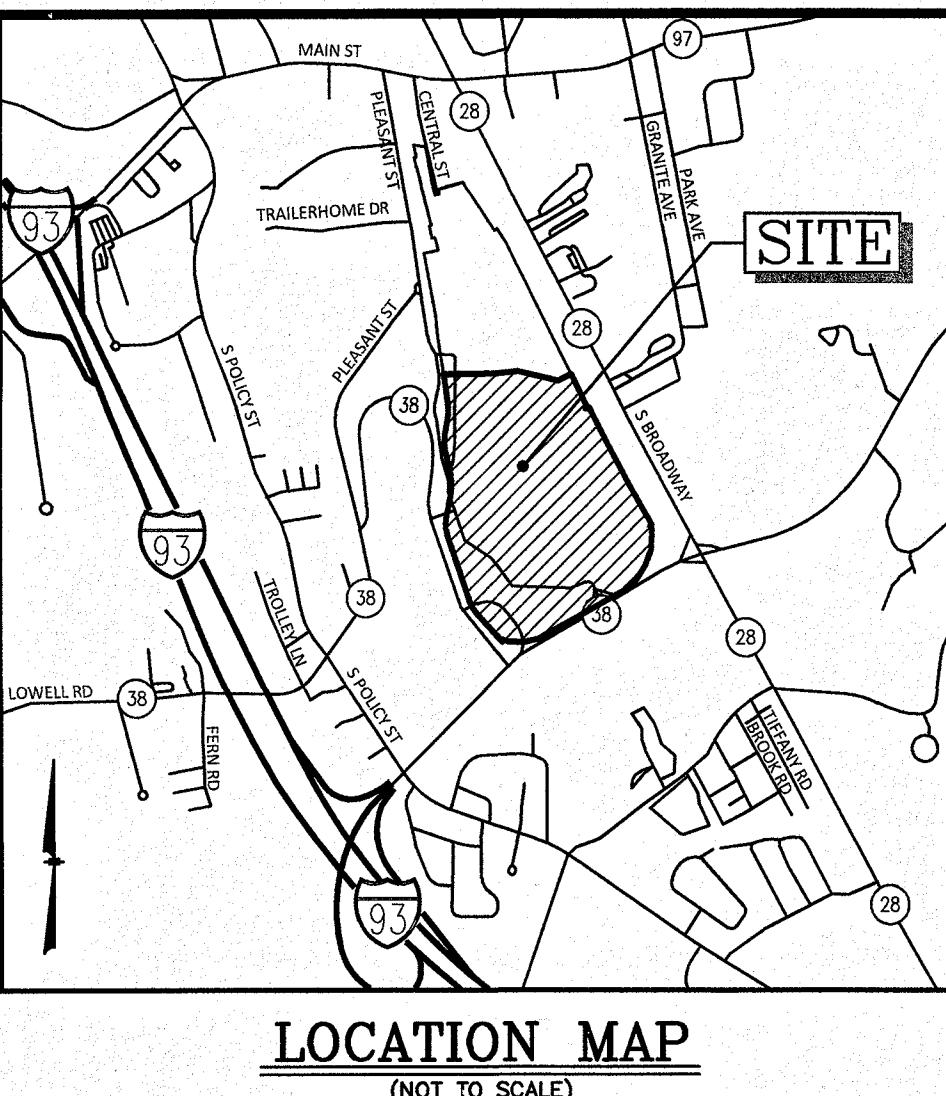
# SITE DEVELOPMENT PLANS

for



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CAFE™

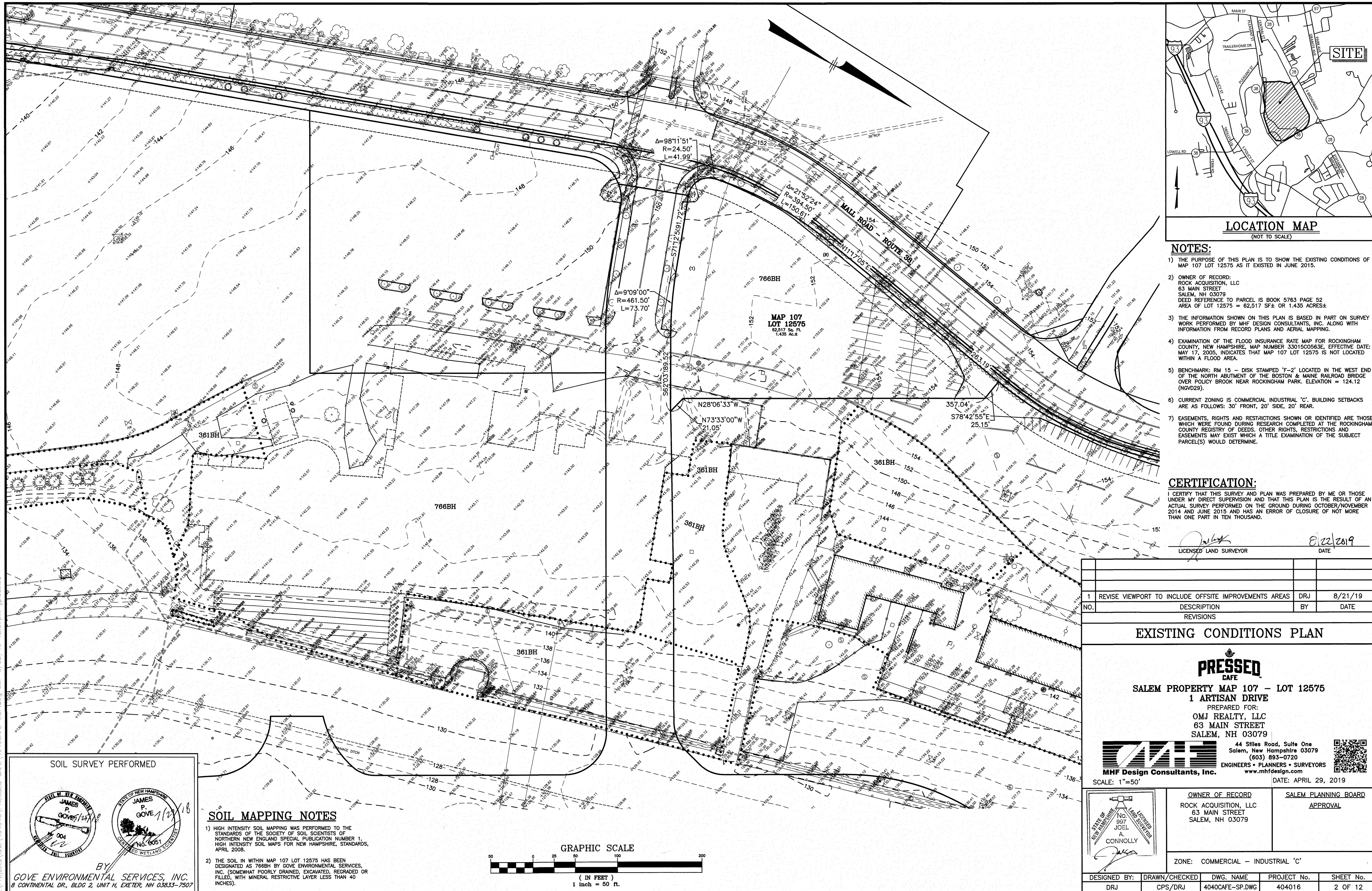
## SALEM PROPERTY MAP 107 LOT 12575 1 ARTISAN DRIVE SALEM, NEW HAMPSHIRE



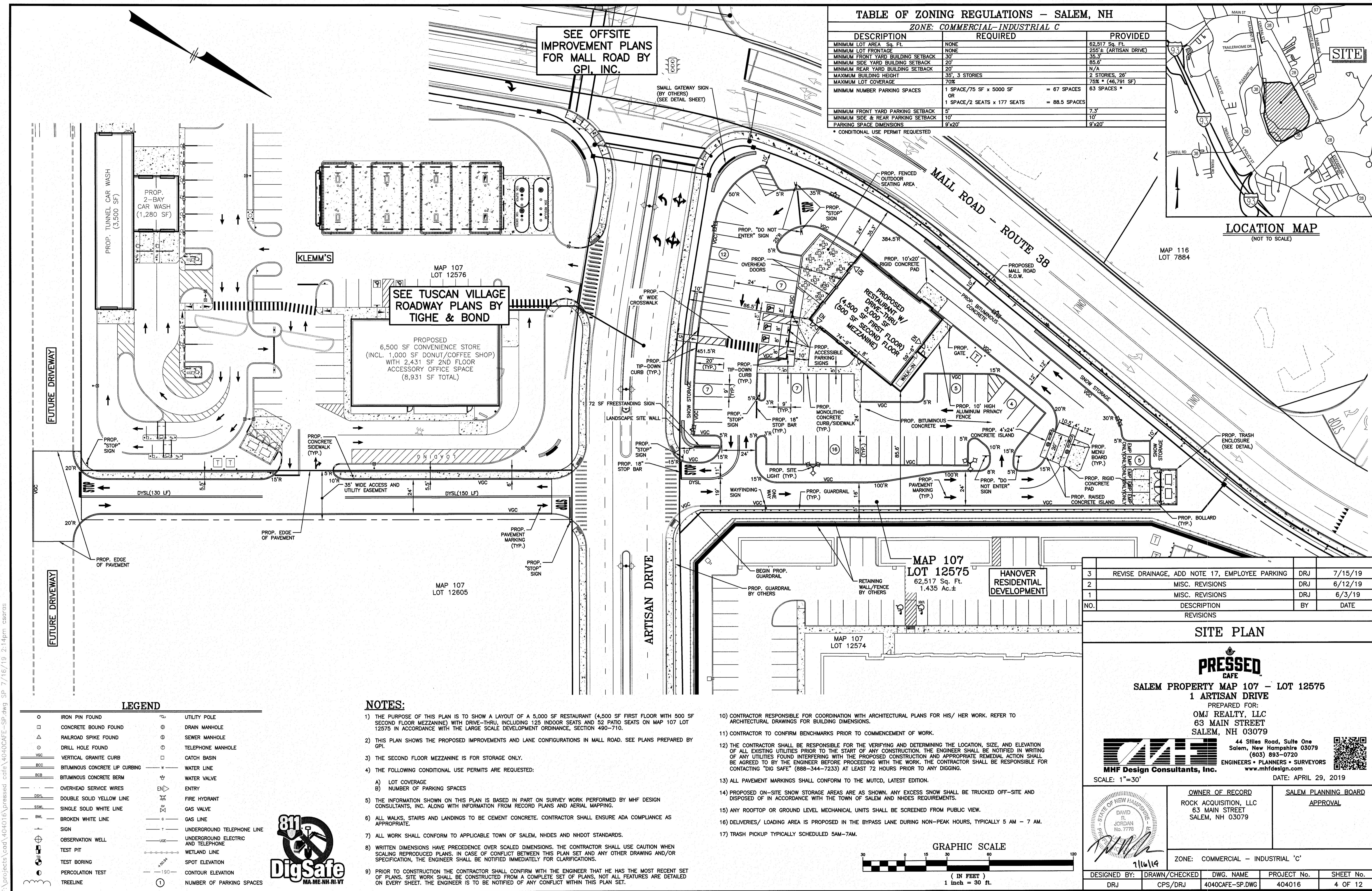
Prepared for:

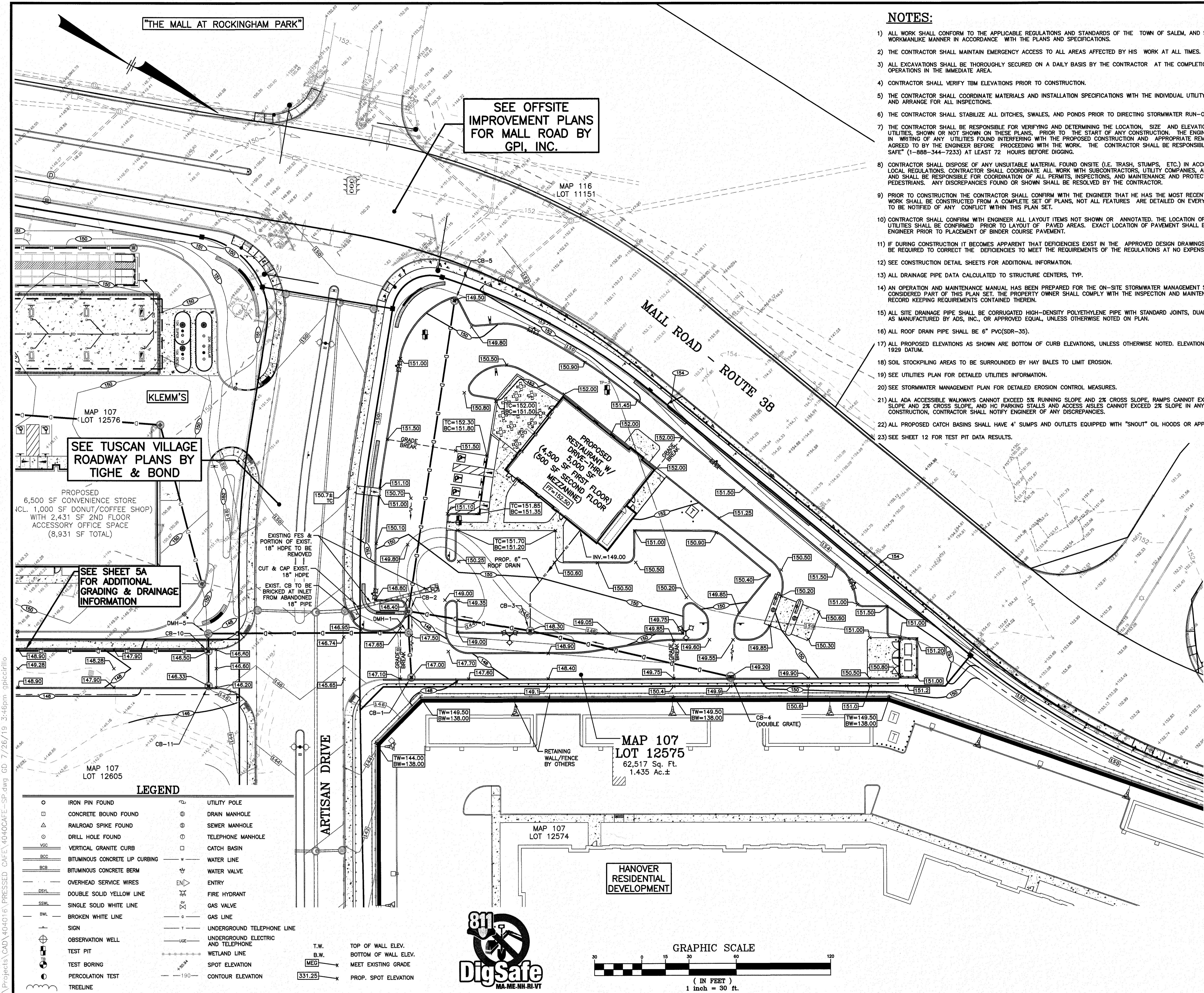
**OMJ REALTY, LLC**  
63 MAIN STREET  
SALEM, NEW HAMPSHIRE 03079

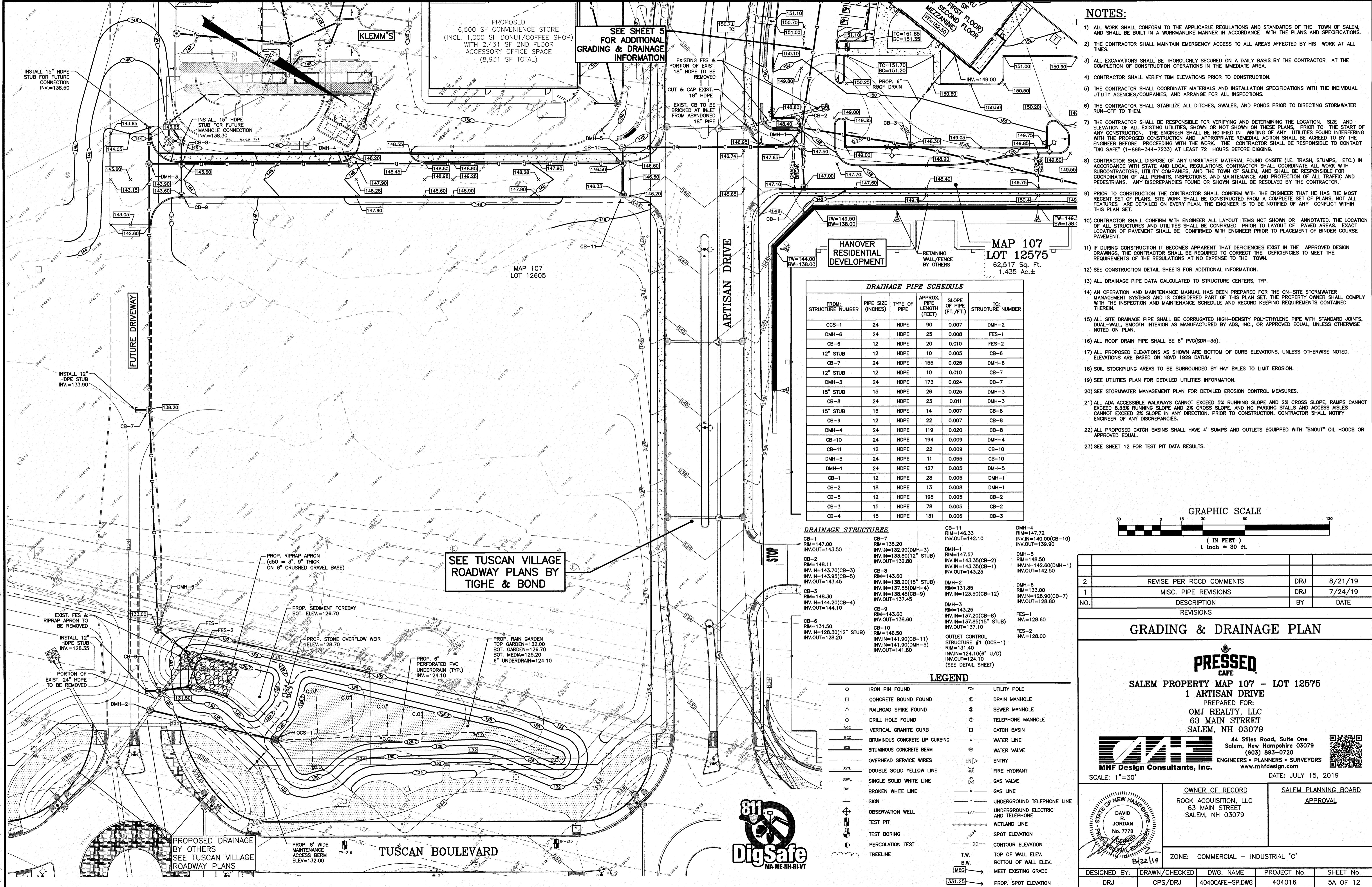
44 Stiles Road, Suite One Salem, New Hampshire 03079 (603) 893-0720 ENGINEERS • PLANNERS • SURVEYORS www.mhfdesign.com	OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079	SALEM PLANNING BOARD APPROVAL <i>David R. Jordan Approved 07/15/19 Signed 10/15/19</i>
	SCALE: NONE	DATE: APRIL 29, 2019
10/14/19 DESIGNED BY: DRJ DRAWN/CHECKED: CPS/DRJ DWG. NAME: 4040CAFE-CVR.DWG PROJECT No.: 404016 SHEET No.: 1 OF 12	ZONE: COMMERCIAL - INDUSTRIAL 'C'	











SEWER PIPE SCHEDULE					
FROM: STRUCTURE NUMBER	PIPE SIZE (INCHES)	TYPE OF PIPE	APPROX. PIPE LENGTH (FEET)	SLOPE OF PIPE (FT./FT.)	TO: STRUCTURE NUMBER
BLDG.	6	PVC	22	0.061	GR. TRAP
GR. TRAP	6	PVC	48	0.098	SMH-2
BLDG.	8	PVC	8	0.063	SMH-1
SMH-1	8	PVC	30	0.010	SMH-2
SMH-2	8	PVC	76	0.033	SMH-3
SMH-3	8	PVC	92	0.008	EXIST. STUB
EXIST. STUB	8	PVC	25	0.005	SMH-4
SMH-4	8	PVC	100	0.005	SMH-5

## SEWER STRUCTURES

SH-1 (DROP MANHOLE)  
RIM=151.62  
INV.N=148.00(BLDG.)  
INV.OUT=143.00

SH-4  
RIM=148.99  
INV.N=138.20(8" PVC STUB)  
INV.OUT=138.10

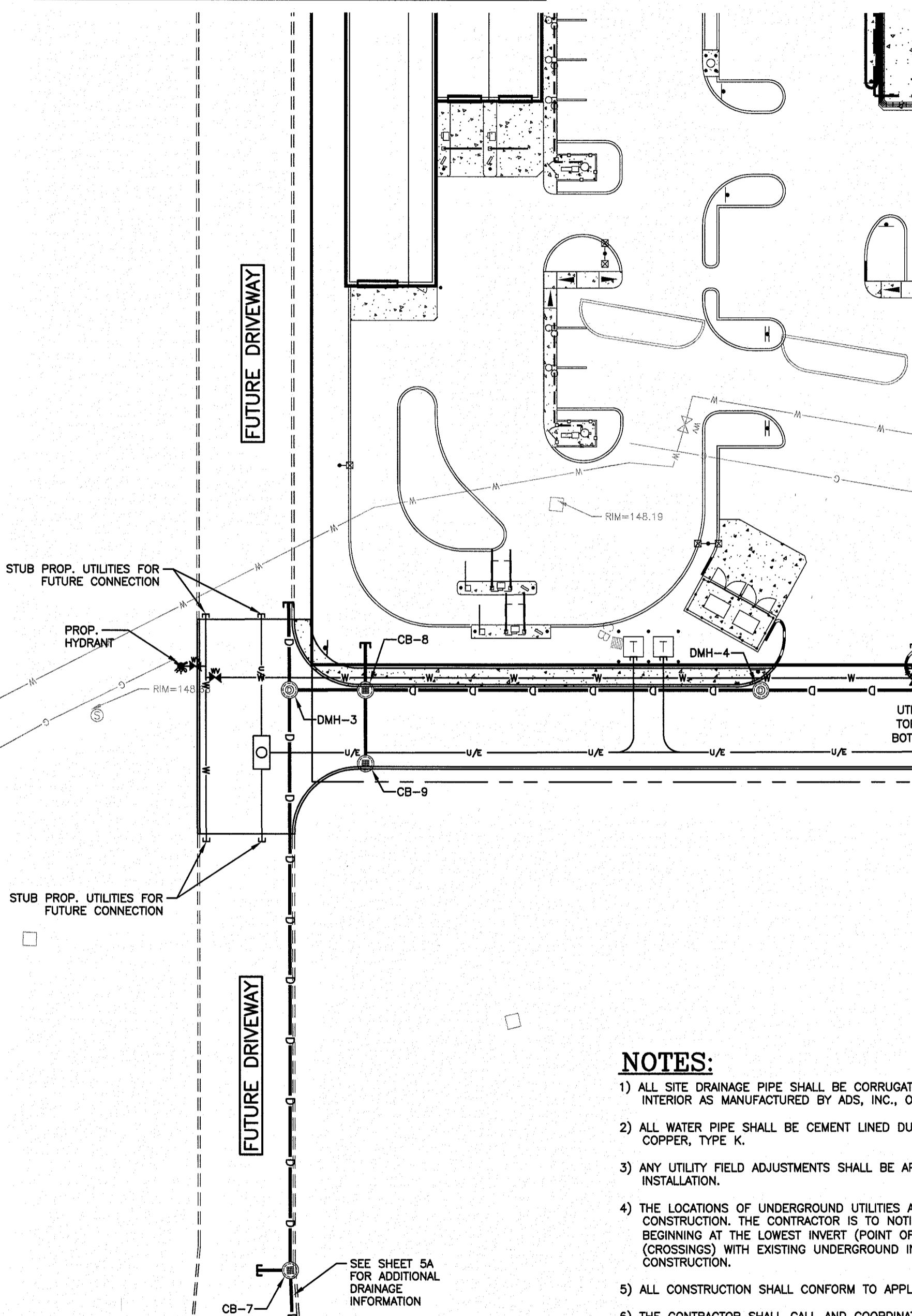
SH-2  
RIM=150.18  
INV.N=142.70(GR. TRAP)  
INV.OUT=142.60

SH-5  
RIM=146.70  
INV.N=137.60(SMH-4)  
INV.OUT=137.50

SH-3  
RIM=148.55  
INV.N=147.65(BLDG.)  
INV.OUT=147.40

2,000 GAL. GREASE TRAP  
RIM=151.68  
INV.N=147.65(BLDG.)  
INV.OUT=147.40

SEE OFFSITE  
IMPROVEMENT PLANS  
FOR MALL ROAD BY  
GPL, INC.



## LEGEND

○	IRON PIN FOUND	○	UTILITY POLE
□	CONCRETE BOUND FOUND	○	DRAIN MANHOLE
△	RAILROAD SPIKE FOUND	○	SEWER MANHOLE
○	DRILL HOLE FOUND	○	TELEPHONE MANHOLE
—	VERTICAL GRANITE CURB	□	CATCH BASIN
—	BITUMINOUS CONCRETE LIP CURBING	—	WATER LINE
—	BITUMINOUS CONCRETE BERM	—	WATER VALVE
—	OVERHEAD SERVICE WIRES	END	ENTRY
—	DOUBLE SOLID YELLOW LINE	—	FIRE HYDRANT
—	SINGLE SOLID WHITE LINE	—	GAS VALVE
—	BROKEN WHITE LINE	—	GAS LINE
—	SIGN	—	UNDERGROUND TELEPHONE LINE
—	OBSERVATION WELL	—	UNDERGROUND ELECTRIC AND TELEPHONE
—	TEST PIT	—	WETLAND LINE
—	TEST BORING	—	SPOT ELEVATION
—	PERCOLATION TEST	—	CONTOUR ELEVATION
—	TREELINE	—	

## NOTES:

- 1) ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.
- 2) ALL WATER PIPE SHALL BE CEMENT LINED DUCTILE IRON, UNLESS OTHERWISE NOTED. BUILDING WATER DOMESTIC SERVICE SHALL BE COPPER, TYPE K.
- 3) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DESIGN ENGINEER PRIOR TO INSTALLATION.
- 4) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 5) ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE TOWN, STATE AND FEDERAL STANDARDS.
- 6) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
- 7) ALL WATER CONSTRUCTION SHALL CONFORM TO APPLICABLE MUNICIPAL SERVICES DEPARTMENT AND NHDES SPECIFICATIONS.
- 8) ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS.
- 9) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL MSD.
- 10) THE LOCATION AND ELEVATION OF ALL PROPOSED BUILDING UTILITY CONNECTIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS.
- 11) ALL EXISTING ON-SITE UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE REMOVED.
- 12) THRUST BLOCKS SHALL BE REQUIRED AT ALL BENDS & FITTINGS FOR PROPOSED CLDI WATER AND SHALL CONFORM TO SALEM WATER DEPARTMENT SPECIFICATIONS.
- 13) ANCHOR TEES ARE REQUIRED FOR 6" HYDRANT.
- 14) ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED.
- 15) SEE GRADING & DRAINAGE PLAN FOR DETAILED DRAINAGE INFORMATION.
- 16) IRRIGATION FOR THE SITE LANDSCAPING SHALL BE PROVIDED BY THE TUSCAN VILLAGE WELL WATER IRRIGATION SYSTEM.

## ESTIMATE OF PROPOSED WATER USAGE:

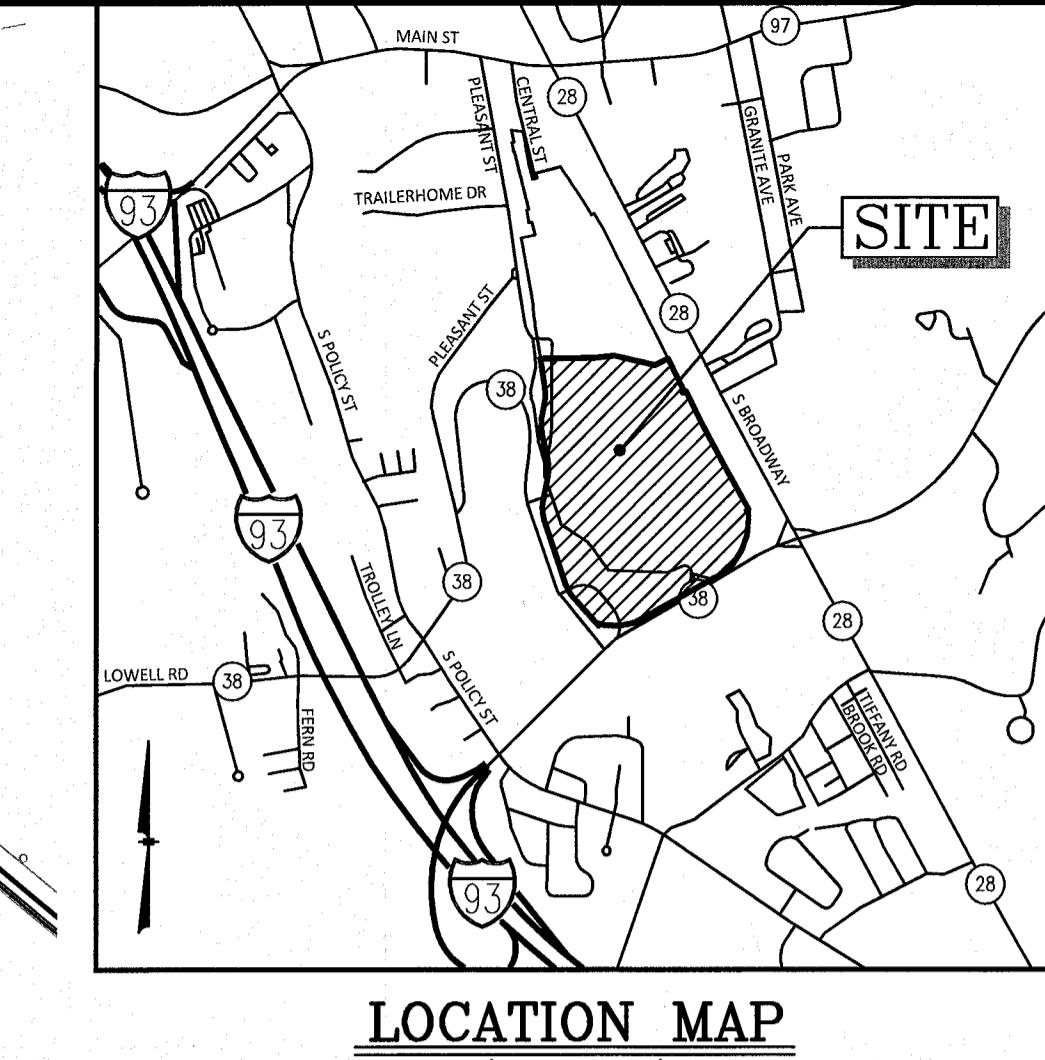
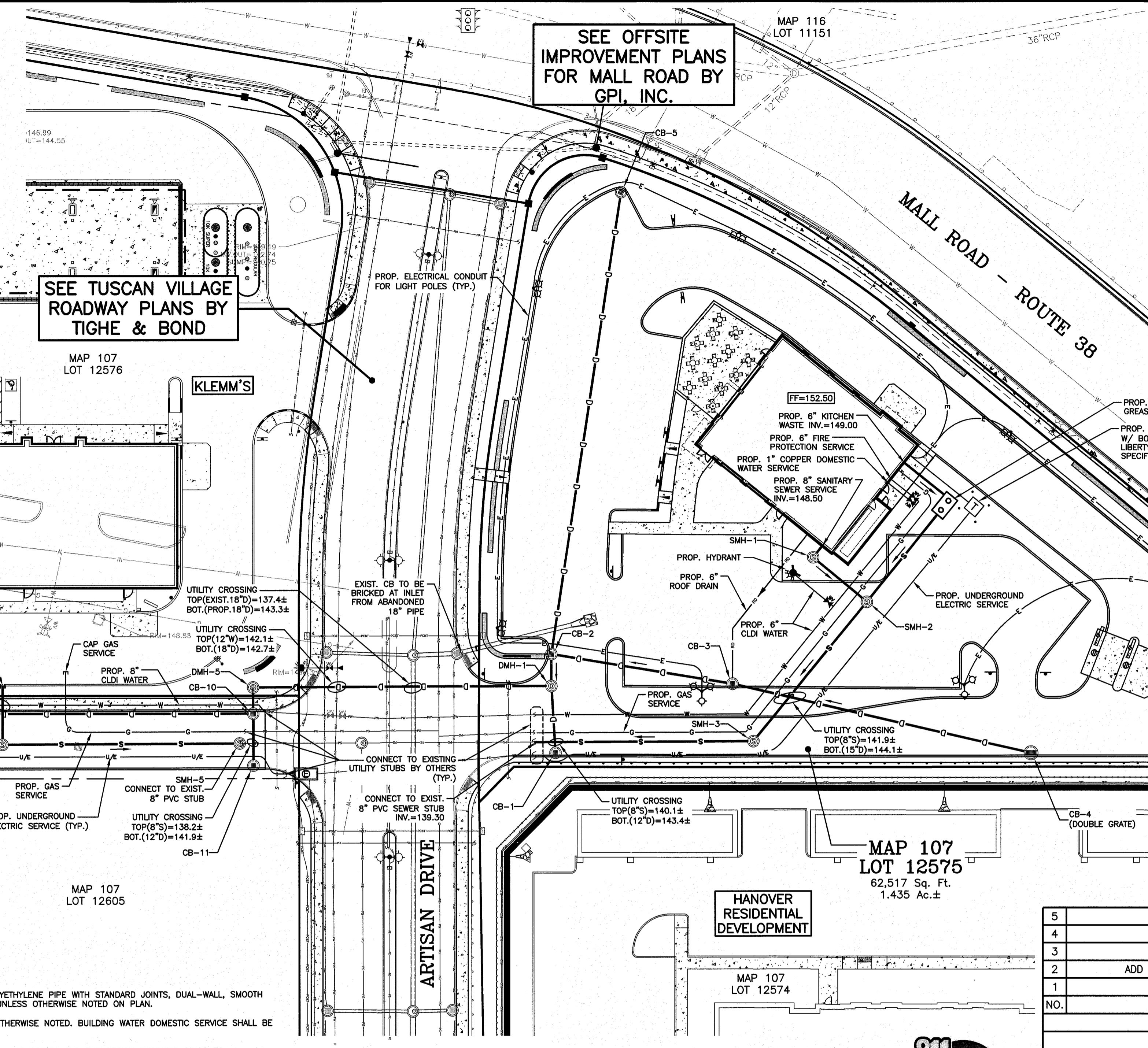
(PER ENV-WG 100B.03(e))

177 SEATS (20 GPD/SEAT)  
10 RESTAURANT EMPLOYEES (20 GPD/EMPLOYEE)

= 3,540 GPD  
= 200 GPD  
= 3,740 GPD

## GRAPHIC SCALE

30 0 15 30 60 120  
( IN FEET )  
1 inch = 30 ft.

LOCATION MAP  
(NOT TO SCALE)

5	REVISE SEWER INVERTS	DRJ	8/21/19
4	REVISE WATER USAGE ESTIMATE	DRJ	7/24/19
3	REVISE DRAINAGE	DRJ	7/15/19
2	ADD LIGHT POLE CONDUIT/MISC. REVISIONS	DRJ	6/12/19
1	MISC. REVISIONS	DRJ	6/3/19
NO.	DESCRIPTION	BY	DATE
	REVISIONS		

## UTILITIES PLAN



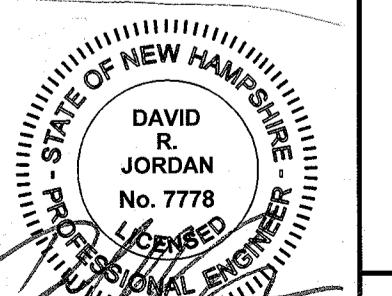
## SALEM PROPERTY MAP 107 - LOT 12575

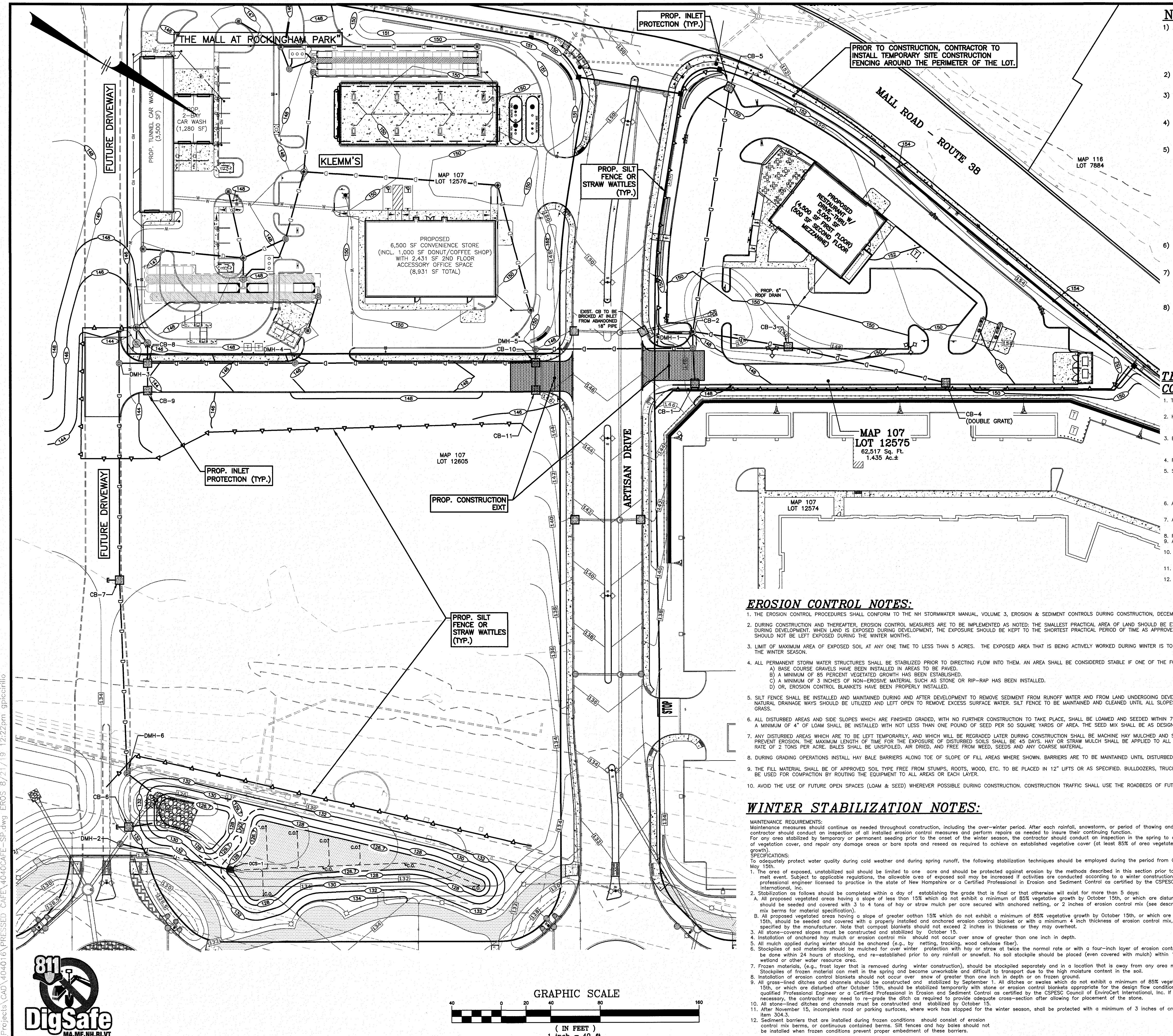
## 1 ARTISAN DRIVE

PREPARED FOR:

OMJ REALTY, LLC  
63 MAIN STREET  
SALEM, NH 0307944 Stiles Road, Suite One  
Salem, New Hampshire 03079  
(603) 893-0720ENGINEERS • PLANNERS • SURVEYORS  
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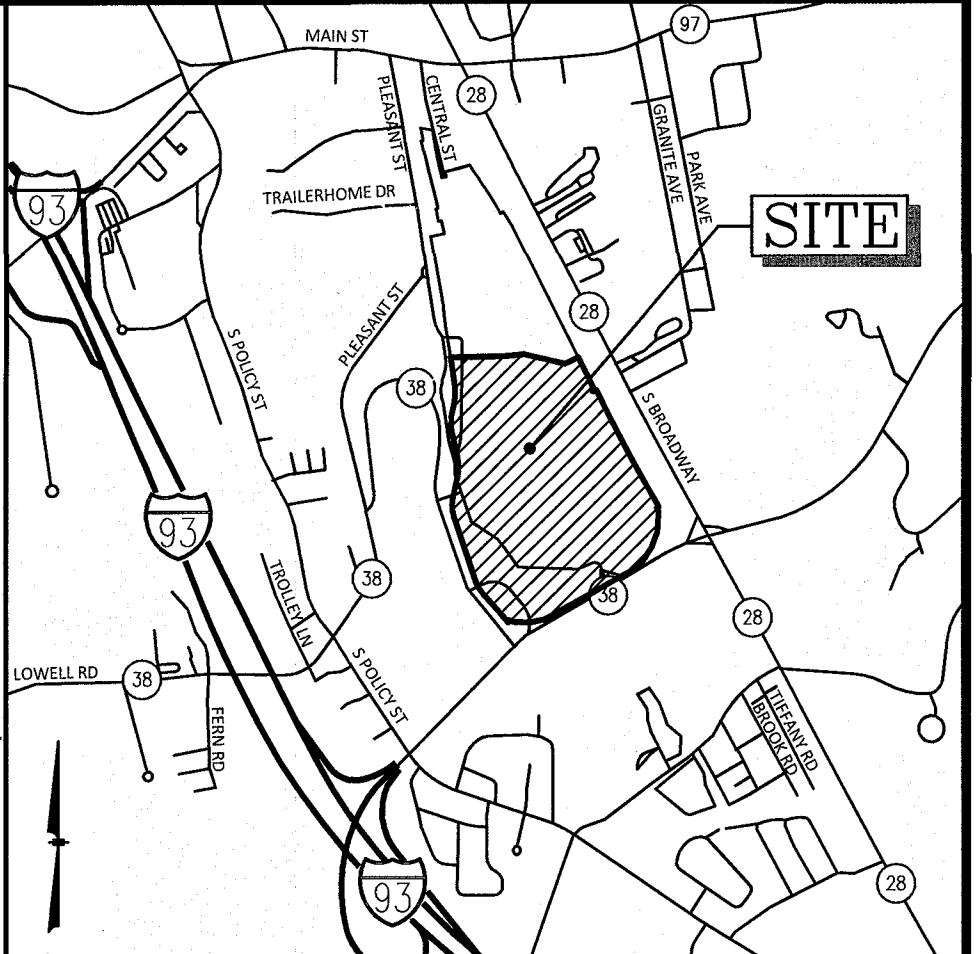
DATE: APRIL 29, 2019

SCALE: 1"=30'	OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079	SALEM PLANNING BOARD APPROVAL
 DAVID R. JORDAN No. 7778 PROFESSIONAL ENGINEER E12219		ZONE: COMMERCIAL - INDUSTRIAL 'C'
DESIGNED BY: DRJ	DRAWN/CHECKED: CPS/DRJ	DWG. NAME: 4040CAFE-SP.DWG
PROJECT No. 404016	DRW. No. 6	SHEET No. 12



### NOTES:

- 1) ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL, UNLESS OTHERWISE NOTED ON PLAN.
- 2) ELEVATIONS ARE BASED ON NGVD 1929 DATUM.
- 3) ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- 4) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
- 5) THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST POINT (POINT OF ELEVATION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 6) ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE TOWN, STATE AND FEDERAL STANDARDS.
- 7) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (1-888-344-7233) PRIOR TO COMMENCING ANY EXCAVATION.
- 8) AN OPERATION AND MAINTENANCE MANUAL HAS BEEN PREPARED FOR THE ON-SITE STORMWATER MANAGEMENT SYSTEMS AND IS CONSIDERED PART OF THIS PLAN SET. THE PROPERTY OWNER SHALL COMPLY WITH THE OPERATION AND MAINTENANCE SCHEDULE AND RECORD KEEPING REQUIREMENTS CONTAINED THEREIN.



### CONSTRUCTION SEQUENCE NOTES:

1. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY ON-SITE CONSTRUCTION AS SHOWN. ADDITIONAL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS SOON AS PRACTICAL.
2. CONSTRUCT TEMPORARY STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON THIS SHEET.
3. CUT AND STUMP AREAS OF PROPOSED CONSTRUCTION.
4. REMOVE AND STOCKPILE TOPSOIL STOCKPILE SHALL BE SEDED TO PREVENT EROSION.
5. CONSTRUCT PONDS, SWALES & LEVEL SPREADERS & STABILIZE PRIOR TO DIRECTING ANY RUNOFF TO THEM.
6. CONSTRUCT ROADWAYS AND PROPOSE SITE GRADING, PLACING HAY BALES AND SILTATION FENCES AS REQUIRED TO CONTROL SOIL EROSION. STABILIZE ROADS, PARKING LOTS AND CUT/FILL SLOPES WITHIN 72-HOURS OF ACHIEVING FINISH GRADES.
7. INSTALL UNDERGROUND UTILITIES AND DRAINAGE SYSTEM.
8. BEGIN TEMPORARY AND PERMANENT SEEDING AND MULCHING. ALL CUT AND FILL SLOPES SHALL BE SEDED OR MULCHED WITHIN 72-HOURS OF ACHIEVING FINISHED GRADES.
9. DAILY, OR AS REQUIRED, CONSTRUCT, INSPECT, AND IF NECESSARY, RECONSTRUCT TEMPORARY BERMS, DRAINS, DITCHES, SILT FENCES AND SEDIMENT TRAPS INCLUDING MULCHING AND SEEDING. AT A MINIMUM, INSPECT EROSION CONTROLS WEEKLY AND AFTER EVERY 1/2" OF RAINFALL.
10. BEGIN EXCAVATION FOR CONSTRUCTION OF BUILDINGS.
11. FINISH PAVING ALL ROADWAYS AND DRIVEWAYS.
12. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
13. AFTER GRASS HAS BEEN FULLY GERMINATED IN ALL SEDED AREAS, REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.
14. APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:

Linstone: 138 lbs./1,000 square feet.  
Earthfill: 13.8 lbs./1,000 square feet.  
Mulch: hay mulch approximately 3 tons/acre unless erosion control matting is used.

Permanent Seed Mix:  
Creeping Red Fescue 20 LBS./ACRE  
Tif Fescue 20 LBS./ACRE  
Red Fescue 2 LBS./ACRE  
TOTAL: 42 LBS./ACRE

Temporary Seed Mix:  
Winter Rye (Aug 15-Sept. 15) 112 LBS./ACRE

Grass (No later than May 15) 80 LBS./ACRE  
15. NEWLY GRADED AREAS REQUIRING EROSION PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE HAY MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 2 TONS PER ACRE.

16. THE CONTRACTOR AND DEVELOPER MUST MANAGE THE PROJECT TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.

17. FUGITIVE DUST MUST BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000.

4	REVISE DRAINAGE PER RCCD COMMENTS	DRJ	8/21/19
3	REVISE DRAINAGE	DRJ	7/15/19
2	MISC. REVISIONS	DRJ	6/12/19
1	MISC. REVISIONS	DRJ	6/3/19
NO.	DESCRIPTION	BY	DATE

### STORMWATER MANAGEMENT PLAN

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SALEM PROPERTY MAP 107 - LOT 12575  
1 ARTISAN DRIVE

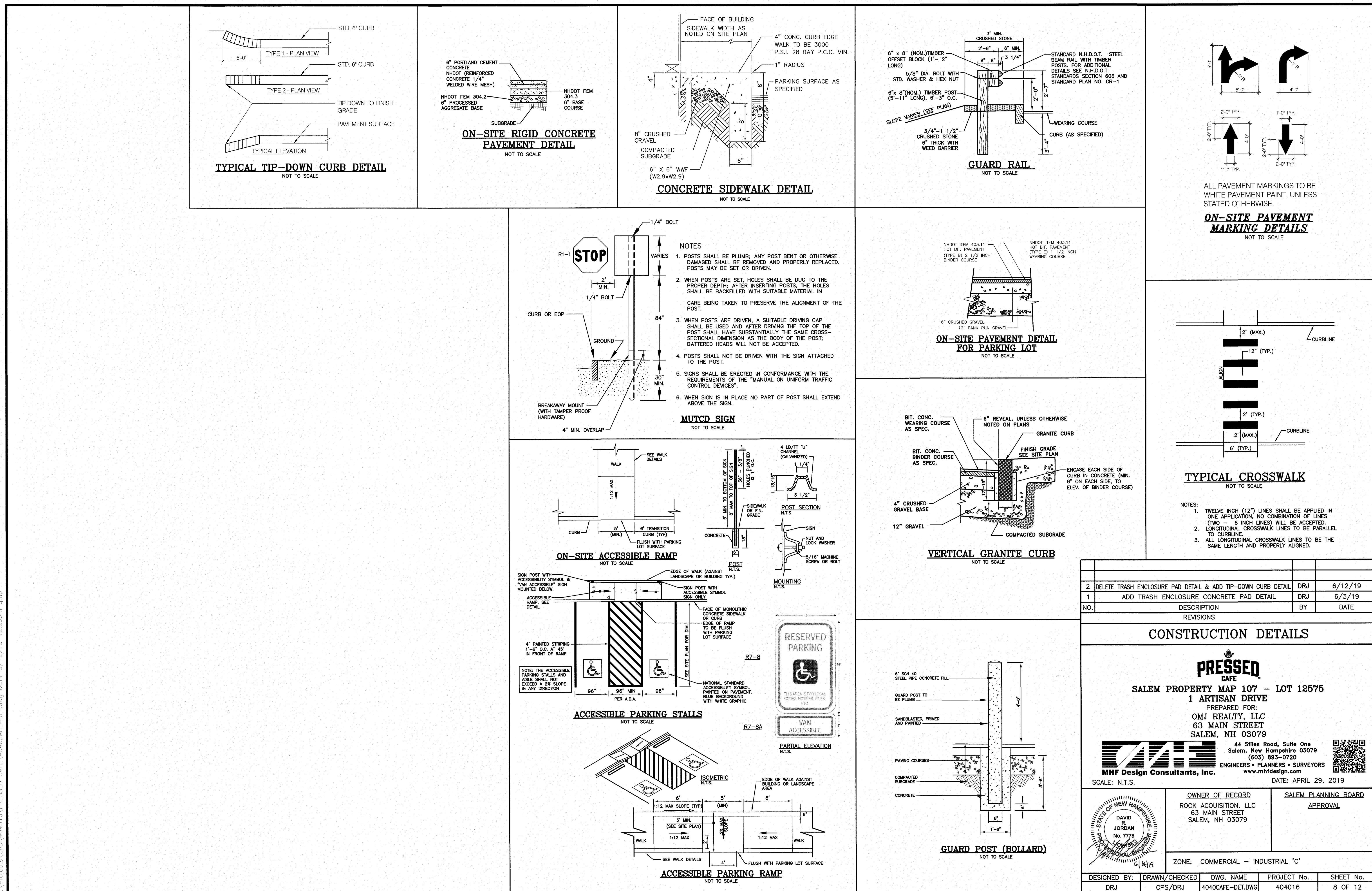
PREPARED FOR:  
OMJ REALTY, LLC  
63 MAIN STREET  
SALEM, NH 03079

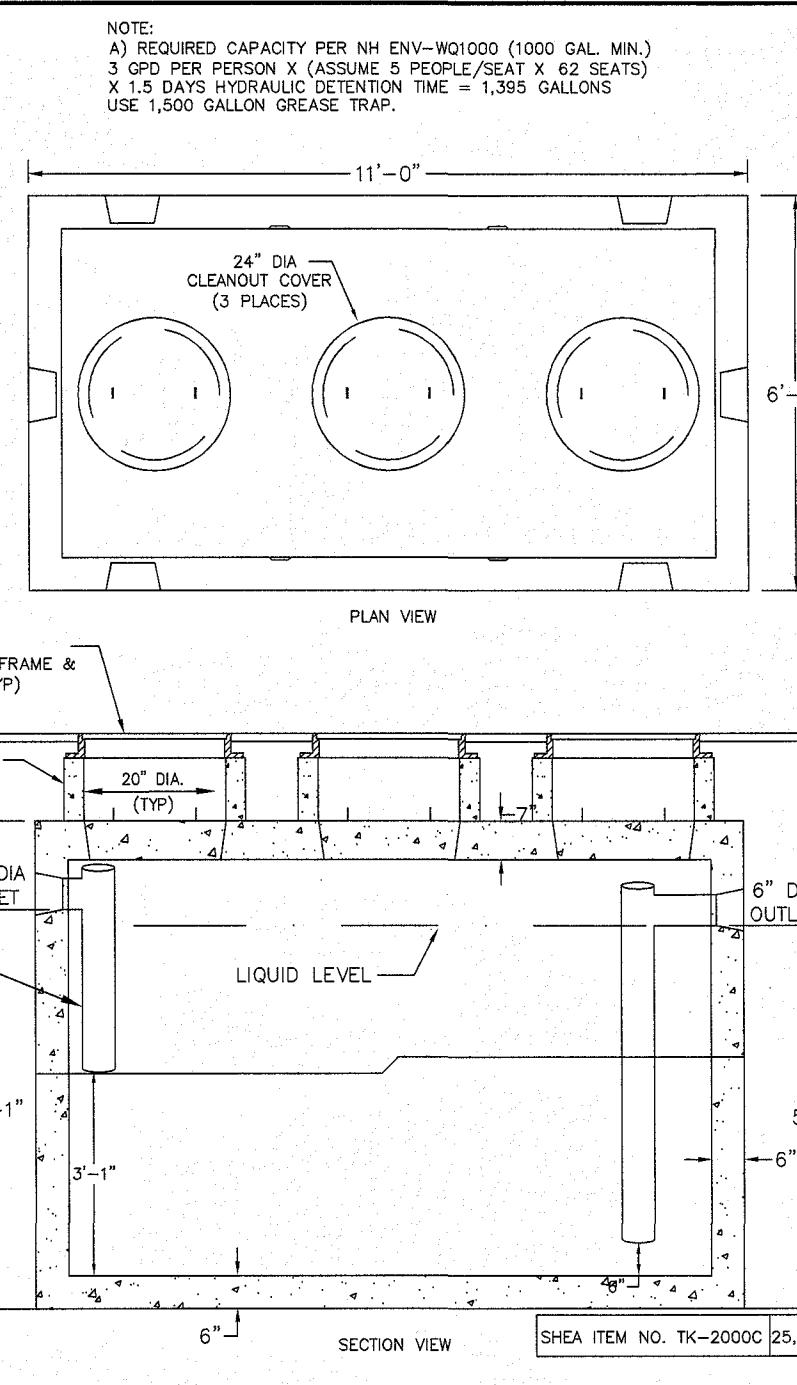
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DATE: APRIL 29, 2019

OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079 DAVID R. JORDAN No. 7778 LICENSED PROFESSIONAL ENGINEER	SALEM PLANNING BOARD APPROVAL	SCALE: 1"=40'		
		ZONE: COMMERCIAL - INDUSTRIAL 'C'		
DESIGNED BY: DRJ	DRAWN/CHECKED CPS/DRJ	DWG. NAME 4040CAFE-SP.DWG	PROJECT No. 404016	SHEET No. 7 OF 12

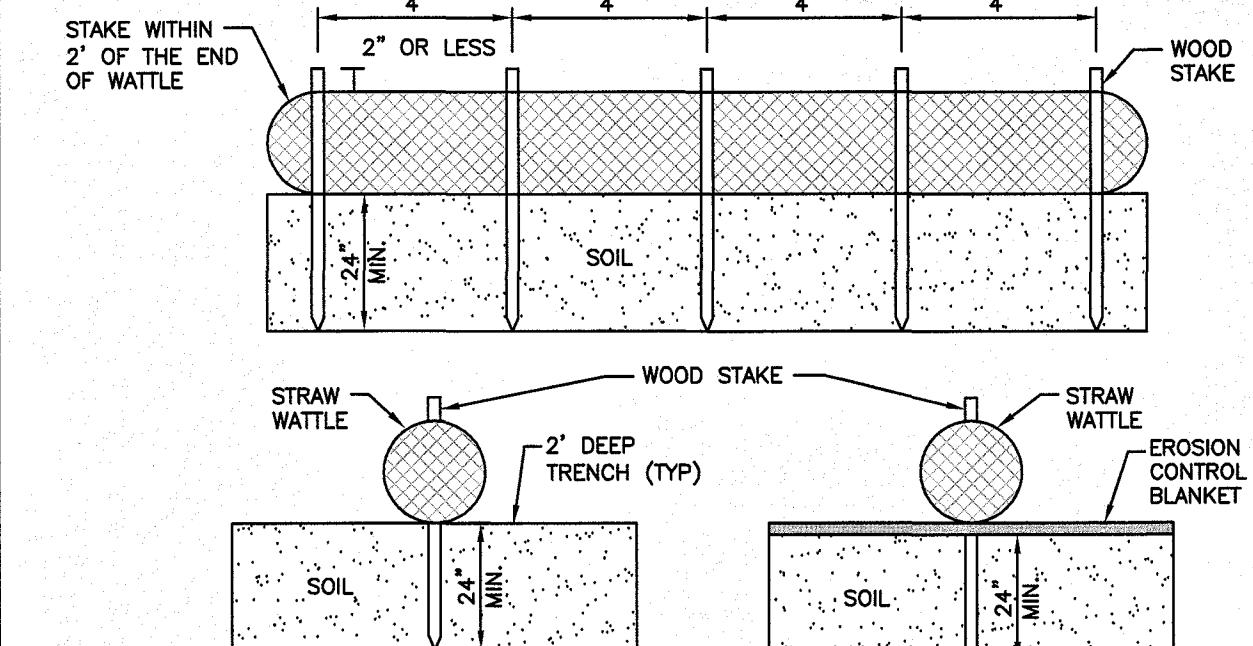




NOTE:  
A) REQUIRED CAPACITY PER NH ENV-W0100 (1000 GAL MIN.)  
3 CPS PER PERSON X (ASSUME 5 PEOPLE/SEAT X 62 SEATS)  
X 1.5 DAYS HYDRAULIC DETENTION TIME = 1,395 GALLONS  
USE 1,500 GALLON GREASE TRAP.

#### 2,000 GALLON GREASE TRAP DETAIL

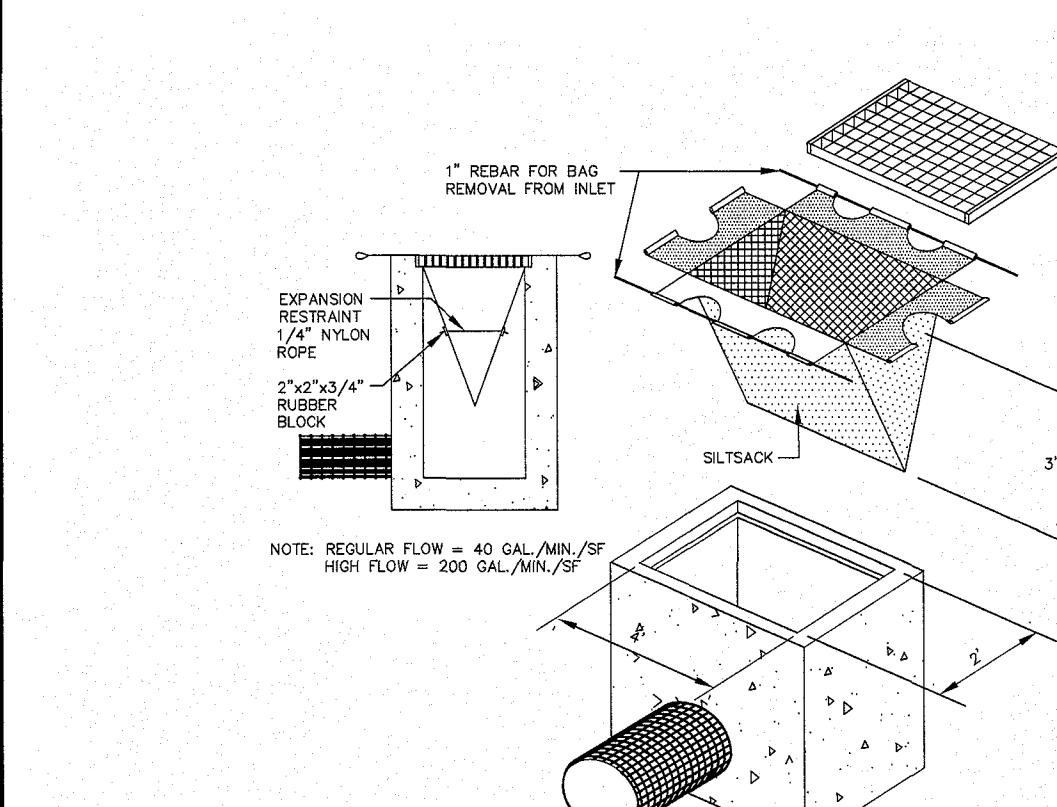
NOT TO SCALE



NOTE:  
1. ENDS OF WATTLES SHALL BE TURNED SLIGHTLY UP.  
2. RECOMMENDED STAKES ARE 1 1/8" WIDE X 1 1/8" THICK X 30" LONG.  
STAKES SHALL NOT EXCEED ABOVE THE STRAW WATTLE MORE THAN 2".

#### STRAW WATTLE DETAIL

NOT TO SCALE



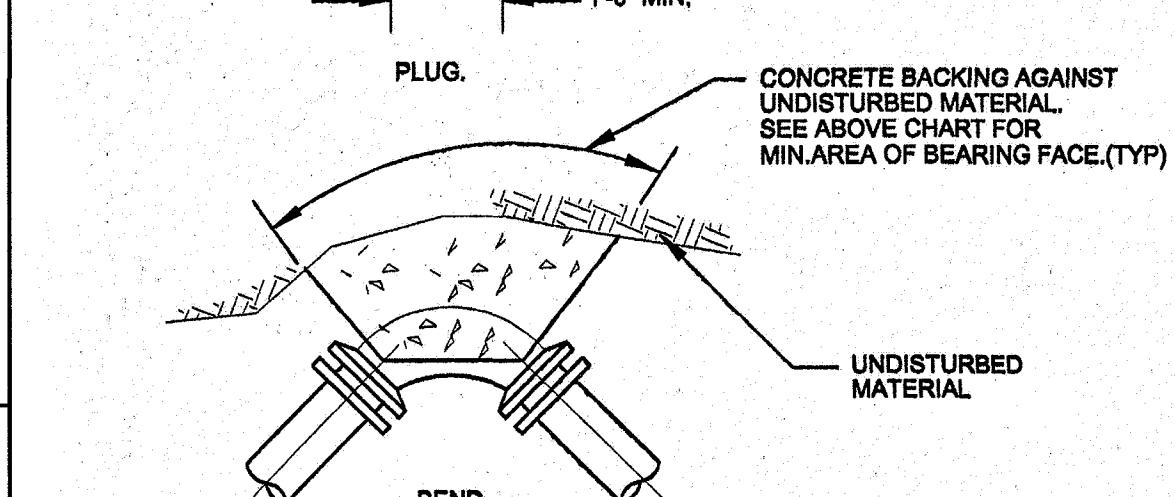
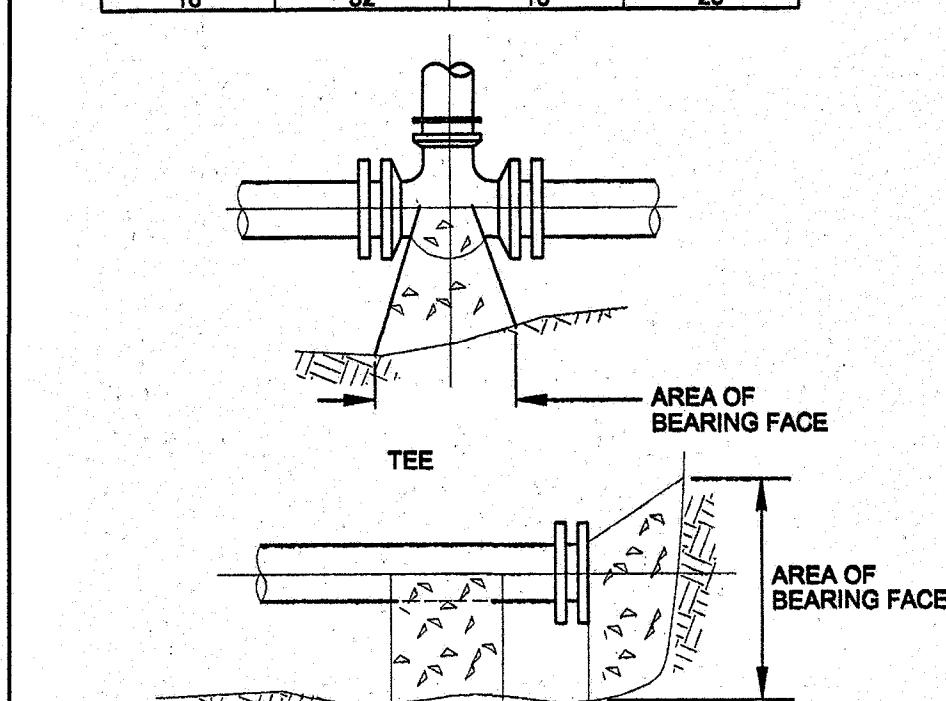
NOTE: REGULAR FLOW = 40 GAL/MIN/SF  
HIGH FLOW = 200 GAL/MIN/SF

1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.  
2. DESIGN CONFORMS WITH NHPS  
ENV-W0102 FOR GREASE TRAPS.  
3. ALL REINFORCEMENT PER ASTM C1227-93.  
4. DESIGNED FOR H-20 LOADING.  
5. TONGUE & GROOVE JOINT SEALED WITH BUTYLE RESIN.  
6. TEES AND BAFFLES SOLD SEPARATELY.

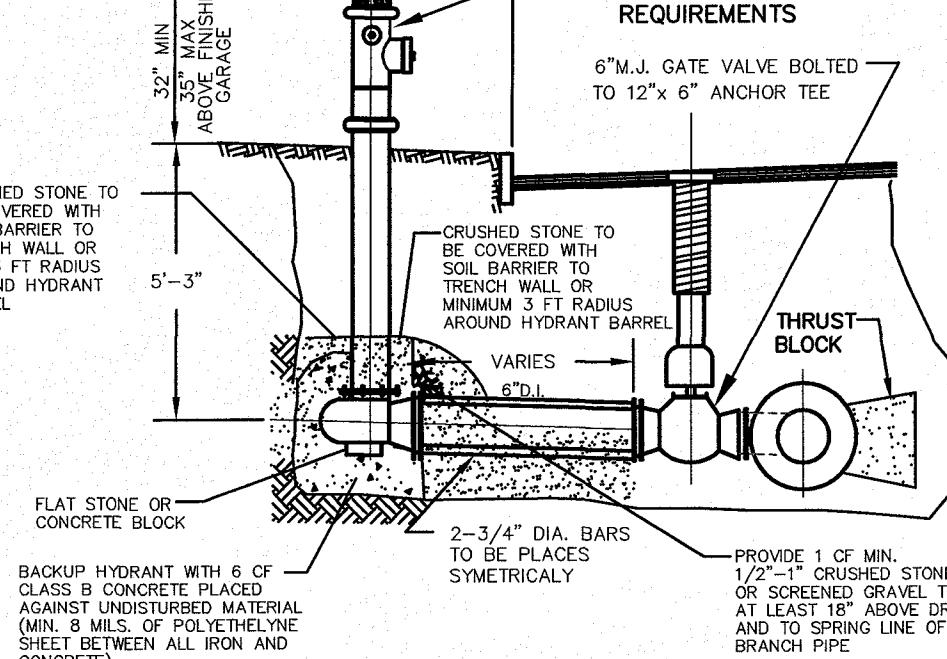
NOT TO SCALE

#### 2,000 GALLON GREASE TRAP DETAIL

AREA OF BEARING FACE OF CONCRETE THRUST BLOCKS IN SQUARE FEET BASED ON 450 P.S.I. & TONS.F. ALLOWABLE SOIL BEARING CAPACITY					
PIPE SIZE IN.	1/4 BEND	1/8 BEND	PLUG & TEE		
10	13	7	9		
12	18	9	13		
16	32	16	23		

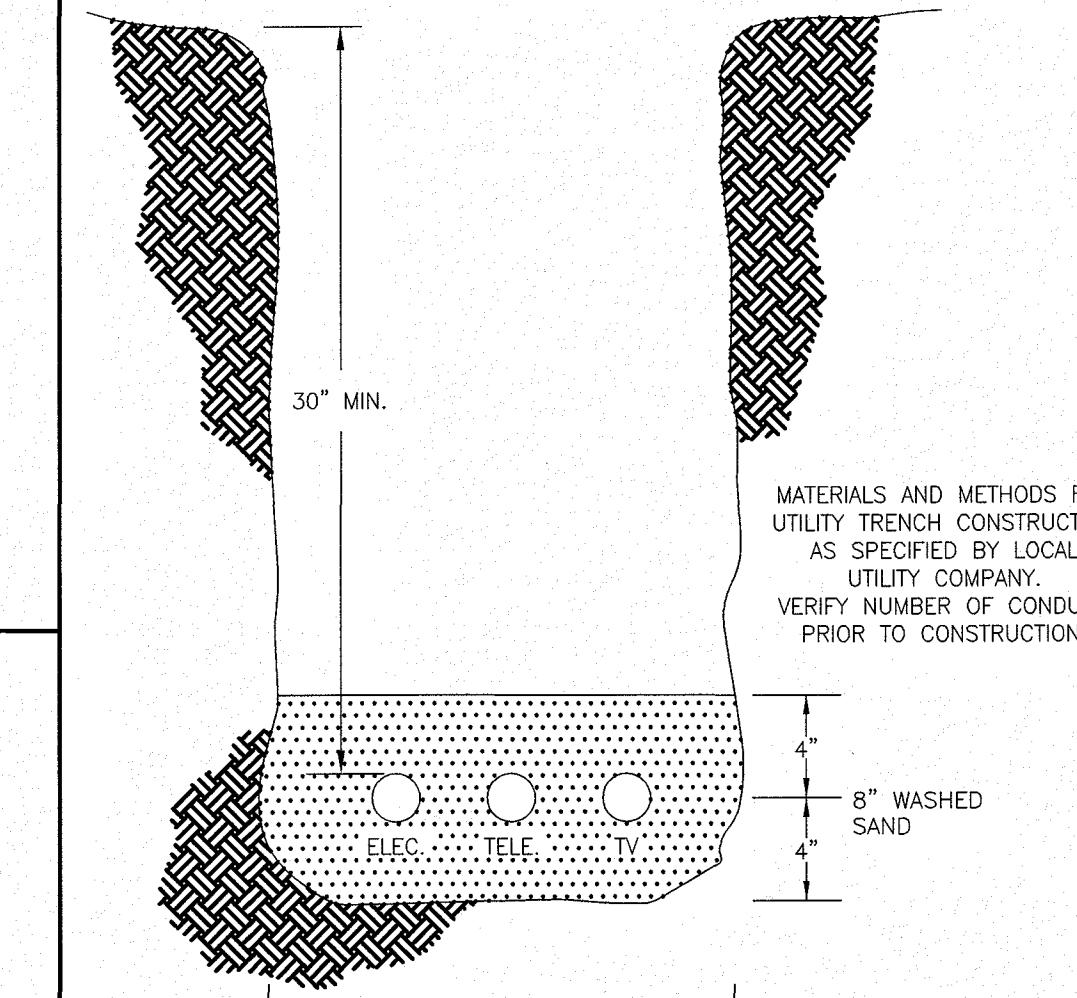


#### TYPICAL CONCRETE BACKING



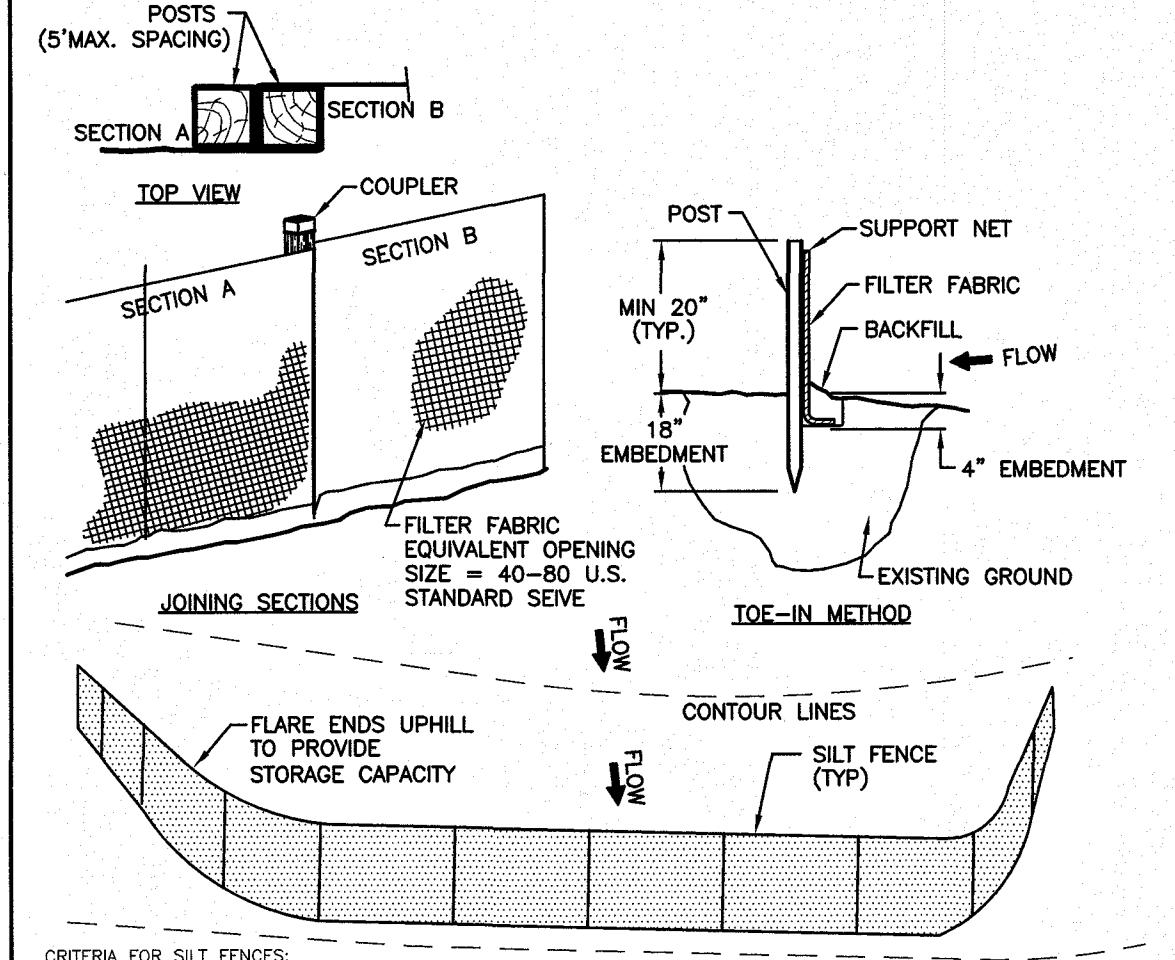
#### HYDRANT CONNECTION (TYP.)

NOT TO SCALE



#### UTILITY TRENCH

NOT TO SCALE



#### CRITERIA FOR SILT FENCES:

- 1) SILT FENCE FILTER CLOTH: THE FABRIC FOR THE SILT FENCE SHALL MEET THE FOLLOWING SPECIFICATIONS:  
MINIMUM ACCEPTABLE VALUES  
FABRIC PROPERTIES: TEST METHOD  
GRAB TENSILE STRENGTH (lbs) 90 ASTM D1682  
ELONGATION AT FAILURE (%) 30 ASTM D1682  
MULLETT BURST STRENGTH (lbs) 100 ASTM D3786  
PUNCTURE STRENGTH (lbs) 40 ASTM D3786  
EQUIVALENT OPENING SIZE 40-80 US STD. SIEVE

- 2) FENCE POSTS (FOR FABRICATED UNITS) - THE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG. WOOD POSTS WILL BE OF SOUND QUALITY HARWOOD WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES. STEEL POSTS WILL BE STANDARD T OR U SECTIONS WEIGHING NOT LESS THAN 1 POUND PER LINEAR FOOT. MAXIMUM SPACING SHALL BE 6 LINEAR FEET.

- 3) WIRE FENCE (FOR FABRICATED UNITS) - WIRE FENCING SHALL BE A MINIMUM 14.5 GAUGE WITH A MAXIMUM 6 INCH MESH OPENING.

- 4) PREFABRICATED UNITS - PREFABRICATED UNITS MAY BE USED IN LIEU OF THE ABOVE METHOD PROVIDED: (1) THE FILTER CLOTH AND FENCE POSTS MEET THE ABOVE CRITERIA; AND (2) THE UNIT IS INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

#### MAINTENANCE:

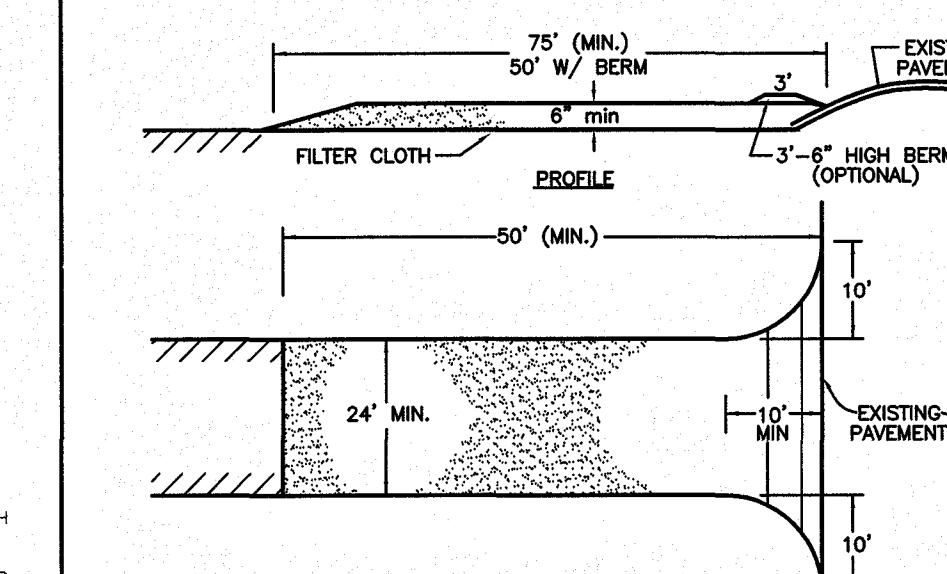
- 1) SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- 2) IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- 3) SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
- 4) SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

#### CONSTRUCTION SPECIFICATIONS:

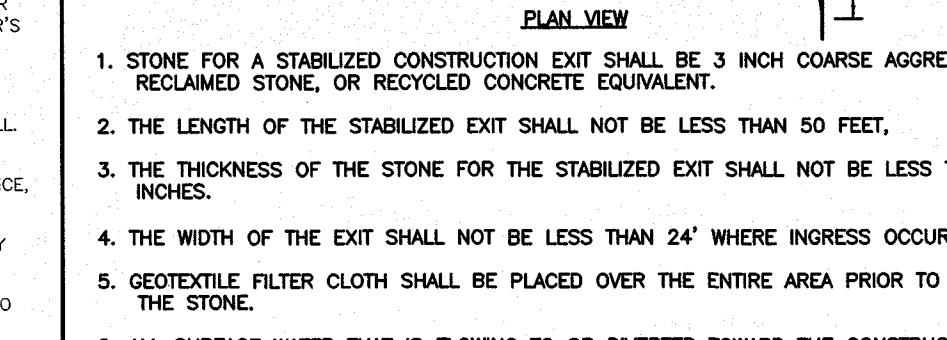
- 1) THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- 2) THE FABRIC SHALL BE EMBEDDED A MINIMUM OF 8 INCHES INTO THE GROUND (4" DEEP & 4" WIDE) AND THE SOIL COMPACTED OVER THE EMBEDDED FABRIC.
- 3) WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH TIES OR STAPLES.
- 4) FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOVEN WIRE FENCE WITH TIES SPACED EVERY 24 INCHES AT THE TOP, MID-SECTION AND BOTTOM.
- 5) WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES (24" IS PREFERRED), FOLDED, AND STAPLED.
- 6) POSTS TO BE SPACED AT A MAXIMUM OF 6' ON CENTER.

#### SEDIMENT CONTROL FENCE

NOT TO SCALE



#### PLAN VIEW

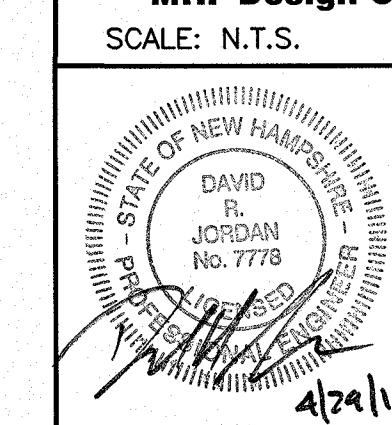


#### PLAN VIEW

1. STONE FOR A STABILIZED CONSTRUCTION EXIT SHALL BE 3 INCH COARSE AGGREGATE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED EXIT SHALL NOT BE LESS THAN 50 FEET.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED EXIT SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE EXIT SHALL NOT BE LESS THAN 24" WHERE INGRESS OCCURS.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION EXIT SHALL BE PIPED BEHIND THE EXIT. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE EXIT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED PROMPTLY.
8. WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO EXIT ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

#### STABILIZED CONSTRUCTION EXIT DETAIL

NOT TO SCALE



OWNER OF RECORD  
ROCK ACQUISITION, LLC  
63 MAIN STREET  
SALEM, NH 03079  
APPROVAL

ZONE: COMMERCIAL - INDUSTRIAL 'C'

DESIGNED BY: DRAWN/CHECKED DWG. NAME PROJECT No. SHEET No.  
DRJ CPS/DRJ 4040CAFE-DET.DWG 404016 9 OF 12

**PRESSED**  
CAFE

SALEM PROPERTY MAP 107 - LOT 12575  
1 ARTISAN DRIVE

PREPARED FOR:

OMA REALTY, LLC  
63 MAIN STREET  
SALEM, NH 03079

44 Stiles Road, Suite One  
Salem, New Hampshire 03079  
(603) 893-0720

ENGINEERS • PLANNERS • SURVEYORS

www.mhfdesign.com

DATE: APRIL 29, 2019



44 Stiles Road, Suite One  
Salem, New Hampshire 03079  
(603) 893-0720

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DATE: APRIL 29, 2019

SCALE: N.T.S.

OWNER OF RECORD

ROCK ACQUISITION, LLC

63 MAIN STREET

SALEM, NH 03079

APPROVAL

ZONE: COMMERCIAL - INDUSTRIAL 'C'

DESIGNED BY: DRAWN/CHECKED DWG. NAME PROJECT No. SHEET No.  
DRJ CPS/DRJ 4040CAFE-DET.DWG 404016 9 OF 12

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NOT TO SCALE

UNPAVED PAVED

N.H.D.O.T. TYPE F WEARING COURSE (AS SPECIFIED)

4" Loom, Seed & Mulch

WARNING TAPE

12" MAX

N.H.D.O.T. CRUSHED GRAVEL (AS SPECIFIED)

N.H.D.O.T. GRAVEL (AS SPECIFIED)

N.H.D.O.T. SAND FROM FOUR INCHES

BELOW TO SIX INCHES ABOVE THE PIPE (MIN.)

Diameter Varies

Tracer Wire

Minimum 3'

NOT TO SCALE

TYPICAL GAS TRENCH DETAIL

NOT TO SCALE

IN COUNTRY CONSTRUCTION, SUITABLE MATERIALS MAY BE USED AS ABOVE, EXCEPT THAT THE TOWN OF SALEM DEPARTMENT OF ENGINEERING MAY PERMIT THE USE OF TOP SOIL, DIRT, OR GROUND LEATHER. IF SATISFACTION IS NOT ATTAINED, THE CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE STRUCTURES FOR MAINTENANCE AND RECONSTRUCTION, WHEN NECESSARY, WILL BE PRESERVED. SUITABLE MATERIAL SHALL BE PLACED IN 12" LIFTS AND THOROUGHLY COMPACTED.

IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIALS MAY BE USED AS ABOVE, EXCEPT THAT THE TOWN OF SALEM DEPARTMENT OF ENGINEERING MAY PERMIT THE USE OF TOP SOIL, DIRT, OR GROUND LEATHER. IF SATISFACTION IS NOT ATTAINED, THE CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE STRUCTURES FOR MAINTENANCE AND RECONSTRUCTION, WHEN NECESSARY, WILL BE PRESERVED. SUITABLE MATERIAL SHALL BE PLACED IN 12" LIFTS AND THOROUGHLY COMPACTED.

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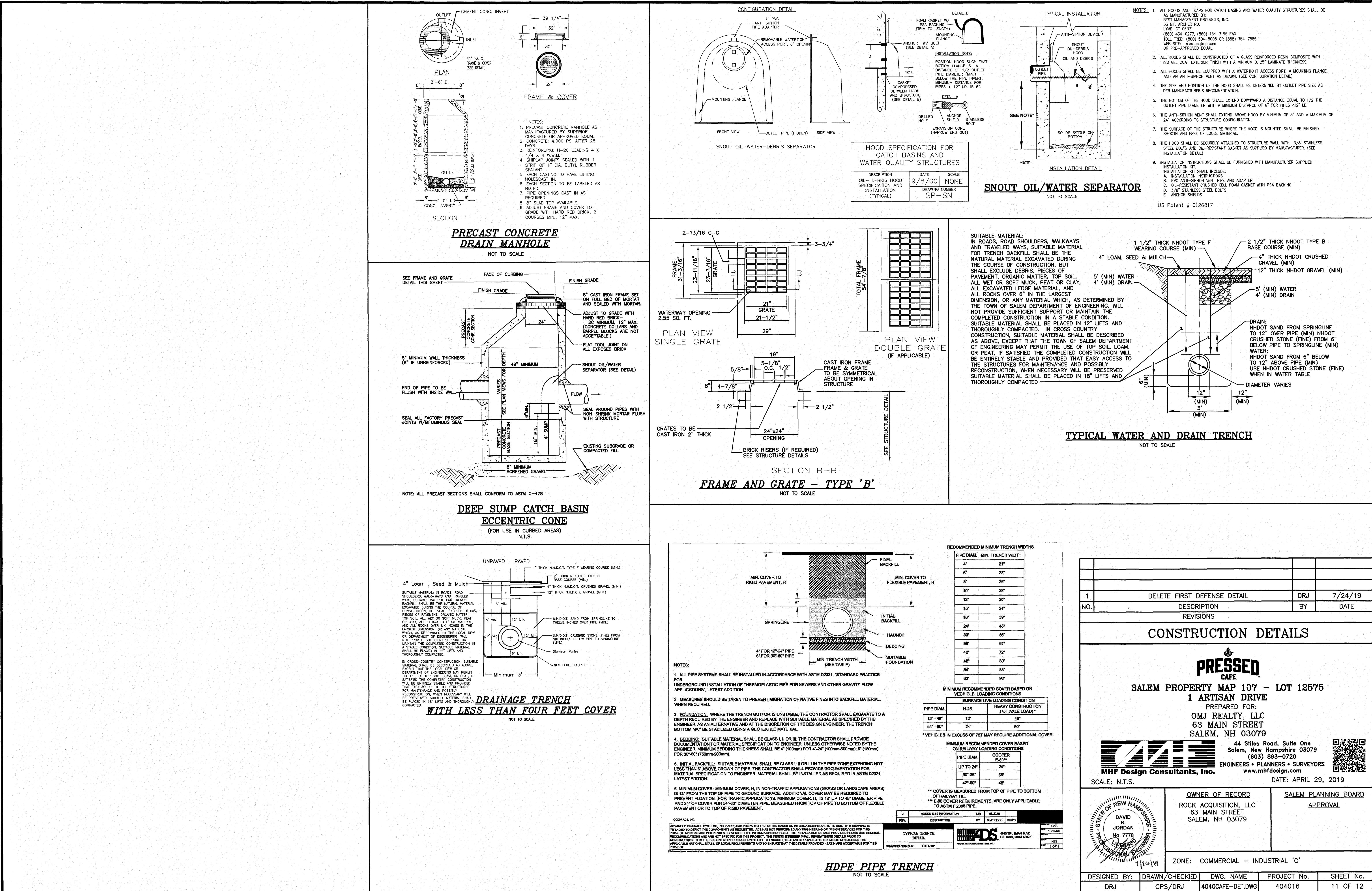
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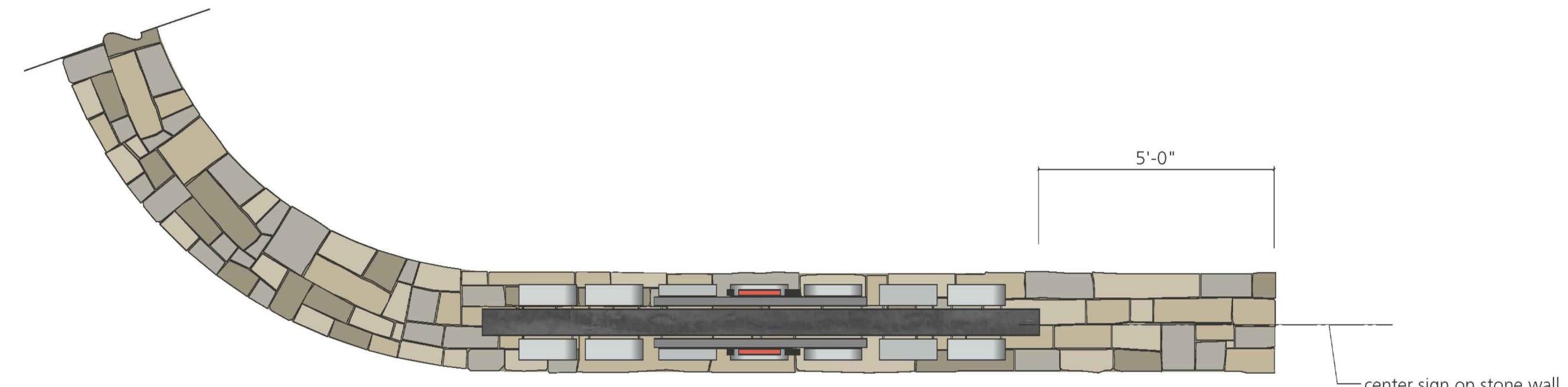
SIGNAGE TABLE FOR PRESSED CAFE															
BUILDING SIGNAGE	SIGN INFORMATION			Non-Road Frontage			Public Right of Way - Mall Road			Private Way - Artisan Drive			Sign Lighting		
	Sign ID	Sign Type	Sign Text	Sign Area Multiplier (SF/Lf of Bldg frontage)	Tenant Building Frontage (Lf)	Allowable Sign Area (SF)	Provided Sign Area (SF)	Sign Area Multiplier (SF/Lf of Bldg frontage)	Tenant Building Frontage (Lf)	Allowable Sign Area (SF)	Provided Sign Area (SF)	Sign Area Multiplier (SF/Lf of Bldg frontage)	Tenant Building Frontage (Lf)	Allowable Sign Area (SF)	Provided Sign Area (SF)
1. PRESSED CAFE	1 - North Elev	Wall - Primary 1	PRESSED CAFE LOGO	1.0	60	60	59	1.0	60	59	0	1.0	0	0	
	2 - North Elev	Wall - Primary 2	PRESSED CAFE LOGO	1.0	0	0	0	1.0	0	0	0	1.0	0	0	
	3 - South Elev	Tagline	COFFEE*JUICE*PANINI	0.3	0	0	0.3	0.3	18	18	0.3	0.3	0	0	
	4 - East Elev	Wall - Primary 3	PRESSED CAFE LOGO	1.0	0	0	1.0	0	0	1.0	75	50	50	22	
	5 - East Elev	Tagline	COFFEE*JUICE*PANINI	0.3	0	0	0.3	0	0	0.3	75	22.5	22.5	22	
See Note (3)															
See Note (4)															
See Note (5)															
Notes: (1) Reserved (2) Reserved (3) Sign requirements for wall and the freestanding signage can be externally lit, internally lit (individual letters only), or backlit (halo). (4) Lighting requirements for the Gateway Signs can be externally lit in combination with internally illuminated sign elements such as halo-lit lettering and logos. (5) If the sign is part of a stone wall feature, the setback is the same as a setback of the stone wall from the street ROW.															

SIGNAGE TABLE

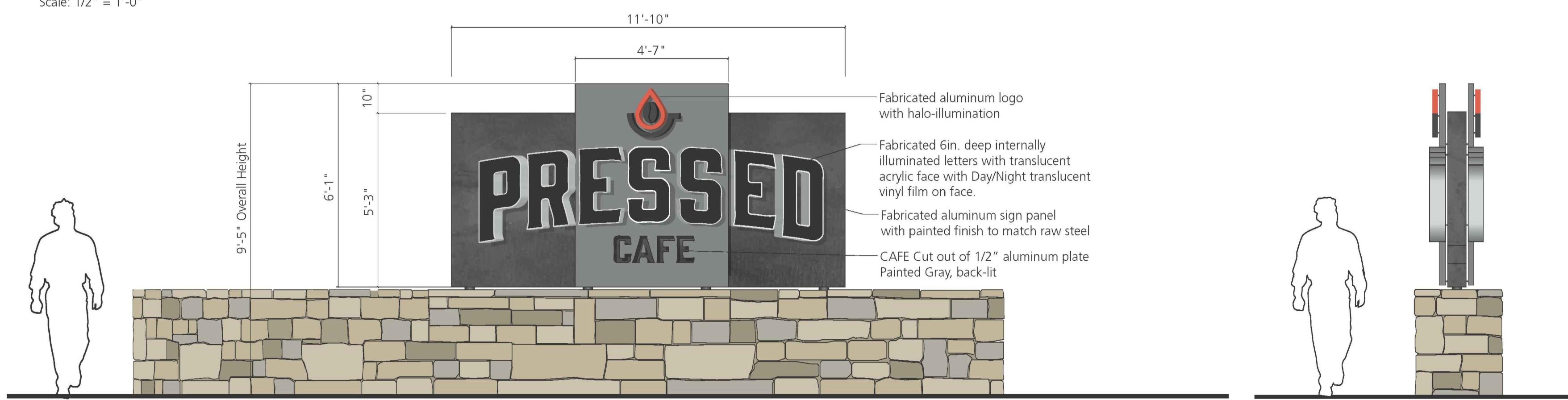


SMALL GATEWAY SIGN

SCALE: 1/2" = 1'-0"



Plan View  
Scale: 1/2" = 1'-0"



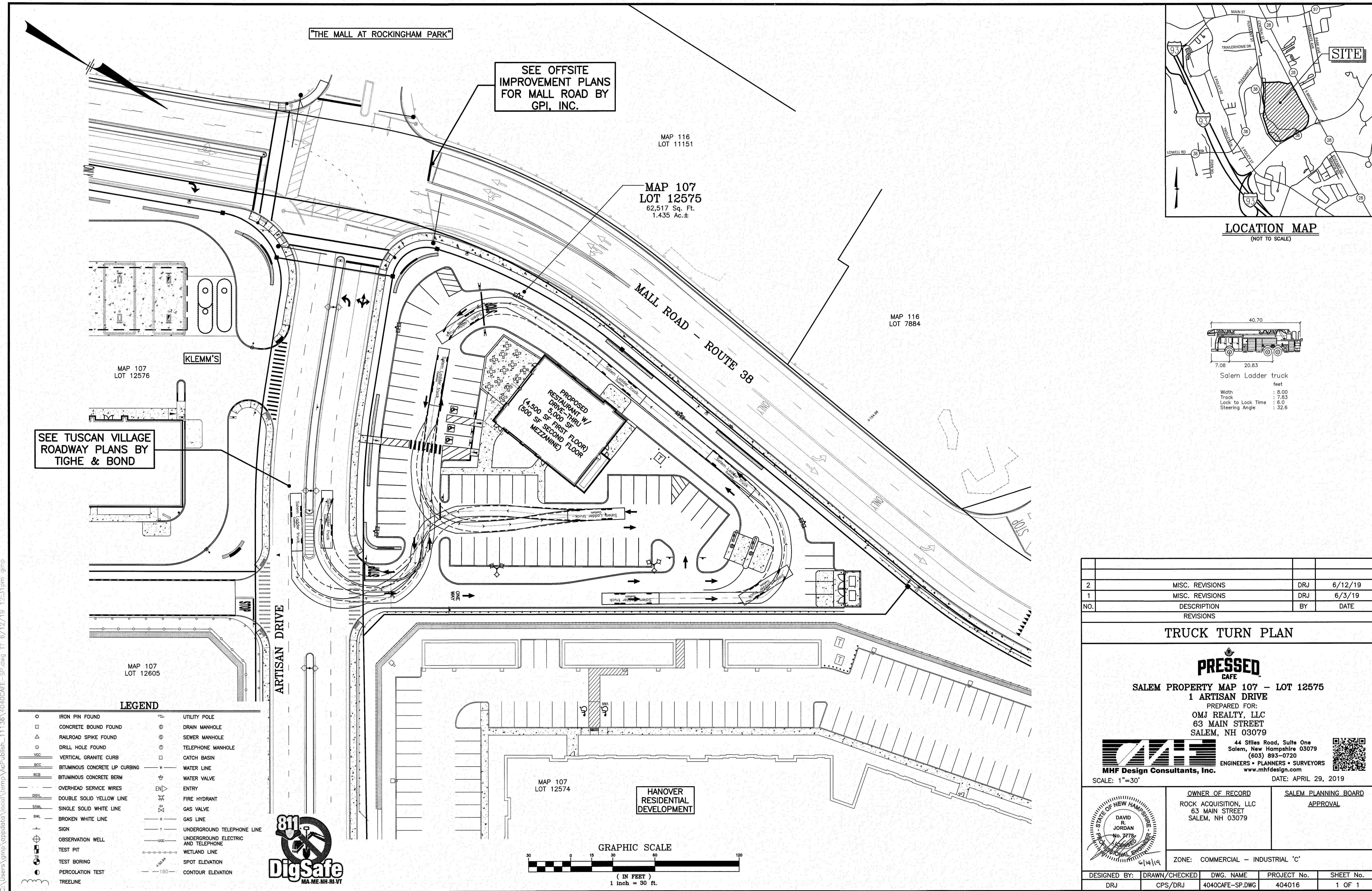
PRELIMINARY FREESTANDING SIGN

SCALE: N.T.S.

**NOTES:**

1. REFER TO TUSCAN VILLAGE SIGN STANDARDS FOR ALLOWABLE SIGN CRITERIA.

NO.	DESCRIPTION	BY	DATE
<b>SIGN DETAILS</b>			
<b>PRESSED CAFE</b>			
SALEM PROPERTY MAP 107 – LOT 12575			
1 ARTISAN DRIVE			
PREPARED FOR:			
OMJ REALTY, LLC			
63 MAIN STREET			
SALEM, NH 03079			
<b>MHF Design Consultants, Inc.</b>			
44 Stiles Road, Suite One			
Salem, New Hampshire 03079			
(603) 893-0720			
ENGINEERS • PLANNERS • SURVEYORS			
www.mhfdesign.com			
SCALE: N.T.S.			
DATE: APRIL 29, 2019			
OWNER OF RECORD		SALEM PLANNING BOARD	
ROCK ACQUISITION, LLC		APPROVAL	
63 MAIN STREET			
SALEM, NH 03079			
ZONE: COMMERCIAL – INDUSTRIAL 'C'			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
DRJ	CPS/DRJ	4040CAFE-DET.DWG	404016
SHEET No.			
1 OF 1			





#### GENERAL NOTES

All signage will have to meet Town Signage Criteria for the development. Sizes and locations are for illustrative purposes only.

All mechanical equipment will be screened from view.

All buildings are "in progress" and are subject to future design changes.

#### MATERIAL DEFINITIONS

**FRC**  
Fiber Reinforced Concrete

**CMU**  
Concrete Masonry Unit

**CM**  
Composite Metal

**EIFS**  
Exterior Insulation & Finish System

BUILDING 6200



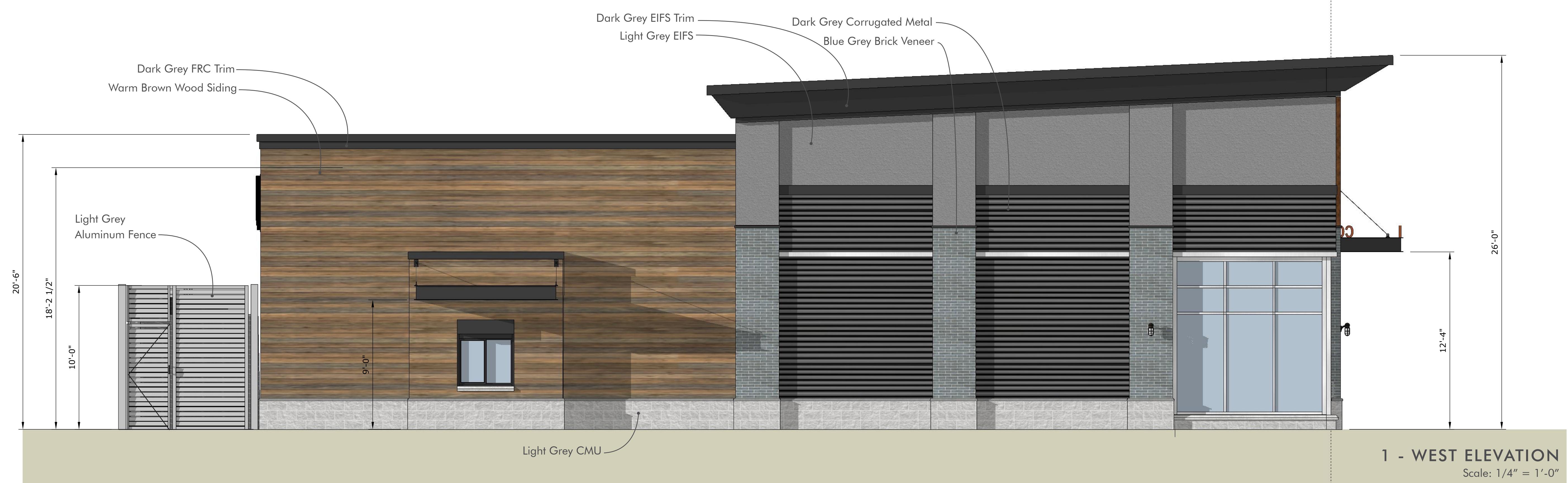
TUSCAN VILLAGE  
SALEM, NEW HAMPSHIRE  
06/03/2019



HALVORSON DESIGN  
PARTNERSHIP

Tighe & Bond





#### GENERAL NOTES

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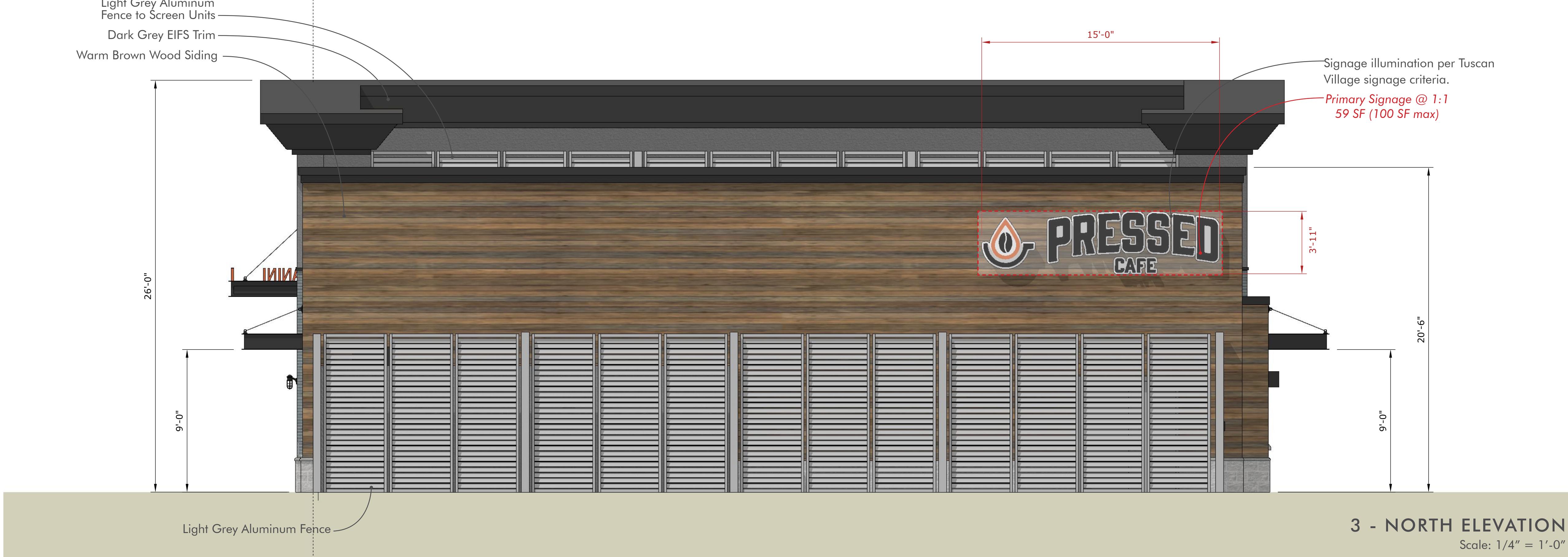
#### MATERIAL DEFINITIONS

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BUILDING 6200



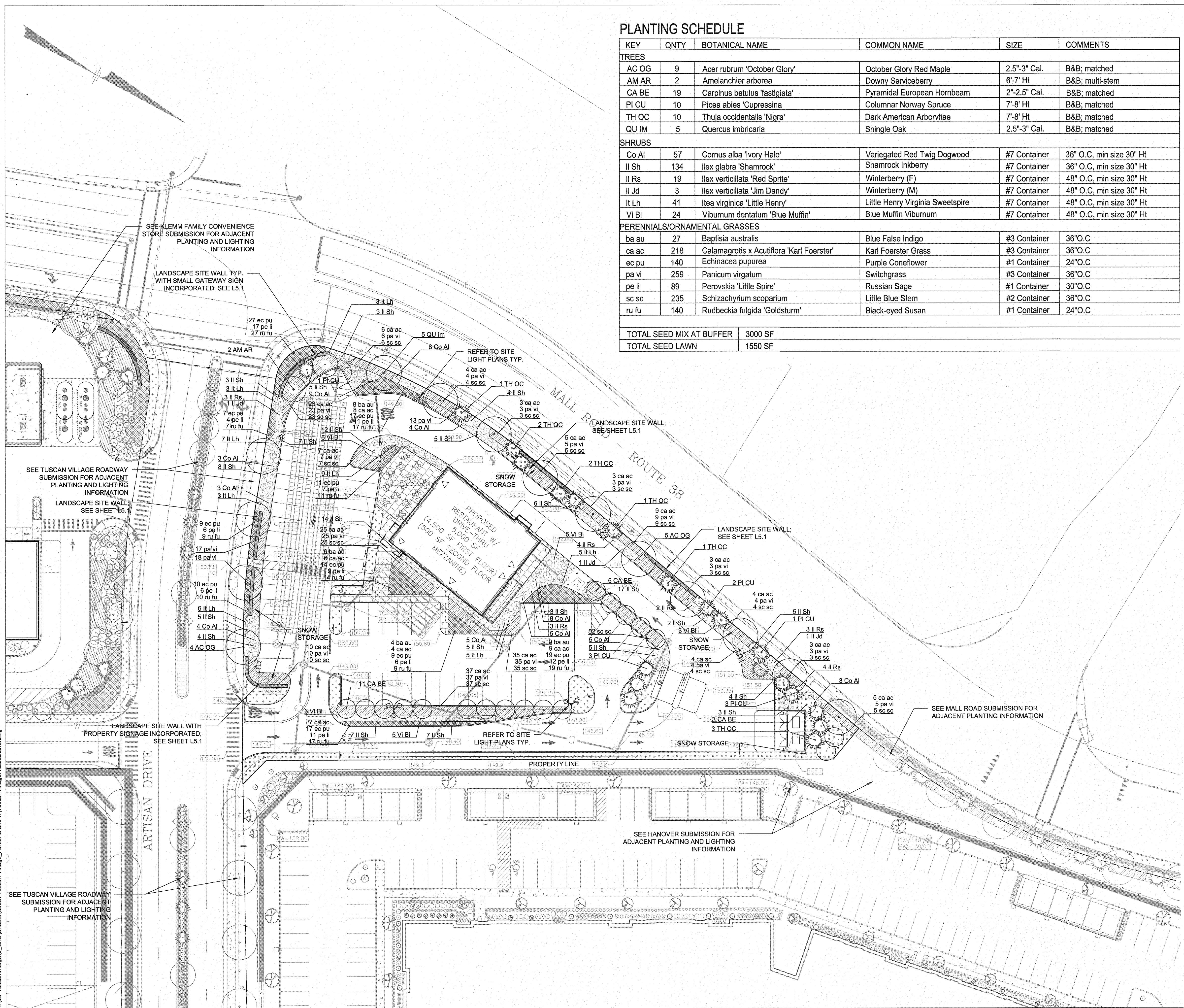
TUSCAN VILLAGE  
SALEM, NEW HAMPSHIRE  
06/03/2019



HALVORSON DESIGN  
PARTNERSHIP

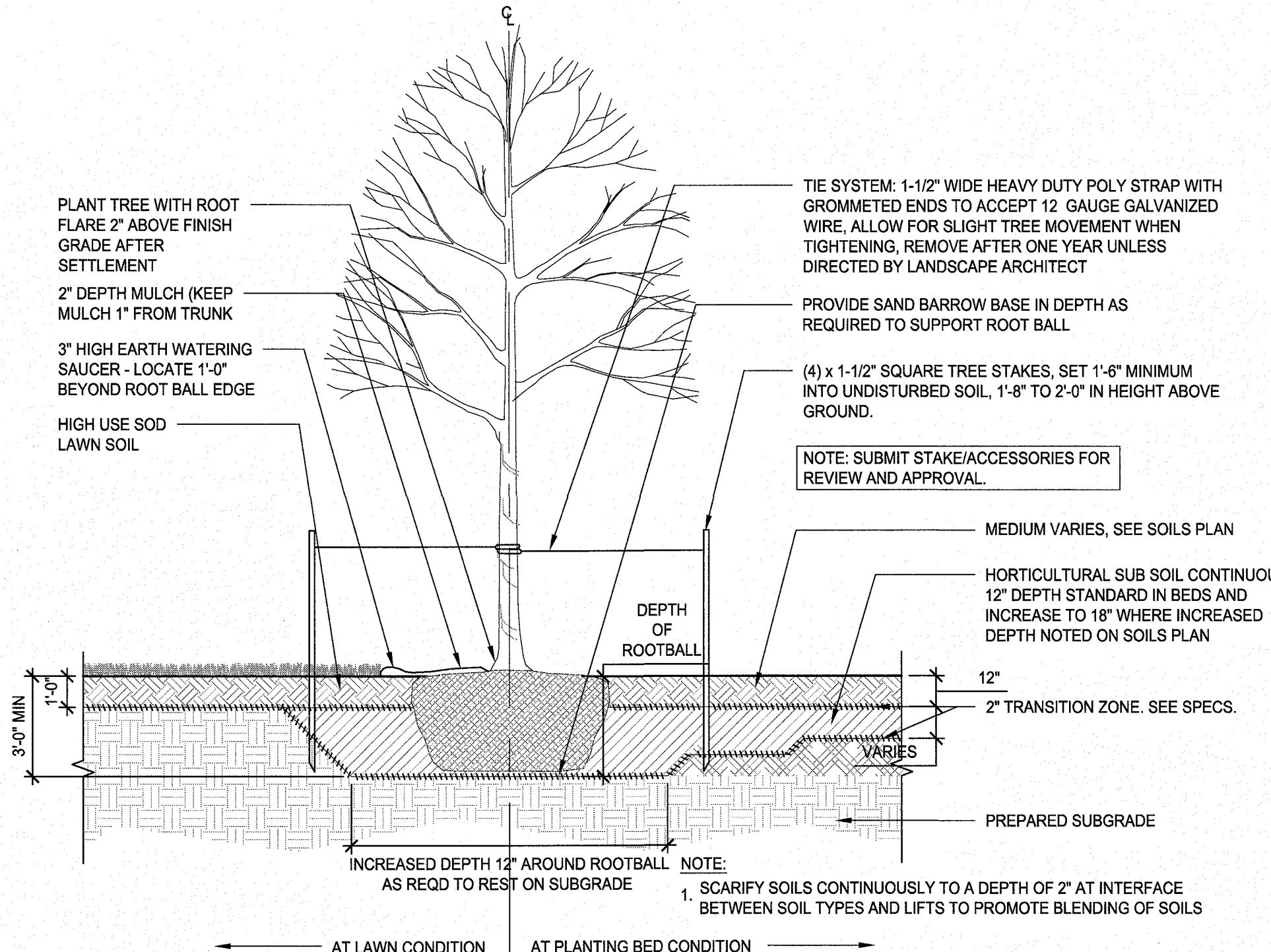
Tighe & Bond



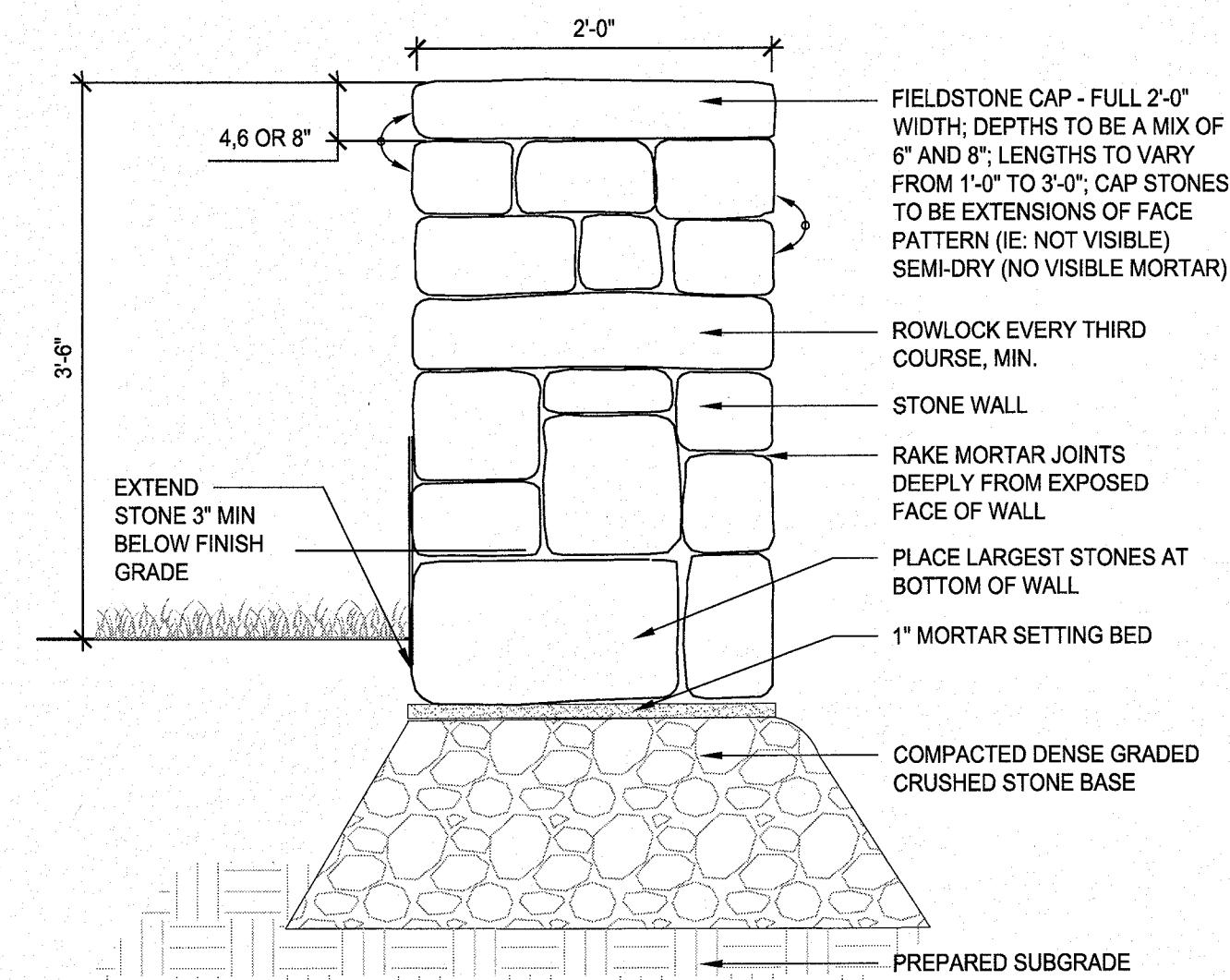
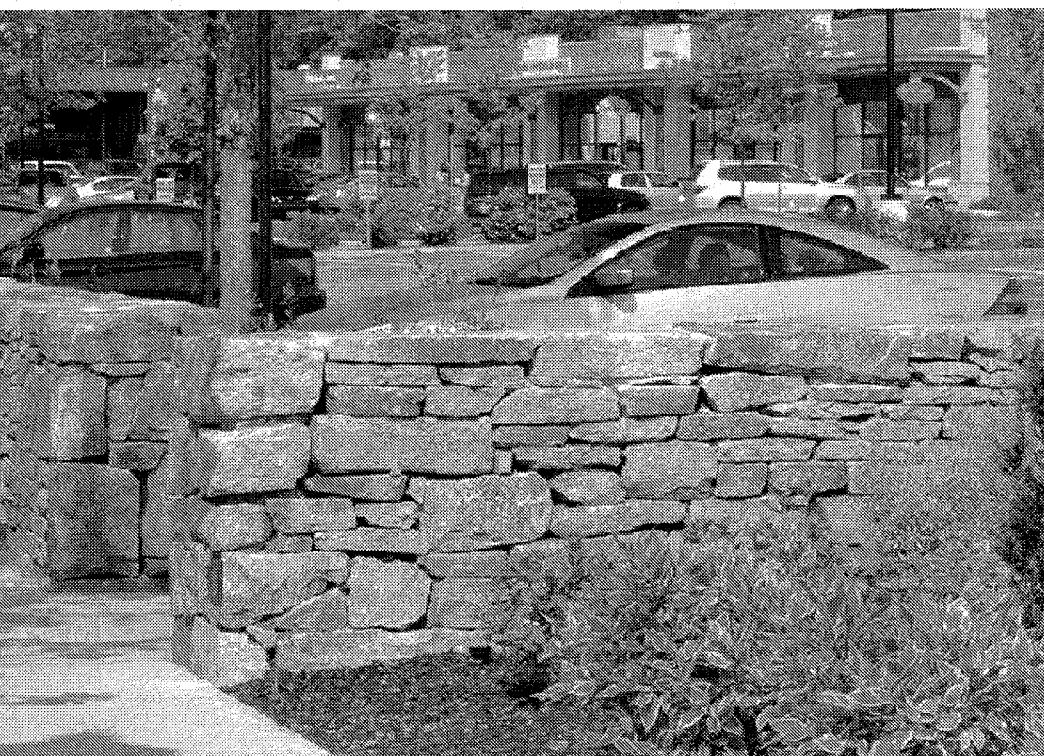


**PLANTING NOTES**

1. PLANT MATERIAL SHALL CONFORM TO "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN HORT (FORMERLY AMERICAN ASSOCIATION OF NURSERYMEN, INC.)
2. NO SUBSTITUTIONS OF PLANT SPECIES WITHOUT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
3. SUBSTITUTIONS OF PLANT SPECIES SHALL BE A PLANT OF EQUIVALENT OVERALL FORM, HEIGHT AND BRANCHING HABIT, FLOWER, LEAF AND FRUIT, COLOR AND TIME OF BLOOM, AS APPROVED OF BY LANDSCAPE ARCHITECT.
4. LOCATE AND VERIFY UTILITY LINE LOCATIONS PRIOR TO STAKING AND REPORT CONFLICT TO LANDSCAPE ARCHITECT.
5. PLANTING DEMOLITION DEBRIS, GARBAGE, LUMPS OF CONCRETE, STEEL AND OTHER MATERIALS DELETERIOUS TO PLANT'S HEALTH AS DETERMINED BY LANDSCAPE ARCHITECT SHALL BE REMOVED FROM ALL PLANTING AREAS.
6. NO PLANTING TO BE INSTALLED BEFORE ACCEPTANCE OF ROUGH GRADING.
7. ALL PROPOSED TREE LOCATIONS SHALL BE STAKED OR LAID OUT IN THEIR APPROXIMATE LOCATION BY THE CONTRACTOR. REFER TO LAYOUT AND PLANTING SHEETS FOR LAYOUT INFORMATION. THE CONTRACTOR SHALL ADJUST THE LOCATIONS AS REQUESTED BY THE LANDSCAPE ARCHITECT TO ACCOUNT FOR SUBSURFACE UTILITIES AND OTHER FIELD CONDITIONS. FINAL LOCATIONS OF ALL PLANTS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
8. INSTALL PLANTS WITH ROOT FLARES FLUSH WITH FINISHED GRADE. IMMEDIATELY REPLANT PLANTS THAT SETTLE OUT OF PLUMB OR BELOW FINISHED GRADE.
9. PLANT UNDER FULL TIME SUPERVISION OF CERTIFIED ARBORIST, NURSERYMAN, OR LICENSED LANDSCAPE ARCHITECT. PROVIDE WRITTEN VERIFICATION OF CERTIFICATION AND/OR LICENSE FOR LANDSCAPE ARCHITECT'S APPROVAL.
10. WATER PLANTS THOROUGHLY AFTER INSTALLATION, A MINIMUM OF TWICE WITHIN THE FIRST 24 HOURS. IRRIGATION WELL IS PROVIDED REFER TO CIVIL DRAWINGS.
11. REPAIR DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF LIMIT OF WORK

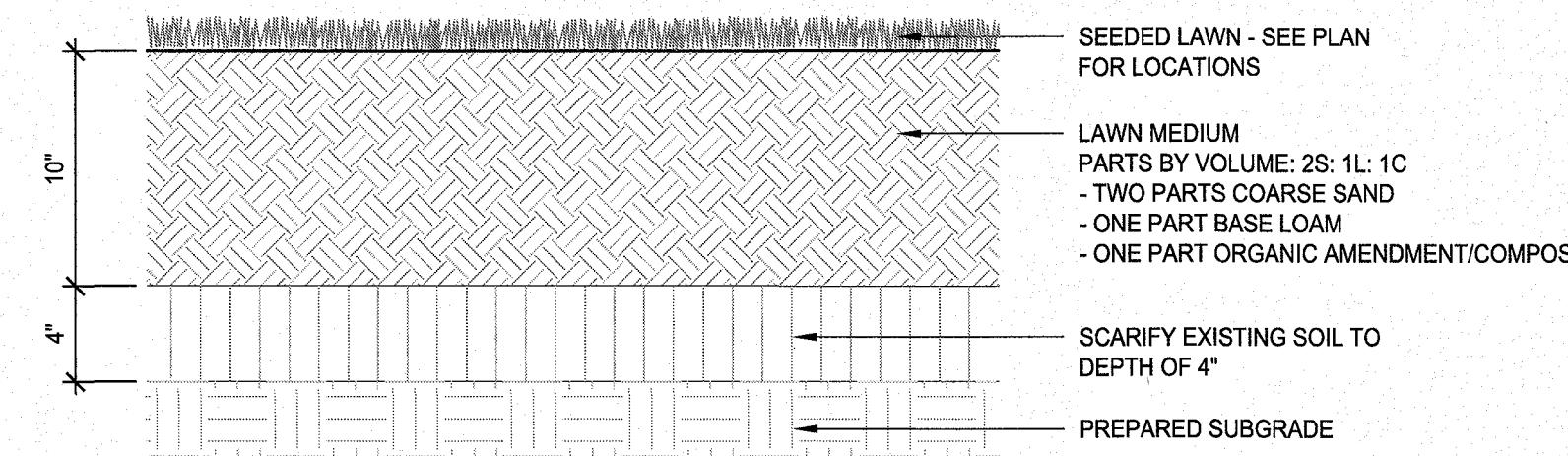


3 TREE PLANTING - IN LAWN OR PLANT BED AT GRADE



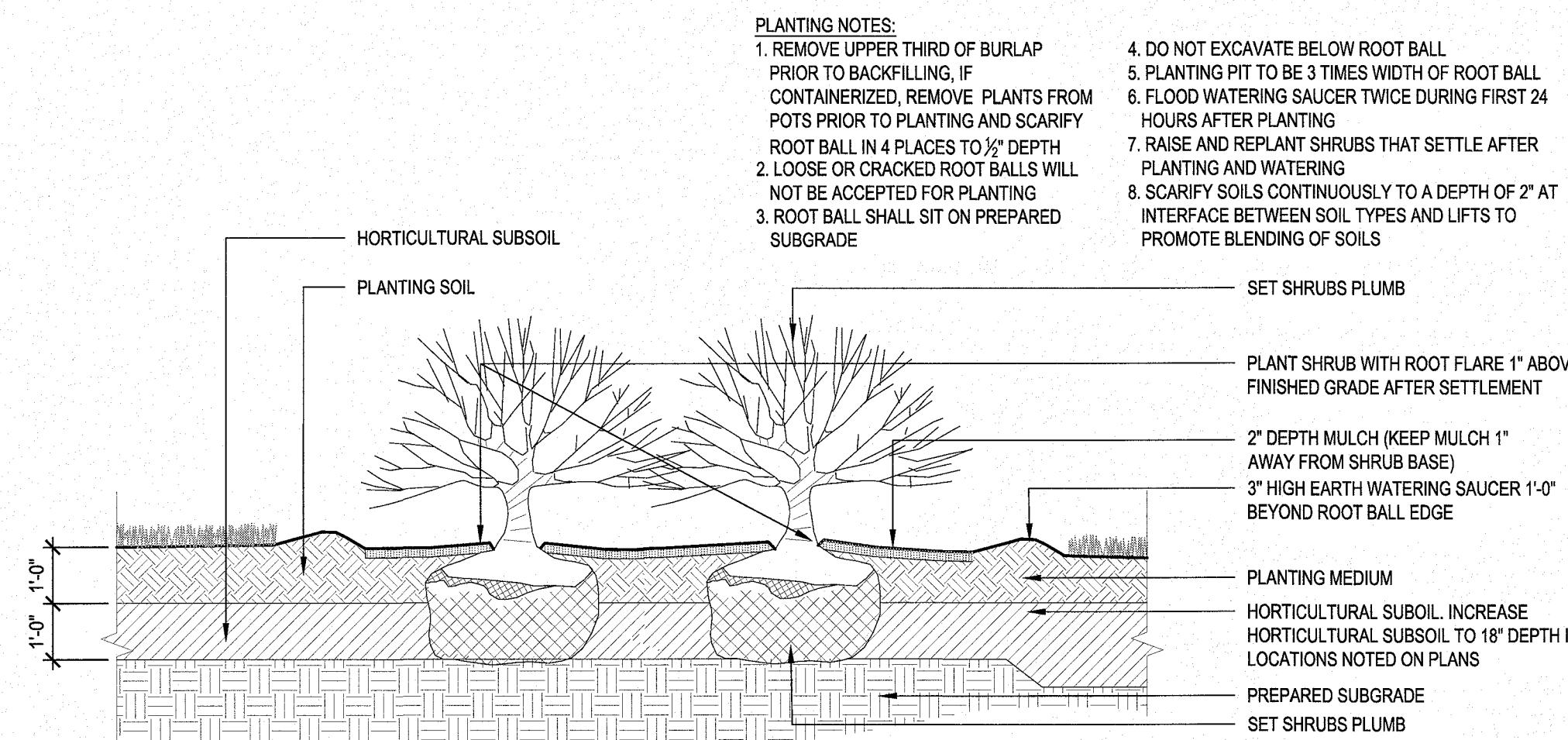
4 FIELDSTONE FREE STANDING WALL

SCALE: 1"-1'-0"



1 LAWN SECTION - NEW FULL DEPTH

SCALE: 1-1/2"-1'-0"

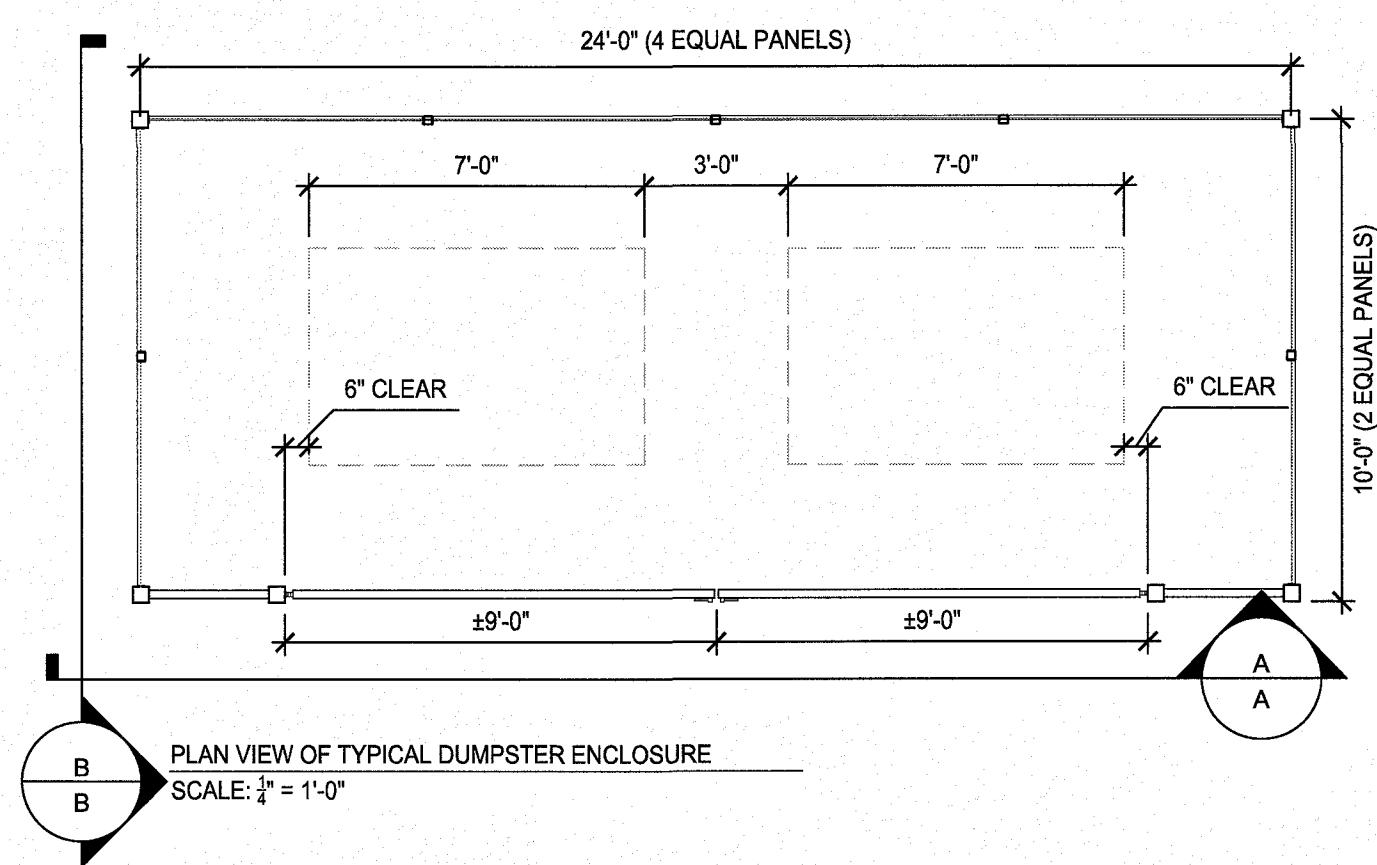


2 PLANTING BED

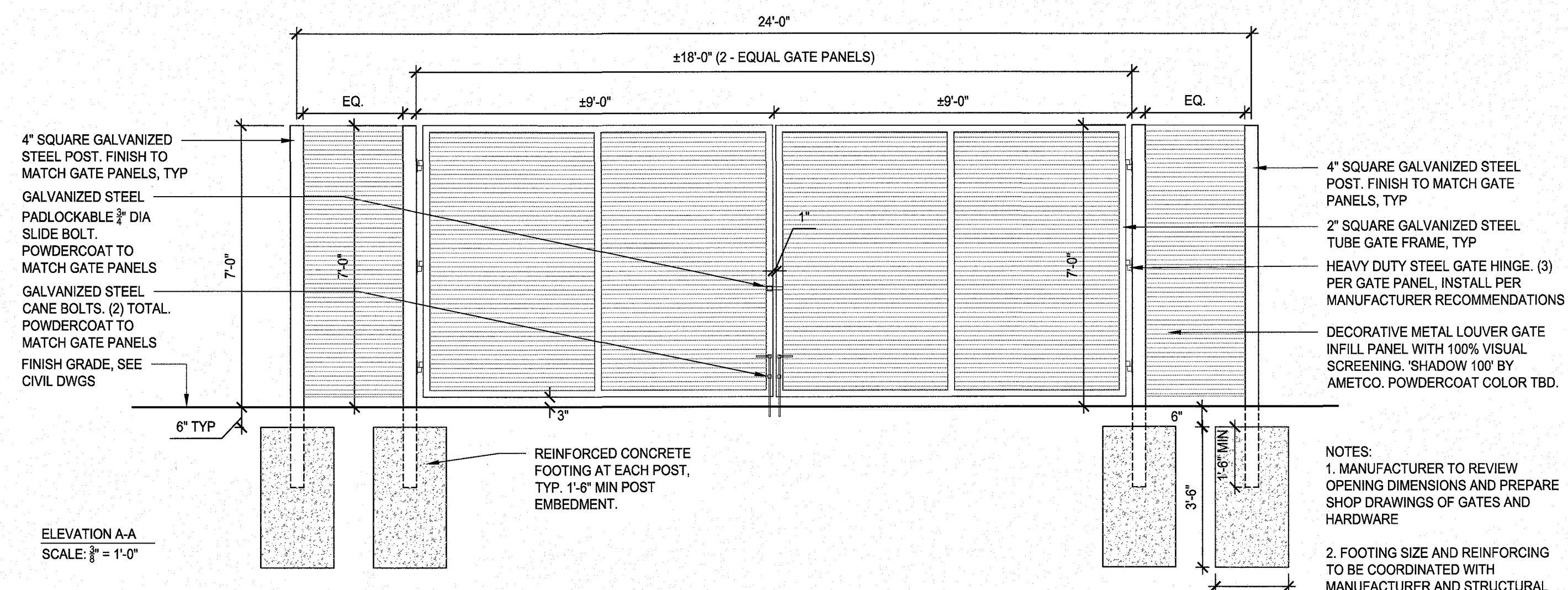
SCALE: 3/8"-1'-0"

NOT FOR CONSTRUCTION

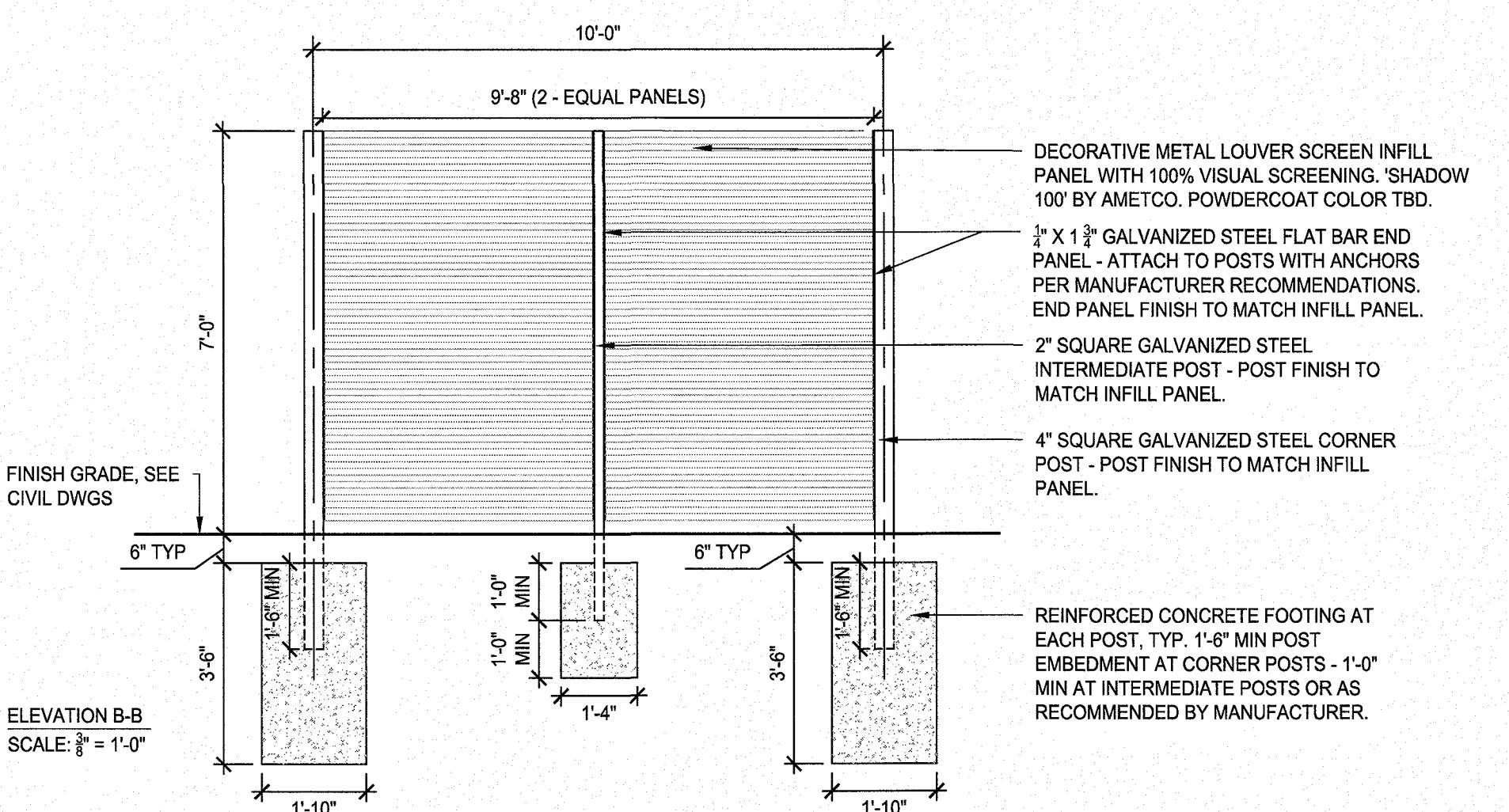
NO.	DESCRIPTION	BY	DATE		
REVISIONS					
LANDSCAPE DETAIL L5.1					
 <b>PRESSED</b> <b>CAFE</b>					
SALEM PROPERTY MAP 98 - LOT 7887					
PROPERTY ADDRESS - 71 ROCKINGHAM PARK BOULEVARD					
PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET SALEM, NH 03079					
 <b>HALVORSON DESIGN</b> <b>PARTNERSHIP</b> <b>LANDSCAPE ARCHITECTURE</b>					
MHF Design Consultants, Inc.					
SCALE: AS SHOWN					
<table border="1"> <tr> <td>OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079</td> <td>SALEM PLANNING BOARD APPROVAL</td> </tr> </table>				OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079	SALEM PLANNING BOARD APPROVAL
OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079	SALEM PLANNING BOARD APPROVAL				
DATE: APRIL 29, 2019					
ZONE: COMMERCIAL - INDUSTRIAL 'C'					
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.		
BU	OS/BU	TV	PRESSED CAFE DETAILS		
SHEET No.					
2 OF 3					



PLAN VIEW OF TYPICAL DUMPSTER ENCLOSURE  
SCALE:  $\frac{1}{8}$  = 1'-0"



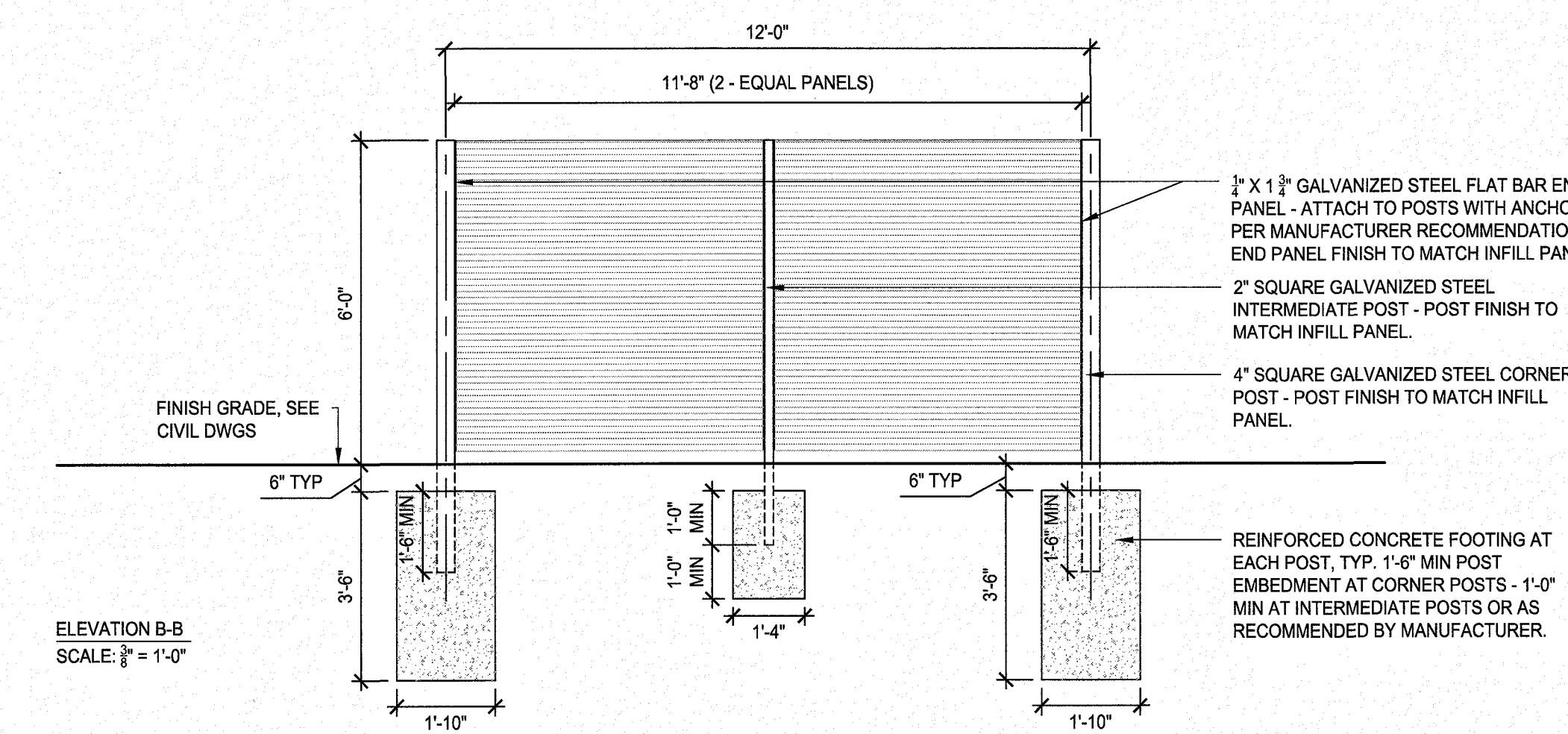
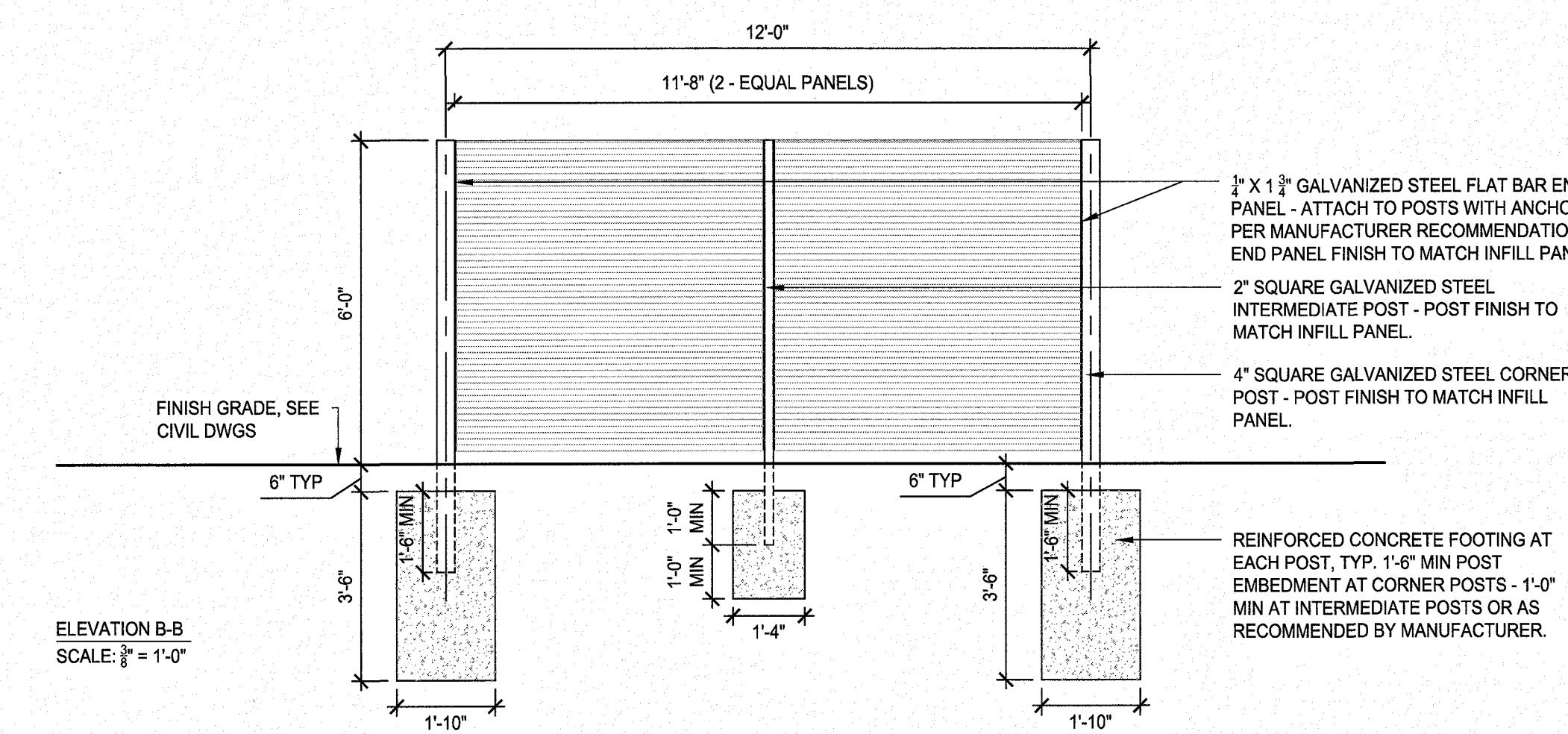
1 TYPICAL DUMPSTER ENCLOSURE: METAL LOUVER SCREEN / GATE  
SCALE: AS NOTED



NOT FOR CONSTRUCTION

NO.	DESCRIPTION	BY	DATE
<b>LANDSCAPE DETAIL L5.2</b>			
<b>PRESSED CAFE</b>			
	SALEM PROPERTY MAP 98 - LOT 7887 PROPERTY ADDRESS - 71 ROCKINGHAM PARK BOULEVARD		
	PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET SALEM, NH 03079		
	<b>HALVORSON DESIGN</b> PARTNERSHIP LANDSCAPE ARCHITECTURE		
	MFH Design Consultants, Inc.		
	SCALE: AS SHOWN		
	OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079		SALEM PLANNING BOARD APPROVAL
	ZONE: COMMERCIAL - INDUSTRIAL 'C'		
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
BU	OS/BU	TV	PRESSED CAFE DETAILS
			3 OF 3

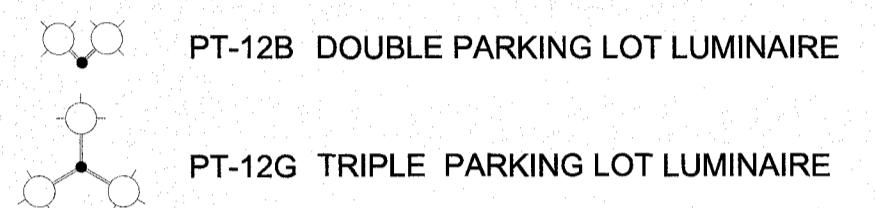
2 TYPICAL VACUUM EQUIPMENT ENCLOSURE: METAL LOUVER SCREEN / GATE  
SCALE: AS NOTED



## LIGHTING NOTES

1. SUBMITTAL DRAWINGS ARE REQUIRED FOR ALL FIXTURES, PRIOR TO ORDERING. ANY FIXTURES ORDERED WITHOUT SUBMITTAL REVIEW BY LUMEN STUDIO, INC. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
2. ANY SUBSTITUTIONS NOT APPROVED BY LUMEN STUDIO, INC. PRIOR TO ORDERING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
3. CONTRACTOR SHALL VERIFY RUN LENGTHS AND MOUNTING DETAILS OF ALL FIXTURES WITH ARCHITECTURAL DRAWINGS.
4. CONTRACTOR SHALL VERIFY AND COORDINATE FIXTURE MOUNTING WITH DETAILS, HOUSING TYPE, AND FIELD CONDITIONS.
5. FOR LED, TRACK, AND REMOTE TRANSFORMER FIXTURES, ALL FIXTURES SHALL BE ORDERED WITH NECESSARY POWER SUPPLIES, DRIVERS, AND POWER FEEDS FOR INSTALLATION OF A COMPLETE SYSTEM.
6. PROVIDE ALL PARTS AND COMPONENTS NECESSARY FOR INSTALLATION FOR ALL FIXTURES.
7. ELECTRICAL CONTRACTOR SHALL VERIFY VOLTAGE WITH THE ELECTRICAL ENGINEER, AND COORDINATE, PRIOR TO ORDERING ANY LIGHTING EQUIPMENT.

## LEGEND

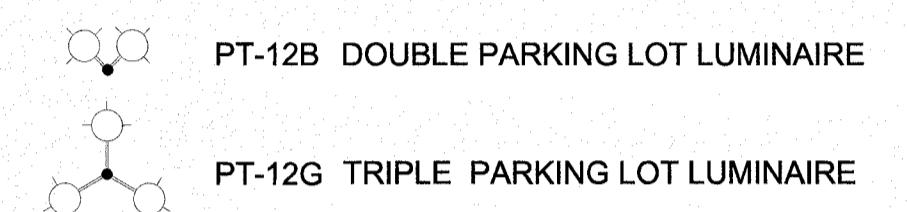


NO.	DESCRIPTION	BY	DATE
<b>SITE LIGHTING PLAN</b>			
<p>SALEM PROPERTY MAP 98 – LOT 7887 PROPERTY ADDRESS – 71 ROCKINGHAM PARK BOULEVARD PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET SALEM, NH 03079</p>			
 <p><b>MHF Design Consultants, Inc.</b> SCALE: 1"=30'</p>		<p><b>HALVORSON DESIGN</b> PARTNERSHIP LANDSCAPE ARCHITECTURE DATE: APRIL 29, 2019</p>	
		OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079	SALEM PLANNING BOARD APPROVAL
ZONE: COMMERCIAL – INDUSTRIAL 'C'			
DESIGNED BY: LJS	DRAWN/CHECKED KVM/LJS	DWG. NAME LS101	PROJECT No. 1 OF 4

## LIGHTING NOTES

1. SUBMITTAL DRAWINGS ARE REQUIRED FOR ALL FIXTURES, PRIOR TO ORDERING. ANY FIXTURES ORDERED WITHOUT SUBMITTAL REVIEW BY LUMEN STUDIO, INC. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR OWNER.
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## LEGEND



NO.	DESCRIPTION	BY	DATE
REVISIONS			

## SITE LIGHTING PHOTOMETRICS

SALEM PROPERTY MAP 98 - LOT 7887  
PROPERTY ADDRESS - 71 ROCKINGHAM PARK BOULEVARD

PREPARED FOR:  
OMJ REALTY, LLC  
63 MAIN STREET  
SALEM, NH 03079

**HALVORSON DESIGN**  
PARTNERSHIP  
LANDSCAPE ARCHITECTURE  
MHF Design Consultants, Inc.

SCALE: 1"=30'

DATE: APRIL 29, 2019

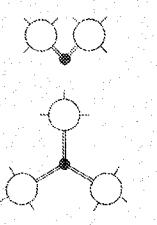
	OWNER OF RECORD ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079	SALEM PLANNING BOARD APPROVAL
DESIGNED BY: LJS	DRAWN/CHECKED: KVM/LJS	DWG. NAME: LS102
PROJECT No.		DATE: APRIL 29, 2019
SHEET No.		2 OF 4

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	
Drive Thru Road Top	Illuminance	Fc	3.42	5.8	0.5	6.84	11.60
Entrance Road Top	Illuminance	Fc	3.73	6.8	0.7	5.33	9.71
Entrance Road Top 1	Illuminance	Fc	3.73	6.8	0.7	5.33	9.71
Parking Lot Top	Illuminance	Fc	3.40	7.3	0.4	8.50	18.25
Sidewalk Pressed Cafe Top	Illuminance	Fc	1.71	5.2	0.3	5.70	17.33

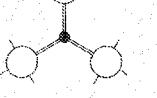
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## LEGEND



PT-12B DOUBLE PARKING LOT LUMINAIRE



PT-12G TRIPLE PARKING LOT LUMINAIRE

TVS - PRESSED CAFE SITE LIGHTING - SALEM, NH

Reissued : 04/29/2019

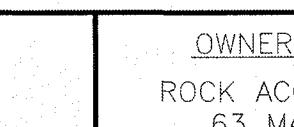
Code/Tag	Image	Product / Manufacturer	Attributes	Notes
PT-12B		Leotek "Arieta 18"	<p>Fixture Specification : #AR18/30M2-MV-WW-3-BK/DB(Verify)-530-PCR7-CR</p> <p>Description: 28' Double Headed (90 Degree Apart) Parking Lot Luminare</p> <p>Pole Adapter Specification : #RPA</p> <p>Fixture Qty (per Pole) : 2</p> <p>Fixture Orientation : 90 Degrees Apart</p> <p>Pole Specification : RTA8MD28A-F/Y (Verify)-B6XGV</p> <p>Lamping : LED (Included)</p> <p>Wattage (W) : 404W</p> <p>Output (lm) : 40,900lm</p> <p>CCT (K) : 3,000K</p> <p>CRI : 70+</p> <p>Control : 7 Wire / Control Ready</p> <p>Voltage (V) : 120/277 (Verify)</p> <p>Distribution : Type III</p> <p>Label/IP : IP66</p> <p>Finish : Black/Dark Bronze (Verify)</p> <p>Material (Pole/Arm/Fixture) : Aluminum</p> <p>Height (ft) : 28'</p> <p>Location : Parking Areas /Secondary Roadways</p>	<p>1. EC to verify voltage (prior to ordering).</p>
PT-12G		Leotek "Arieta 18"	<p>Fixture Specification : #AR18/30M2-MV-WW-3-BK/DB(Verify)-530-PCR7-CR</p> <p>Description: 28' Triple Headed (120 Degree Apart) Parking Lot Luminare</p> <p>Pole Adapter Specification : #RPA</p> <p>Fixture Qty (per Pole) : 3</p> <p>Fixture Orientation : 90 Degrees Apart</p> <p>Pole Specification : RTA8XD28A-F/Y (Verify)-B6XGV</p> <p>Lamping : LED (Included)</p> <p>Wattage (W) : 606W</p> <p>Output (lm) : 61,200lm</p> <p>CCT (K) : 3,000K</p> <p>CRI : 70+</p> <p>Control : 7 Wire / Control Ready</p> <p>Voltage (V) : 120/277 (Verify)</p> <p>Distribution : Type III</p> <p>Label/IP : IP66</p> <p>Finish : Black/Dark Bronze (Verify)</p> <p>Material (Pole/Arm/Fixture) : Aluminum</p> <p>Height (ft) : 28'</p> <p>Location : Pressed Cafe Parking</p>	<p>1. EC to verify voltage (prior to ordering).</p>

Lumen Studio, Inc.

175 Cabot Street, Suite 310, Lowell, Massachusetts, 01854

Lumen Studio, Inc.

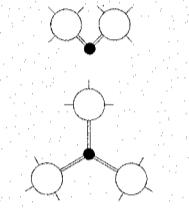
175 Cabot Street, Suite 310, Lowell, Massachusetts, 01854

NO.	DESCRIPTION	BY	DATE
REVISIONS			
SITE LIGHTING FIXTURE SCHEDULE			
SALEM PROPERTY MAP 98 - LOT 7887 PROPERTY ADDRESS - 71 ROCKINGHAM PARK BOULEVARD PREPARED FOR: OMJ REALTY, LLC 63 MAIN STREET SALEM, NH 03079			
 <b>HALVORSON DESIGN</b> PARTNERSHIP LANDSCAPE ARCHITECTURE <b>MHF Design Consultants, Inc.</b> SCALE: 1"=30' <span style="float: right;">DATE: APRIL 29, 2019</span>			
		OWNER OF RECORD	SALEM PLANNING BOARD
		ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079	APPROVAL
ZONE: COMMERCIAL - INDUSTRIAL 'C'			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
LJS	KVM/LJS	LS103	SHEET No.
3 OF 4			

## LIGHTING NOTES

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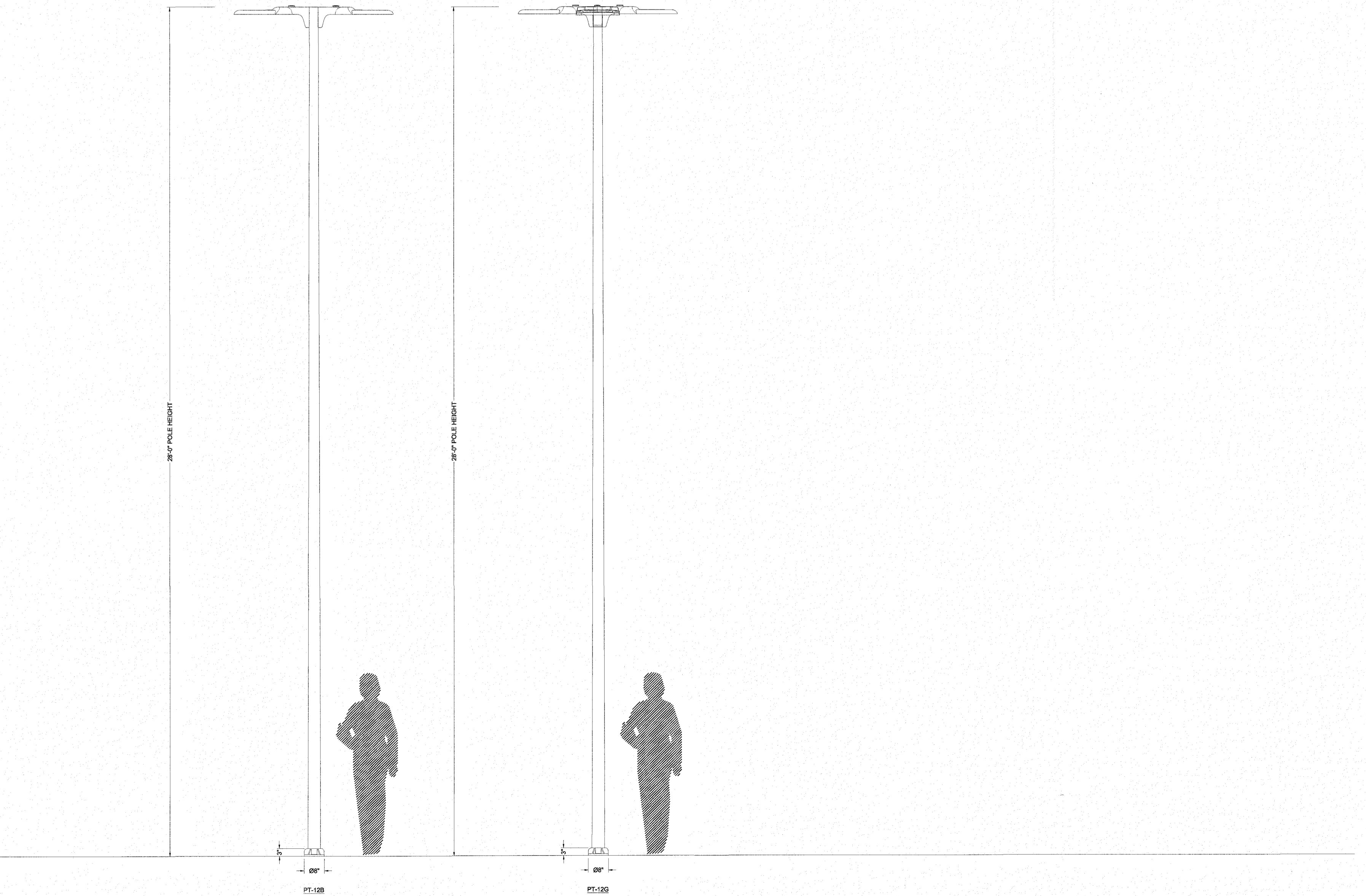
## LEGEND

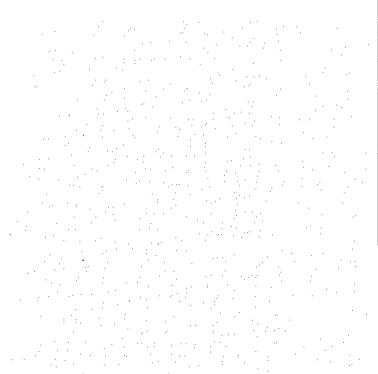


## PT-12B DOUBLE PARKING LOT LUMINAIRE



## PT-12G TRIPLE PARKING LOT LUMINAIRE



NO.	DESCRIPTION	BY	DATE
	REVISIONS		
<b>SITE LIGHTING FIXTURE LINEUP</b>			
<b>SALEM PROPERTY MAP 98 – LOT 7887</b>			
<b>PROPERTY ADDRESS – 71 ROCKINGHAM PARK BOULEVARD</b>			
PREPARED FOR:			
OMJ REALTY, LLC			
63 MAIN STREET			
SALEM, NH 03079			
 <b>MHF Design Consultants, Inc.</b>		<b>HALVORSON DESIGN</b> <b>PARTNERSHIP</b> <b>LANDSCAPE ARCHITECTURE</b>	
SCALE: 1"=30'		DATE: APRIL 29, 2019	
		<b>OWNER OF RECORD</b>  ROCK ACQUISITION, LLC 63 MAIN STREET SALEM, NH 03079	<b>SALEM PLANNING BOARD</b>  <b>APPROVAL</b>
ZONE: COMMERCIAL – INDUSTRIAL 'C'			
DESIGNED BY:	DRAWN/CHECKED	DWG. NAME	PROJECT No.
LJS	KVM/LJS	LS104	4 OF 4

SALEM PROPERTY MAP 98 - LOT 7887  
PROPERTY ADDRESS - 71 ROCKINGHAM PARK BOULEVARD

71 ROCKINGHAM PREPARED FOR:  
OMJ REALTY, LLC  
33 MAIN STREET  
SALEM, NH 03079



# HALVORSON DESIGN PARTNERSHIP LANDSCAPE ARCHITECTURE

DATE: APRIL 29, 2018

SALEM PLANNING BOARD

APPROVAL

10. *What is the best way to increase the number of people who use a particular service?*

## INDUSTRIAL 'C'

PROJECT No.      SHEET No.

4 OF

10. *What is the best way to increase the number of people who use a particular service?*